

BC LAND SURVEYORS SITE PLAN OF:

Civic: 485 South Joffre Street

Legal – Lot 5, Block B, Section 11, Esquimalt District, Plan 4478

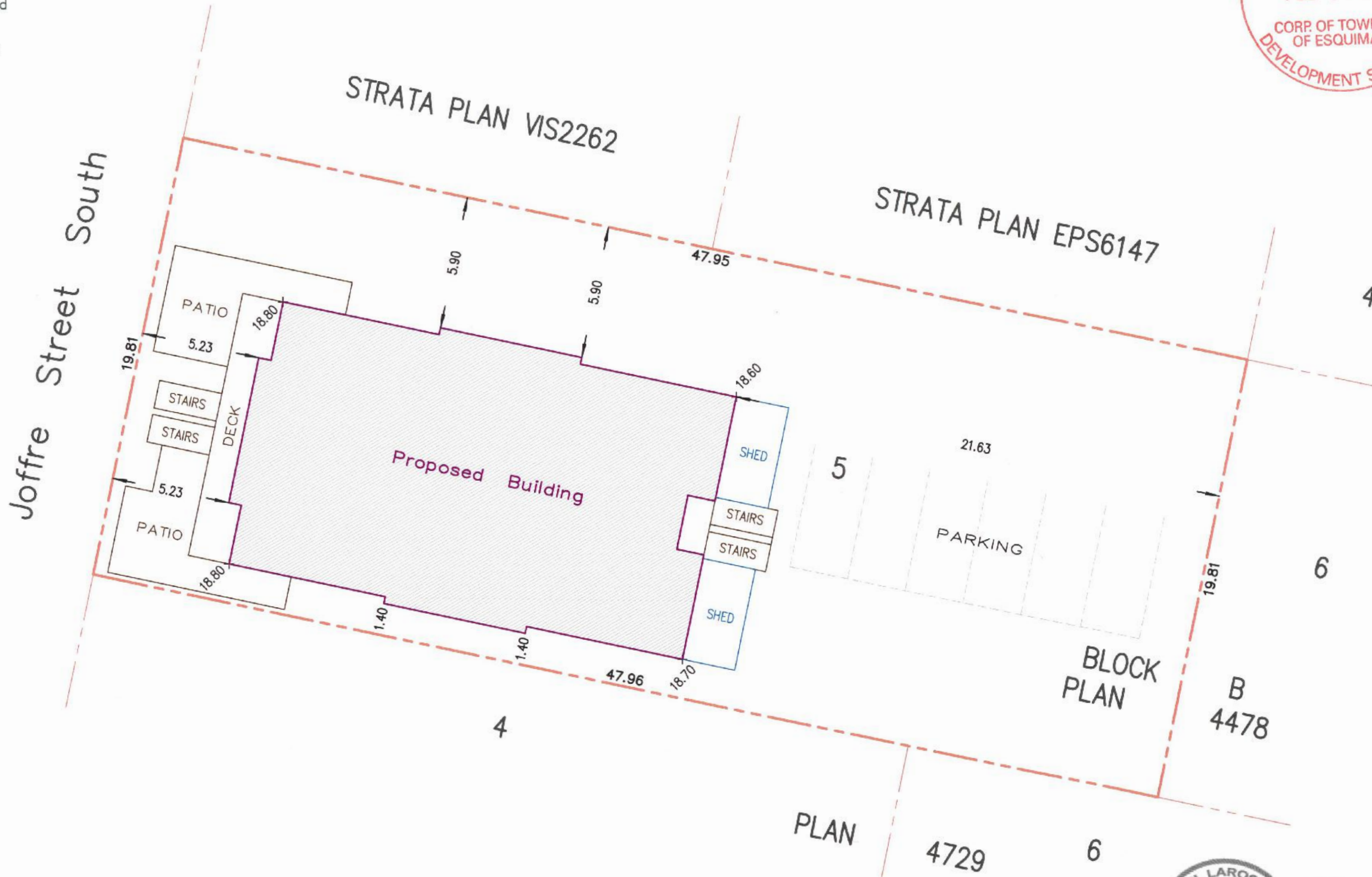
Parcel Identifier: 006-104-801 in the Township of Esquimalt

LEGEND

Elevations are geodetic and referenced to the CVD28BC datum.

00.00 + - denotes - existing elevation

Lot Area = 949 m2



File : 13,343 - 19
POWELL & ASSOCIATES
B C Land Surveyors
250-2950 Douglas Street
Victoria, BC V8T 4N4
phone (250) 382-8855

Scale - 1 : 200 Distances are in metres.
0 2 10 20
The intended print size is 11" by 17".

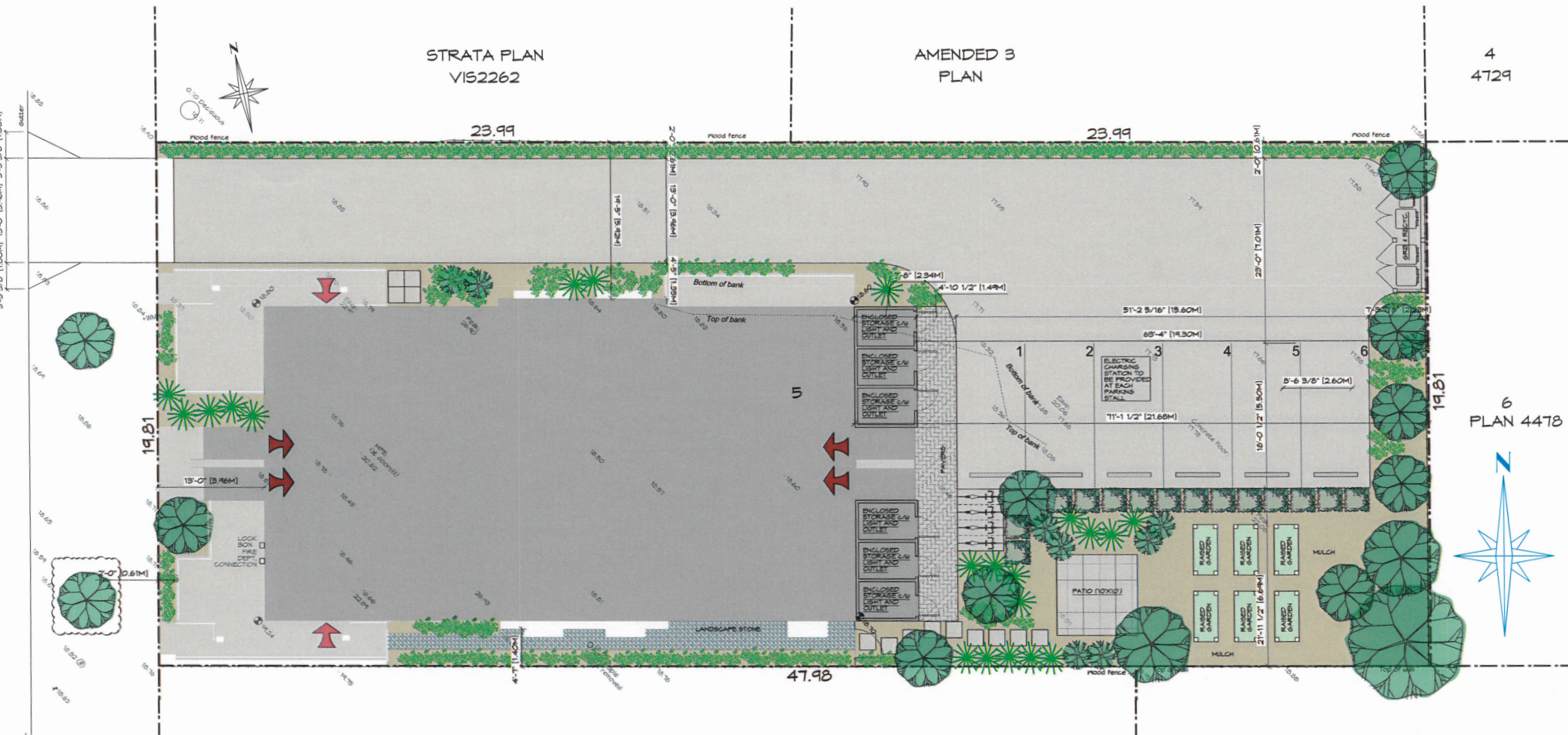


CERTIFIED CORRECT
this 28th day of January, 2022
Digitally signed by April Larocque 2JVLNM
DN: c=CA, cn=April Larocque 2JVLNM, o=BC Land Surveyor,
ou=Verify ID at www.juricert.com/LKUP.cfm?id=2JVLNM
Date: 2022.01.28 10:03:32 -08'00'
April Larocque, B.C.L.S.

SOUTH JOFFRE STREET

DRIVEWAY CROSSING TO CONFORM TO MUNICIPALITY OF ESQUIMALT STANDARDS AND APPROVAL

9'-3" 3/8" (1.00M) 19'-0" (5.49M) 3'-3" 3/8" (1.00M)



1 Site/Landscape Plan
A1 Scale 1/8"=1'-0"



LANDSCAPE PLAN LEGEND

TREES AND SHRUBS

NEW TREE

NEW SHRUBS

GROUND COVER PLANTS

GROUND COVER

MULCH

GRAVEL

HARD LANDSCAPING

PERMEABLE ASPHALT

BROOK FINISHED CONCRETE

CONCRETE PAVERS

EXISTING SIDEWALK PAVING

FENCE

FOOD (STAINED) 6' HIGH

EGRESS

PRIMARY EGRESS

SECONDARY EGRESS

NOTES:

1. LANDSCAPING INDICATED IS CONCEPTUAL ONLY AND REQUIRES INSTALLATION BY A QUALIFIED LANDSCAPING CONTRACTOR.

2. CONTRACTOR TO IDENTIFY UTILITIES PROVIDED THROUGH UNDERGROUND PIPING AND AVOID CONFLICT WITH EXISTING UTILITIES.

3. ALL LANDSCAPING SHALL BE PERFORMED TO BCLMA, BCLNA STANDARDS

4. ALL EXISTING TREES TO REMAIN, UNLESS NOTED OTHERWISE.

5. FLOOD FENCE TO BE MAX HEIGHT OF 1.20M (4'-0") BETWEEN FRONT PROPERTY LINE AND FRONT OF BUILDING

1.20M (4'-0") BETWEEN FRONT OF BUILDING AND REAR PROPERTY LINE

6. 3 TREES TO BE LARGER TREES

SUGGESTED PLANTING LIST

TREES	BOTANICAL NAME	COMMON NAME	SIZE
	CAMELIA JAPONICA SPECIMEN	EVERGREEN CAMELIA	9.0M HT. 8.8B
	HS MAJESTY CULTIVAR	GORK TREE	2.5M HT. 8.8B
	QUERCUS GARRERANA	GARRY OAK	9.0M HT. 8.8B
SHRUBS	BOTANICAL NAME	COMMON NAME	SIZE
	ARELITUS UNDO COMPACTA	STRAWBERRY TREE	#5
	BERBERIS THUNDERGILL ATROPURPUREA	BARBERRY	#2
	BUXUS MICROPHYLLA	DWARF BOXWOOD	#2
	CAMELIA JAPONICA	RED CAMELIA	#5
	COTUS LADANIFER	CRIMSON ROCK ROSE	#1
	GEANTHUS GLORIOSUS INORABRE	PROSTRATE MOUNTAIN LLAC	#1
	ERICA GARNER SPRINGWOOD	WHITE HEATHER	#1
	ERICA X DARLINGS PURZEY	PINK HEATHER	#1
	BRSCALLONIA NEWPORT DWARF	DWARF ESCALLONIA	#2
	HEBE 'PATTY'S PURPLE'	HEBE	#2
	LAVENDULA ANGUSTIFOLIA HICGOTE	HICGOTE LAVENDER	#1
	RIBES SANGUINEUM KING EDWARD	PINK FLOWERING CURRENT	#5
	RHOXODENDRON	WHITE RHOXODENDRON	#5
	SPIREA PRUNIFOLIA	BREDAL WEDDING SPIREA	#5
	VIBURNUM DAVIDII	EVERGREEN VIBURNUM	#5
GROUND COVER	BOTANICAL NAME	COMMON NAME	SIZE
	PARTHENOCISSUS QUINQUEFOLIA	VERGIN CREEPER	#1
	TITHYUS PINK RUFFLE	CREEPING TIME	8.8B, 3.0M C/C

SITE DATA - PROPOSED DEVELOPMENT @ 485 JOFFRE STREET		
LEGAL DESCRIPTION - LOT 12, BLOCK 1, SECTION 11, ESQUIMALT DISTRICT, PLAN 5125		
CURRENT ZONING - RD-3		
PROPOSED ZONING - CCD		
PROPOSED SFD	PROPOSED	COMMENTS
LOT AREA	450.59 M ² (10232.09 FT ²)	TO SUNKEN PATIO
LOT WIDTH	19.81 M (64.99')	
LOT DEPTH (AVG.)	47.93 M (157.25')	
SETBACKS		
FRONT	0.61 M (2.00')	
REAR	21.68 M (71.12 FT)	
SIDE (SOUTH)	1.40 M (4.59')	
SIDE (NORTH)	5.92 M (19.42')	
SIDE COMBINED	7.32 M (24.01')	
AVERAGE GRADE (CONDO)	18.83 M (61.78')	
BUILDING HEIGHT	9.04 M (29.65')	
FLOOR AREA		
SECOND FLOOR	229.75 M ² (2473.06 FT ²)	
MAIN FLOOR FLOOR	237.18 M ² (2553.06 FT ²)	
BASEMENT	243.51 M ² (2621.30 FT ²)	
BASEMENT ALLOWANCE	-243.51 M ² (-2621.30 FT ²)	
TOTAL FLOOR AREAS		
MAIN AND UPPER FLOOR	466.93 M ² (5025.99 FT ²)	
ALL FLOORS COMBINED	710.44 M ² (7647.11 FT ²)	
FLOOR AREA RATIO	0.491	
SITE COVERAGE	32.08%	
OPEN SITE SPACE	33.56%	
REAR YARD AREA	429.23 M ² (4620.40 FT ²)	
REAR YARD LANDSCAPED AREA	153.30 M ² (1650.23 FT ²)	
REAR YARD LANDSCAPED %	35.71%	
PARKING	6	

ISSUED FOR RE-SUBMISSION 2023-02-21



#202-535 YATES ST. Victoria, B.C. V8W 2Z6 Phone: (604) 761-4877

Drawn By: L.HORVAT

Date: Mar. 25, 2021

Scale: AS NOTED

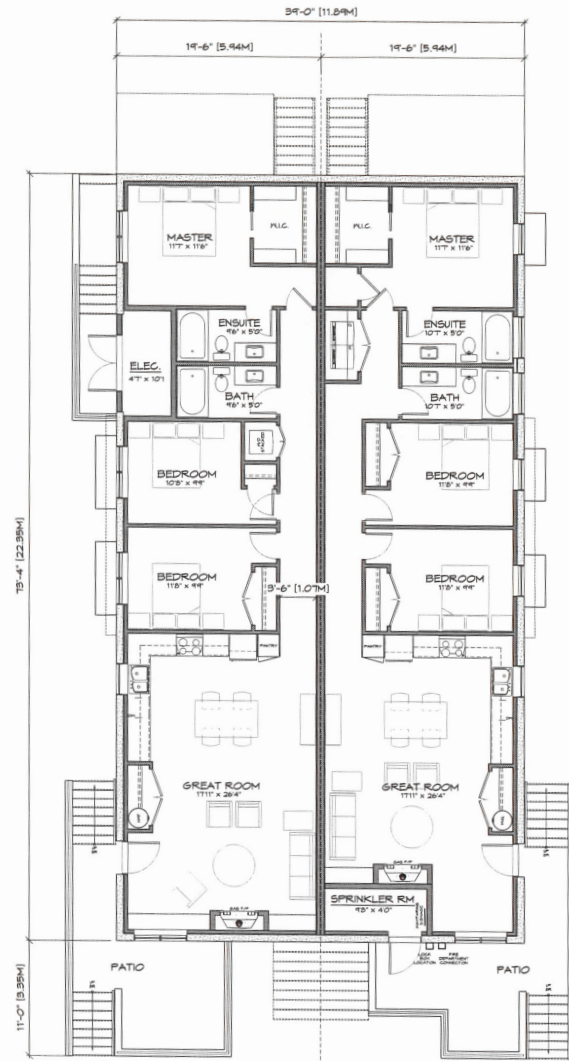
Project: Joffre Development

Title: Site and Landscaping Plan

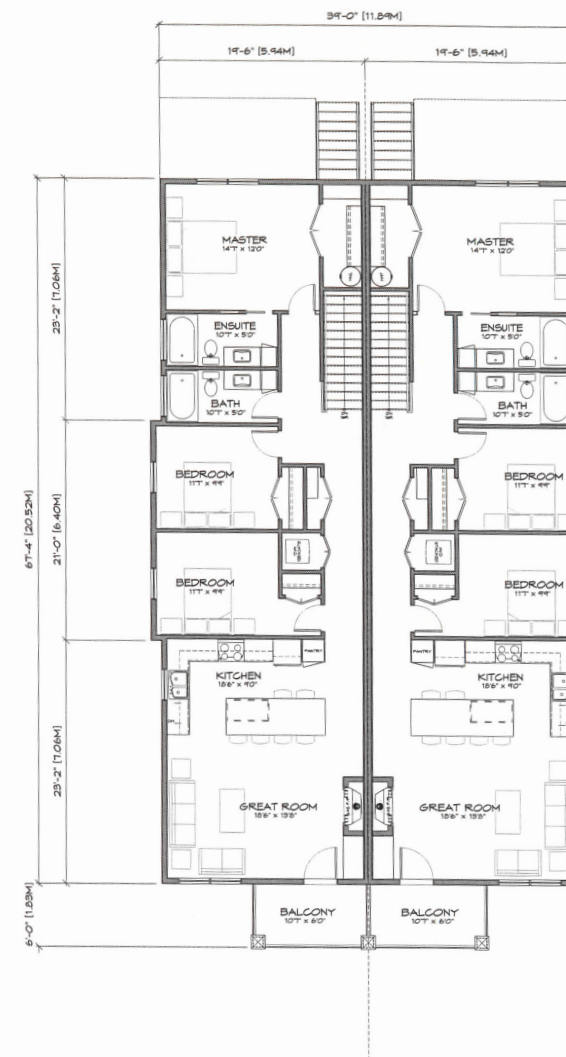
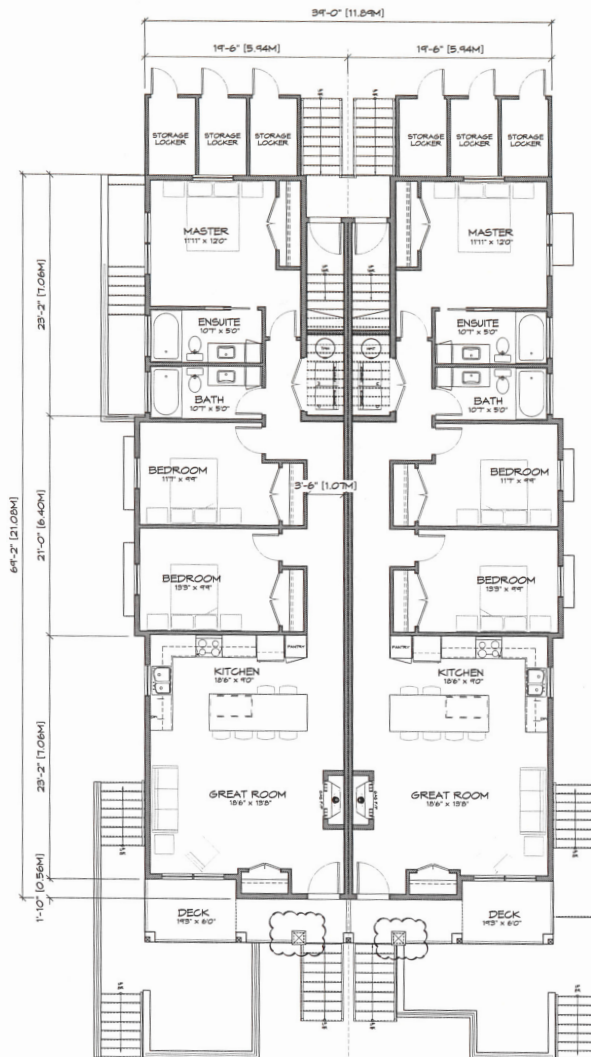
Revision: Sheet:

A1

Proj.No. -



THE BUILDING IS TO BE SPRINKLERED (13R)
WAYFAIRING SIGNAGE TO BE PLACED IN SPRINKLER ROOM
LOCK BOX TO BE PLACED OUTSIDE AT SPRINKLER ROOM DOOR



ISSUED FOR
RE-SUBMISSION
2023-02-21



#202-535 YATES ST.
Victoria, B.C. V8M 2Z6
Phone: (604) 761-4871

Drawn By: L.HORVAT

Date: Mar. 25, 2021

Scale: A5 NOTED

Project:

Joffre
Development

Title:
Floor Plans

Revision: Sheet:

A2

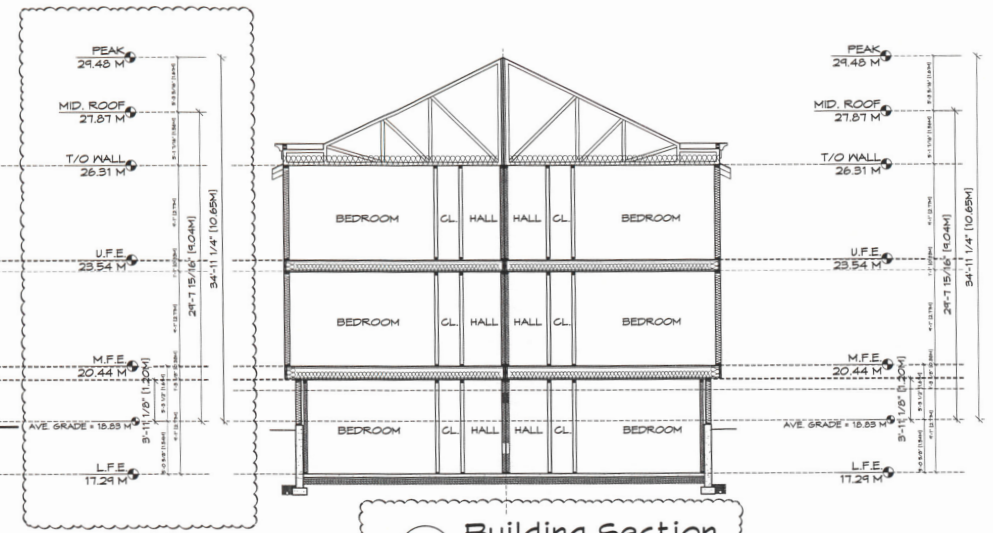
Proj.No. -



1 Front Elevation
A3 Scale 1/8"=1'-0"



2 North Elevation
A3 Scale 1/8"=1'-0"



6 Building Section
A3 Scale 1/8"=1'-0"



3 Rear Elevation
A3 Scale 1/8"=1'-0"



4 South Elevation
A3 Scale 1/8"=1'-0"

MAXIMUM GLAZING CALCULATION - SOUTH ELEVATION - COMPARTMENT #1	
DISTANCE TO PROPERTY LINE	140 M (459')
IMPACT BUILDING FACE AREA	9740 M ² (105022 SF)
GLAZING AREA	5151 M ² (55461 SF)

MAXIMUM GLAZING CALCULATION - SOUTH ELEVATION - COMPARTMENT #2	
DISTANCE TO PROPERTY LINE	140 M (459')
IMPACT BUILDING FACE AREA	9920 M ² (10721 SF)
GLAZING AREA	5151 M ² (55461 SF)

MAXIMUM GLAZING CALCULATION - SOUTH ELEVATION - COMPARTMENT #3	
DISTANCE TO PROPERTY LINE	140 M (459')
IMPACT BUILDING FACE AREA	14403 M ² (15558 SF)
GLAZING AREA	4264 M ² (4576 SF)



5 Streetscape
A3 Scale 1/8"=1'-0"



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RE-SUBMISSION
2023-02-21



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Victoria, B.C. V8W 2Z6
Phone: (604) 761-4877

Drawn By: L.HORVAT
Date: Mar. 25, 2021
Scale: A5 NOTED
Project:
Joffre
Development

Title:
Exterior
Elevations and
Streetscape

Revision: Sheet:

A3

Proj.No. -