



PRIMARY ELEVATION - WEST BAY TERRACE

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LANDSCAPE

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PROJECT DESCRIPTION

CIVIC ADDRESS:
530 West Bay Terrace
ESQUIMALT, BC
V8V 3K3

LEGAL DESCRIPTION
LOT 1, LOT 2, LOT 3, LOT 4 AND LOT 7,
SECTION 11, ESQUIMALT DISTRICT, PLAN 11515

ZONING BYLAW SUMMARY

BUILDING DESCRIPTION:
6 Storey Residential Rental Housing

USES:
Residential

EXISTING ZONE: RM-4

PROPOSED ZONE: RM-4 (To be Confirmed)

SITE AREA: 3,344.51 m² (35,000 s.f.)

FLOOR AREAS CONTRIBUTING TO FAR:

Level 1 RESIDENTIAL:	988 m ² (10,648 s.f.)
Levels 2-4 RESIDENTIAL:	1,250 m ² (13,452 s.f.)
Level 5 RESIDENTIAL:	1,005 m ² (10,815 s.f.)
Level 6 RESIDENTIAL:	557 m ² (5,994 s.f.)
TOTAL PROPOSED:	6,300 m² (67,813 s.f.)

FLOOR SPACE RATIO: 1.88 FSR
*Residential Use Area Only, per Esquimalt Zoning Bylaw

GRADE OF BUILDING: 9.6 m (Avg. Grade)

SITE COVERAGE: 60 %
*See A101, A201 Plan for Area Summaries

HEIGHT OF BUILDING: 21 m

NUMBER OF STOREYS: 6 STOREYS

RESIDENTIAL PARKING: 67 stalls (incl. 3 accessible, 7 visitor)

BICYCLE PARKING: 127 Class 1 + 5 short term (rack)
*All well racks to be EV ready, with area allowance for cargo bikes

SETBACKS:

	Required	Provided
FRONT (Dunsmuir Road):	7.5 m	7.5 m
REAR (Private Lane):	7.5 m	7.5 m
EXTERIOR SIDE (West Bay Terrace):	3.6 m	7.0 m
INTERIOR SIDE:	6.0 m	7.5 m

SUITE COMPOSITION:

Studio / 1 Bath:	10
1 Bed / 1 Bath:	64
2 Bed / 2 Bath:	19
3 Bed / 2 Bath:	12
TOTAL:	105 SUITES

PROJECT DIRECTORY

REGISTERED OWNER
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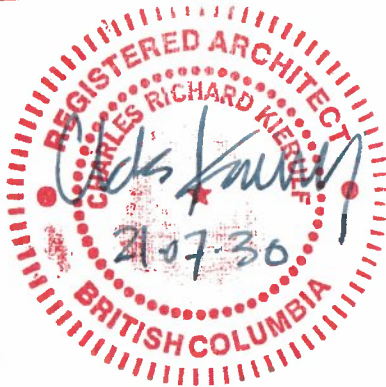
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Plot Date: 2021/05/26 Drawing File:
Drawn By: RCI Checked By: ADM
Scale: 1 : 1 Project Number: 2039

530 West Bay Terrace
530 West Bay Terrace
Esquimalt, BC
Cover Sheet

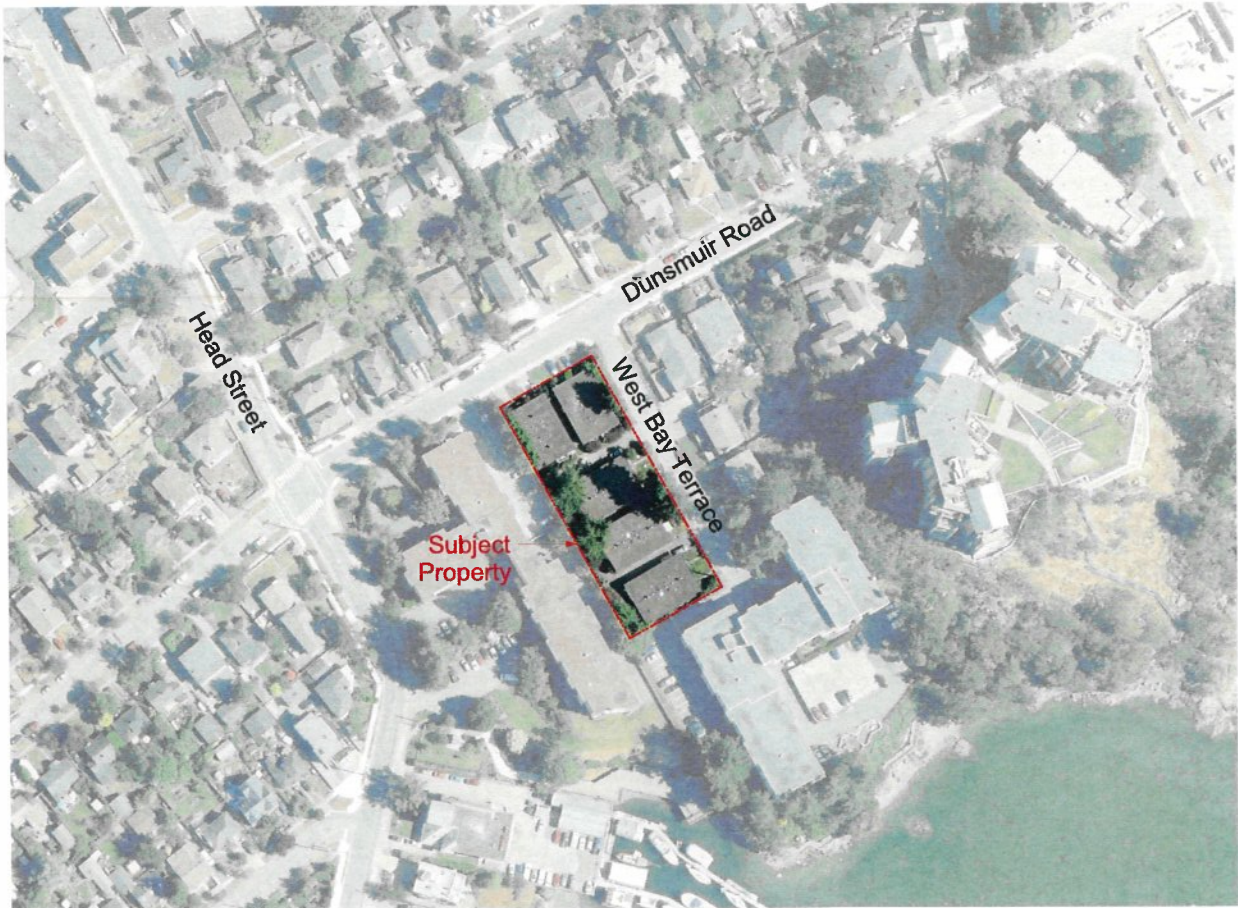
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LIST OF ABBREVIATIONS			
The following abbreviations are used on door, window, and finish schedules as well as on architectural drawings and details.			
ACST	Acrylic Stucco	HP	High Point
ACT	Acoustical Tile	HSS	Hollow Steel Section
AF	Above Finished Floor	HW	Hardware
AL	Aluminum	INSUL	Insulated
BO	Building Grade	LAM	Laminated Glass
CEM	Cementitious Backing Board	LP	Low Point
CONC	Concrete	MDFB	Medium Density Fibreboard Base
CBK	Concrete Block	MR	Mirror
CL	Centerline	MP	Metal Panel
CPT	Carpet Tile	OW	Operable Window
CT	Ceramic Tile	PF	Pratinched
CW	Complete With	PLAM	Plastic Laminate
DD	Deck Drain	PLS	Plaster
EL	Elevation	PSF	Pressed Steel Frame
EPC	Epoxy Polymer Coating	PT	Paint
EXP AGG	Exposed Aggregate	PTD	Paper Towel Dispenser
EXT	Exterior	PTW	Paper Towel Dispenser / Waste
FD	Floor Drain	RA	Roof Anchor
FEC	Fire Extinguisher Cabinet	RB	Rubber Base
FFE	Finished Floor Elevation	RES	Resilient Flooring
FG	Finished Grade	RD	Roof Drain
GB	Grab Bar	RD-P	Roof Drain - Planter
GBL	Glass Block	RWL	Rain Water Leader
GL	Glass	SAFI	Spray Applied Fibrous Insulation
GWG	Georgian Wire Glass	SCW	Solid Core Wood
GWB	Gypsum Wallboard	SD	Seal Dispenser
HC	Hollow Core	SL	Sealer
HCV	Hollow Core Wood	SP	Spanrel Glass
HIC	Handicap	SPC	Solid Particleboard Core
HM	Hollow Metal		

ANNOTATIONS LEGEND	
The following annotations are used on architectural drawings and details:	
BEDROOM	ROOM NAME & ROOM NUMBER
[201]	ROOM NUMBER
101a	DOOR NUMBER
See Door Schedule	
W-10	WINDOW NUMBER
See Window Schedule	
W1	WALL TYPE
See Assemblies Schedule	
2.0 hr	RATED WALL DESIGNATION
00.00	ELEVATION DATUM
2440	CEILING HEIGHT
	AREA OF DROP CEILING
1	KEYNOTE SYMBOL
12	MATERIAL TAG
1 A901	INTERIOR ELEVATION REFERENCE
W1 C1 F1 B1	ROOM FINISHES



1 Site Context
A000

SITE PLAN OF: LOT 1, LOT 2, LOT 5, LOT 6 AND LOT 7,
SECTION 11, ESQUIMALT DISTRICT, PLAN 11515

BCGS MAP SHEET 92B.044
P.I.D's.: 005-090-202, 000-074-659, 000-074-594, 005-090-181, 000-074-683



The intended plot size of this plan is 432mm in width by 559mm in height (C-Size) when plotted at a scale of 1:250.



LEGEND

- denotes Manhole
- denotes Manhole - Sanitary
- denotes Pine Tree
- denotes Deciduous Tree
- denotes Fir Tree
- denotes Cedar Tree
- denotes Coniferous Tree
- denotes Treeline/Bushline
- denotes Traffic Sign Post
- denotes Clean Out
- denotes Hydrant
- denotes Tree Diameters in millimeters
- denotes Utility Pole
- denotes Standard Iron Post found
- denotes Anchor
- denotes Catch Basin
- denotes Wood Fenceline
- denotes Water Valve
- P denotes Porch
- D denotes Deck
- C denotes Cantilever
- RW denotes Retaining Wall
- L denotes Landscaping

All distances and elevations are in metres and decimals thereof, unless otherwise noted.
Contours are shown at a 0.25m interval and are referred to CGVD28 datum.

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Parcel dimensions shown hereon are derived from field survey and Plan 11515.

This document shows the relative location of the surveyed buildings and features with respect to the boundaries of the parcel described hereon. This document shall not be used to define property lines or property corners.

Note: this plan is based on a field survey completed June 18th, 2020

Date: 2020-06-22
File: 1871-01
Drawing: 1871-01-SITE.dwg
Layout: C-Size



2020/12/18 Issued for Rezoning

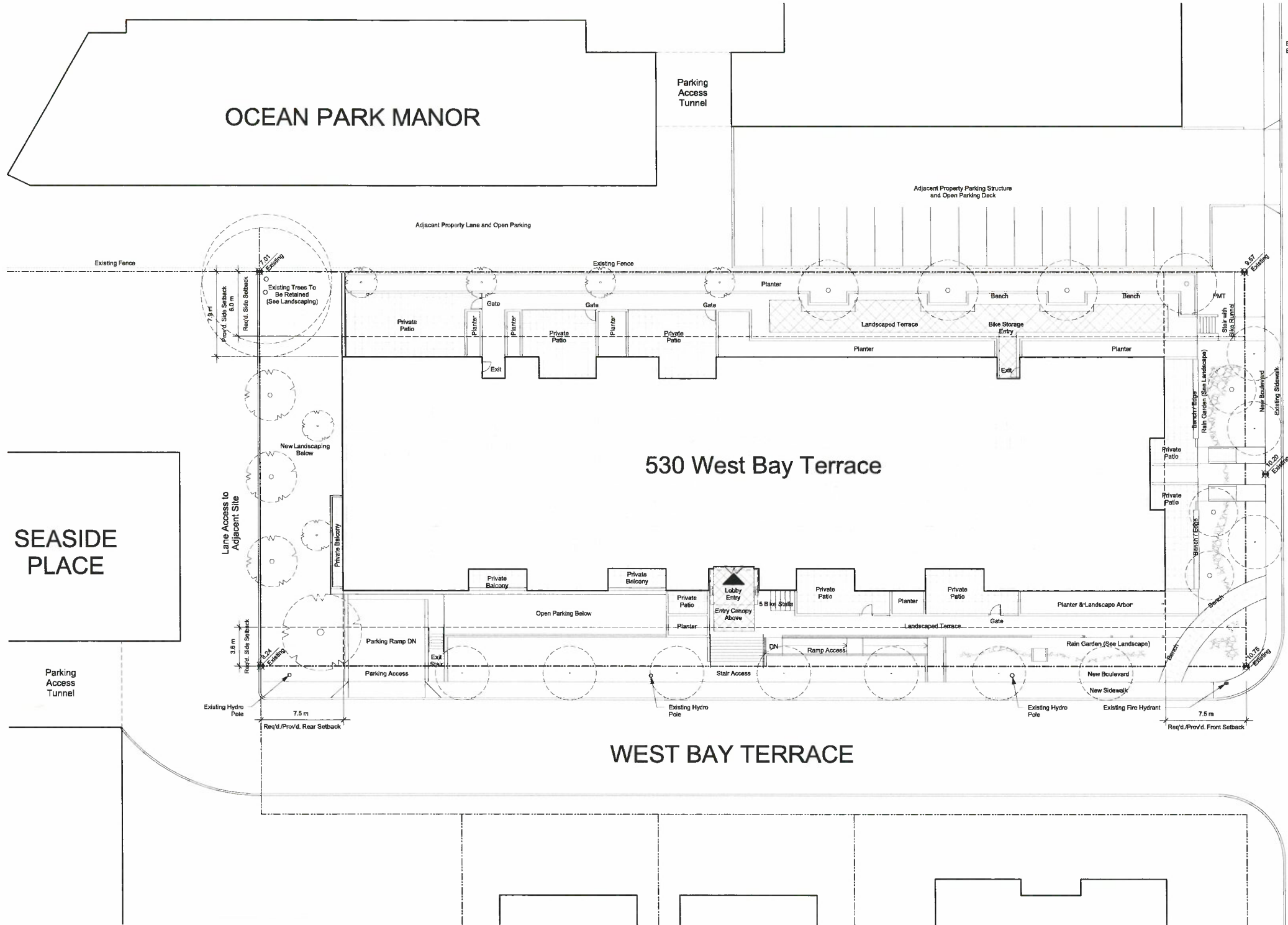
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Drawn By	RCI	Checked By	ADM
Scale	N.T.S.	Project Number	2038

NOTE: All dimensions are shown in millimeters.

530 West Bay Terrace
530 West Bay Terrace
Esquimalt, BC
Site Survey

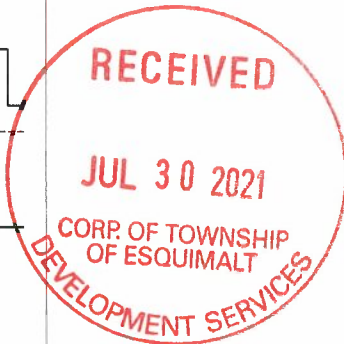


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Site Coverage Summary

Total Site Area	3345 m ²
Building Coverage	2659.8 m ² (80%)
Unexcavated / Open Site	685.2 m ² (20%)



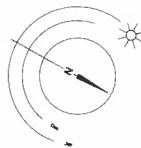
2021/07/30
2021/05/26
2021/04/23
2020/12/18

Issued for Rezoning Rev. 2
Issued for Rezoning Rev. 1.1
Issued for Rezoning Rev. 1
Issued for Rezoning

Plot Date: 2021/05/25 Drawing File:
Drawn By: RCI Checked By: ADM
Scale: 1 : 200 Project Number: 2039

NOTE: All dimensions are shown in millimeters.

530 West Bay
Terrace
530 West Bay Terrace
Esquimalt, BC
Site Plan

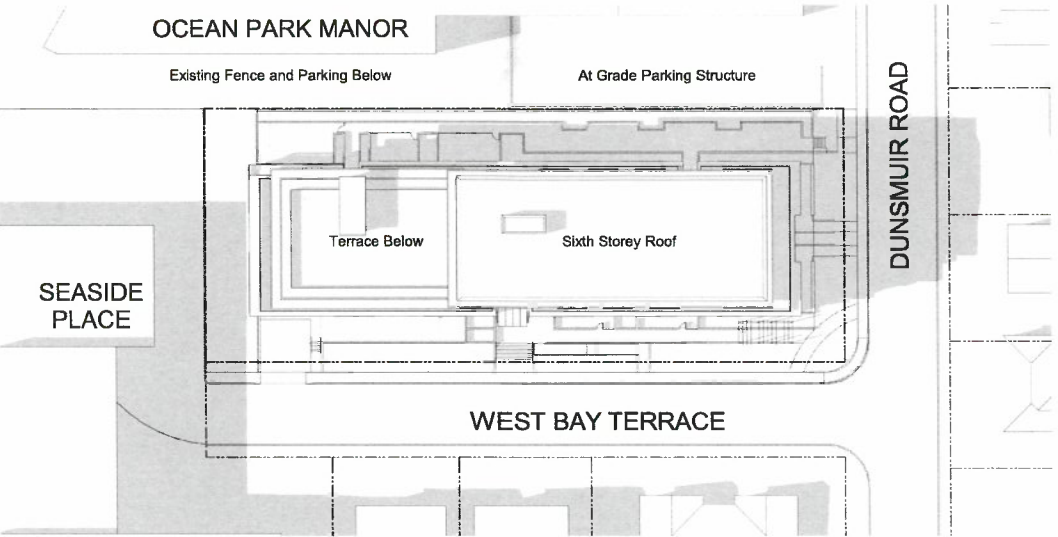


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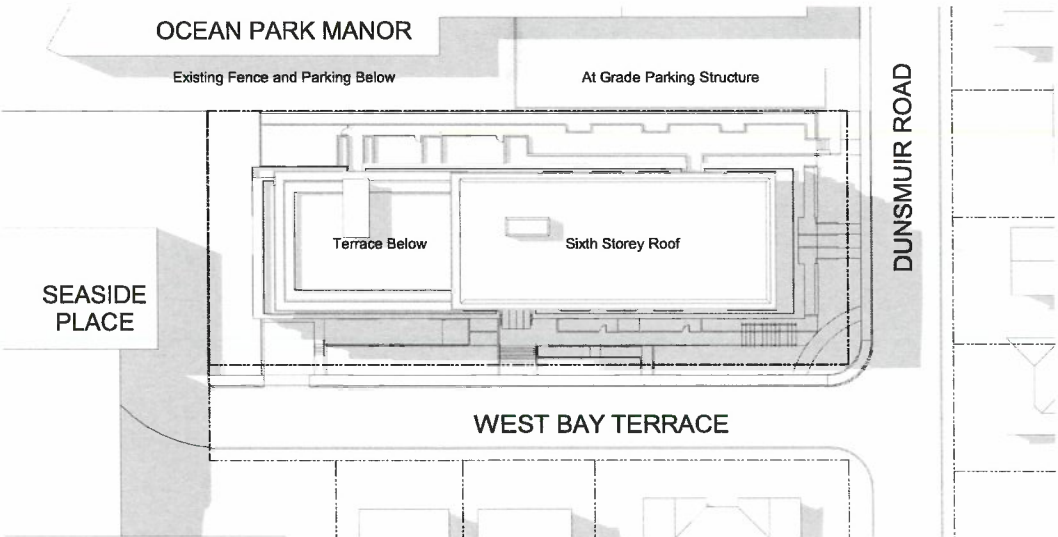
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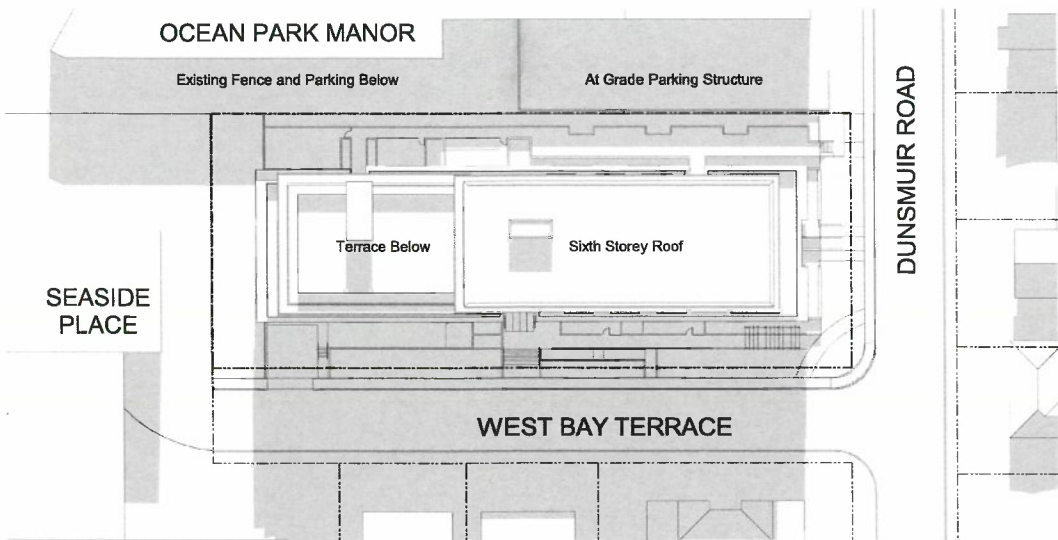
Equinox @ 10:00AM



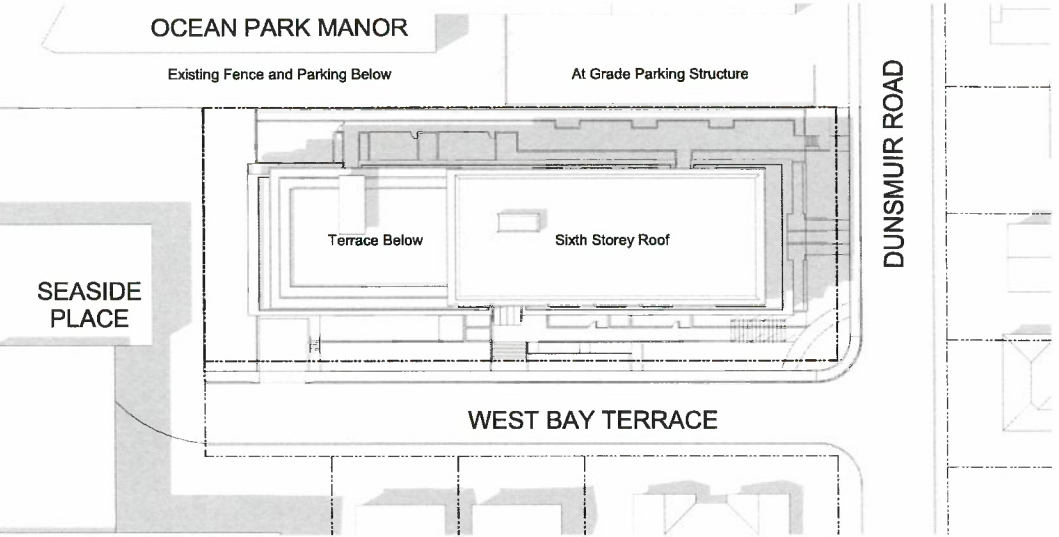
Equinox @ 12:00PM



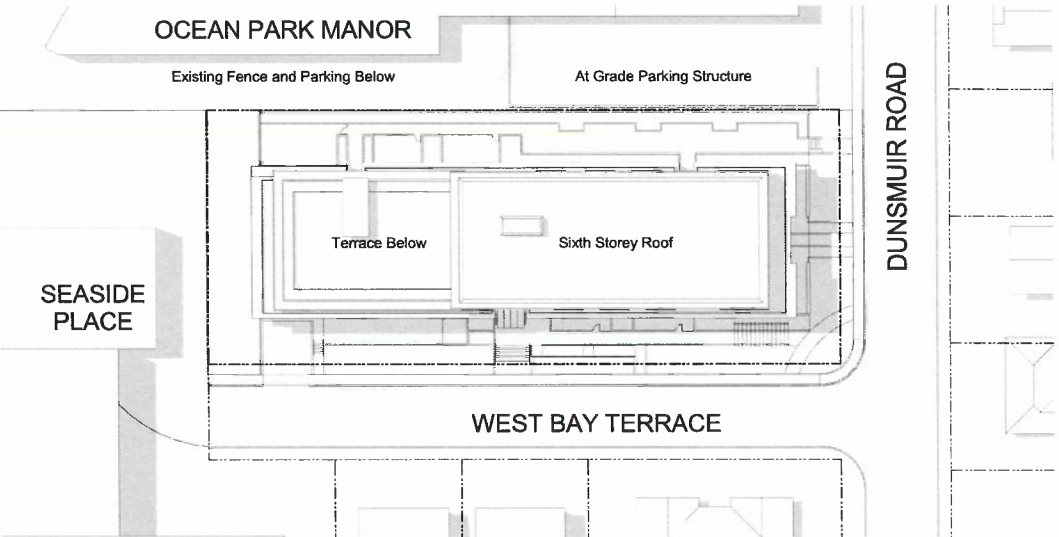
Equinox @ 4:00PM



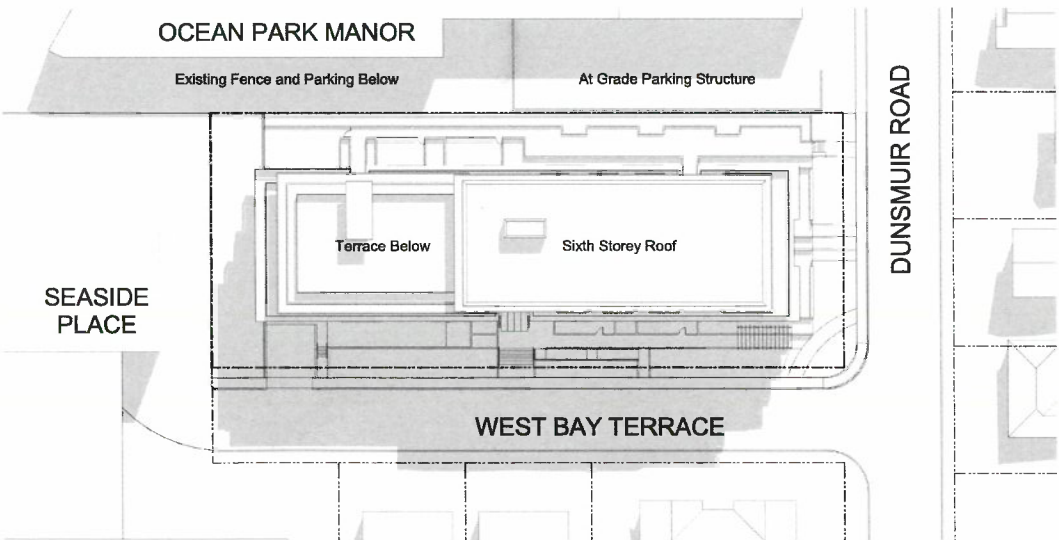
Summer Solstice @ 10:00AM



Summer Solstice @ 12:00PM



Summer Solstice @ 4:00PM



2021/07/29 Issued for Rezoning Rev. 2
2021/05/26 Issued for Rezoning Rev. 1.1
2021/04/23 Issued for Rezoning Rev. 1

Plot Date 2021/05/26 Drawing File
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Scale 1 : 500 Project Number 2039

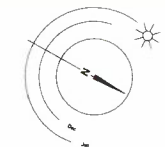
NOTE: All dimensions are shown in millimetres.

530 West Bay Terrace
530 West Bay Terrace
Esquimalt, BC
Shadow Study



A102

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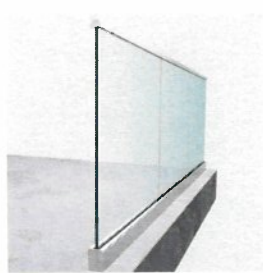
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Metal Planters



Inside of balconies wrapped with wood tone 6" Tongue and Groove panels



Glass Guardrail w/ Charcoal Anodized Aluminum Cap Rail and Stiles . Typ.

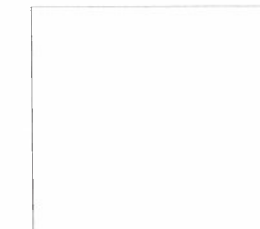
Prefinished Metal Flashing to match adjacent panel colour



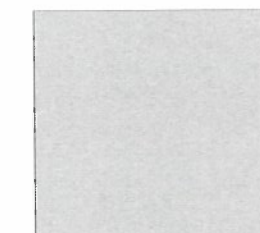
Window Wall System w/ Low-E Insulated Glass (Roof Amenity Space Windows)



Wood Tone Aluminum Soffits - 6" Tongue and Groove



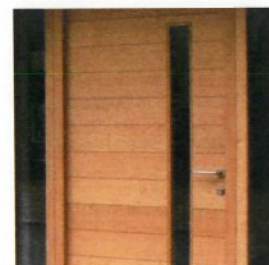
White Cementitious Panel (Hardi Panel - Arctic Ice)



Gray Cementitious Panel (Hardi Panel - Pearl Gray)



Cementitious Rain Screen System



Wood Door w/ View Lite



Architectural Exposed Concrete



Dark Gray Ashlar Stone Veneer (L1 & L2)



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Plot Date: 2021/05/26 Drawing File:
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Scale: 1 : 1 Project Number: 2039

NOTE: All dimensions are shown in millimeters.

530 West Bay Terrace
530 West Bay Terrace
Esquimalt, BC
Renderings and Materials



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AERIAL VIEW OVER DUNSMUIR ROAD AND WEST BAY TERRACE



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2021/04/23 Issued for Rezoning Rev. 1
2020/12/18 Issued for Rezoning

Plot Date: 2021/05/26 Drawing File:
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Scale: Project Number: 2039

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**530 West Bay
Terrace**
530 West Bay Terrace
Esquimalt, BC
Aerial Rendering



A111

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PRIMARY ELEVATION - WEST BAY TERRACE

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2021/04/23 Issued for Rezoning Rev. 1
2020/12/18 Issued for Rezoning

Plot Date: 2021/05/26 Drawing File:
Drawn By: RCI Checked By: ADM
Scale: Project Number: 2039

NOTE: All dimensions are shown in millimeters.

530 West Bay
Terrace
530 West Bay Terrace
Esquimalt, BC
Primary Rendering



A112

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Entry Canopy - Cedar Stuct w/
Glazed canopy



MAIN ENTRY - WEST BAY TERRACE



ROOF AMENITY - LOOKING NORTHWEST



LANDSCAPING AT SOUTH END - WEST BAY TERRACE

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2020/12/18 Issued for Rezoning

Plot Data 2021/05/26 Drawing File
Drawn By RCI Checked By ADM
Scale Project Number 2039

NOTE: All dimensions are shown in millimeters.
**530 West Bay
Terrace**
530 West Bay Terrace
Esquimalt, BC
Renderings



COURTYARD - DUNSMUIR AND WEST BAY TERRACE



PRIVATE ENTRIES - DUNSMUIR



REAR TERRACE - DUNSMUIR



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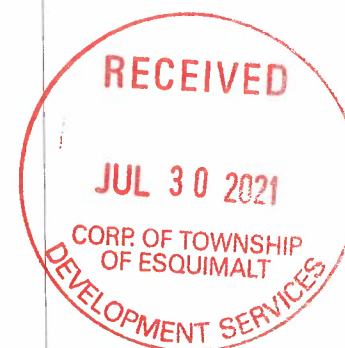
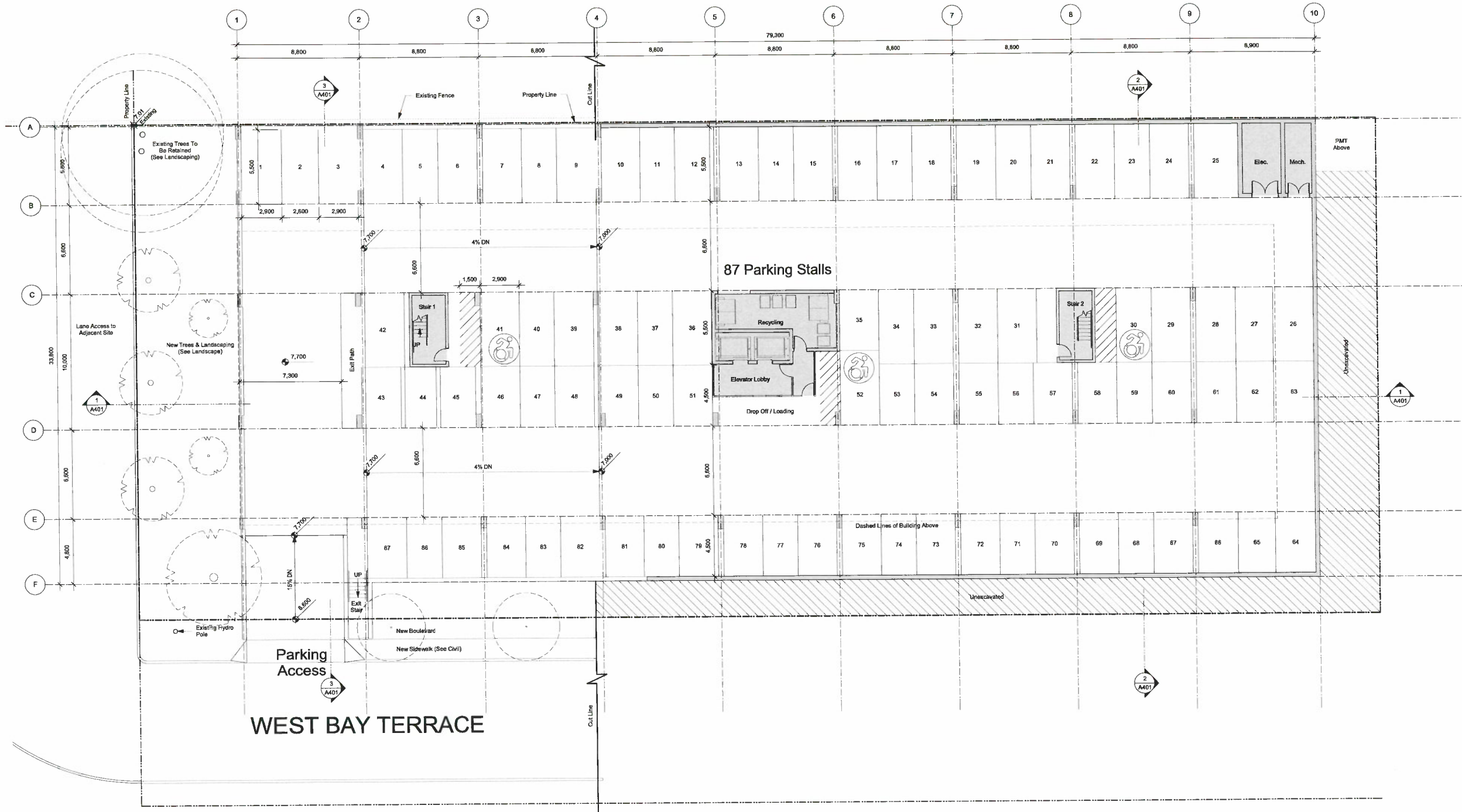
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Scale		Project Number	2039

NOTE: All dimensions are shown in millimeters.

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 Esquimalt, BC
 Renderings



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2020/12/18 Issued for Rezoning

Plot Data 2021/05/26 Drawing File
Drawn By RCI Checked By ADM
Scale 1:150 Project Number 2039

NOTE: All dimensions are shown in millimeters.

530 West Bay Terrace
530 West Bay Terrace
Esquimalt, BC
P1 Overall Plan

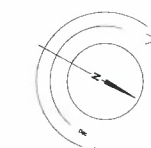
Parking Summary

Total Parking* 87 Stalls (E/V Ready)
Parking Ratio 0.8 / Unit

* includes 7 visitor and 3 accessible

Site Coverage Summary

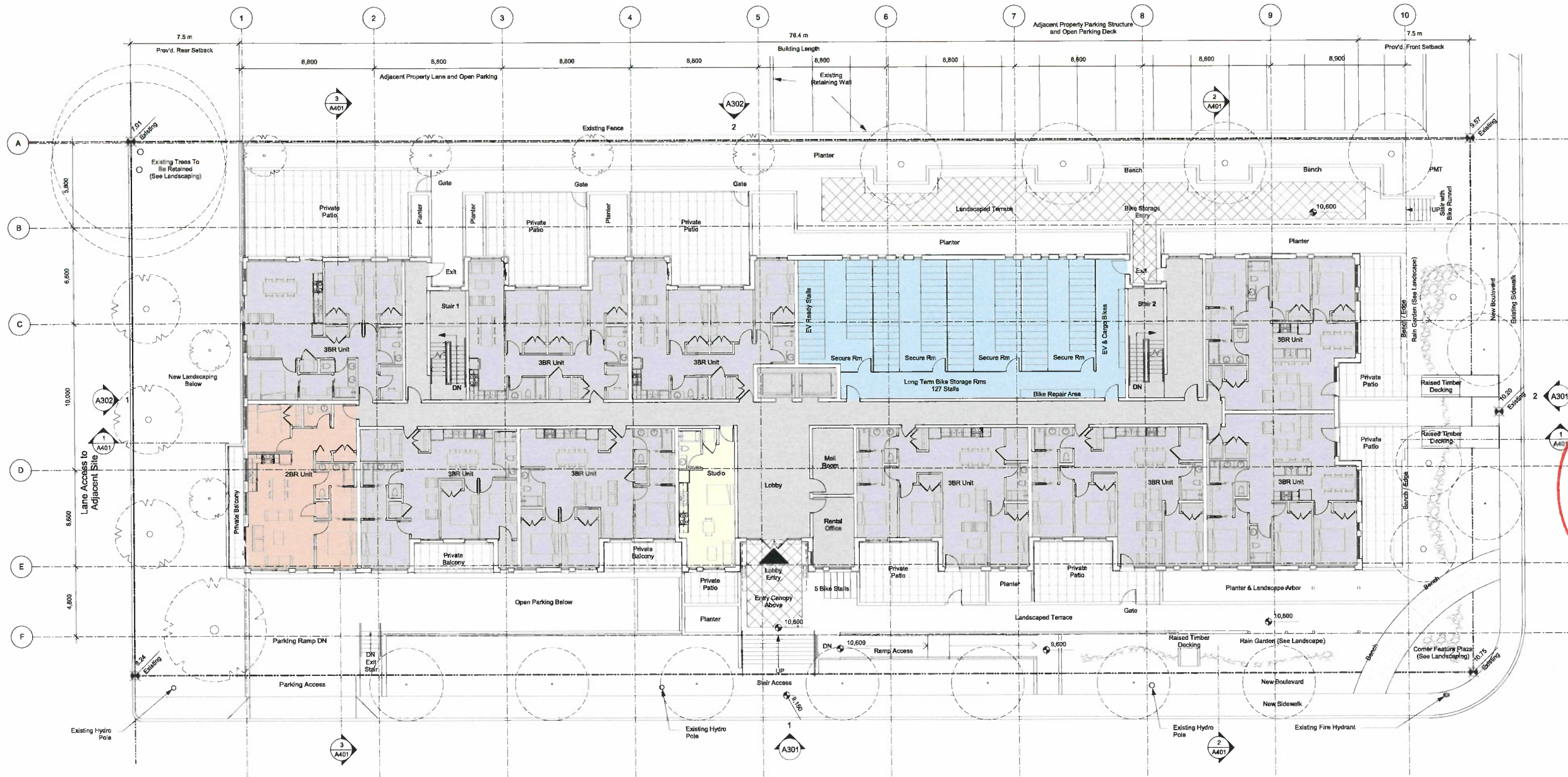
Total Site Area 3345 m²
Building Coverage 2659.8 m² (80%)
Unexcavated / Open Site 685.2 m² (20%)



0 3750 7500 mm
1:150

A201

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WEST BAY TERRACE

Bike Parking Summary

Long Term	127*
Short Term	5
Total	132

*all wall racks to be EV ready, with area allowances for bike repair and cargo bikes

Unit Type Legend

- Studio
- 1 Bedroom
- 2 Bedroom
- 3 Bedroom
- Amenity
- Circulation / Support



2021/07/30 Issued for Rezoning Rev. 2
2021/05/26 Issued for Rezoning Rev. 1.1
2021/04/23 Issued for Rezoning Rev. 1
2020/12/18 Issued for Rezoning

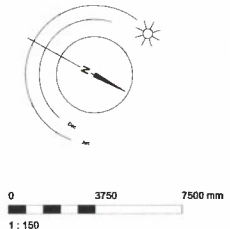
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Scale As Indicated Project Number 2039

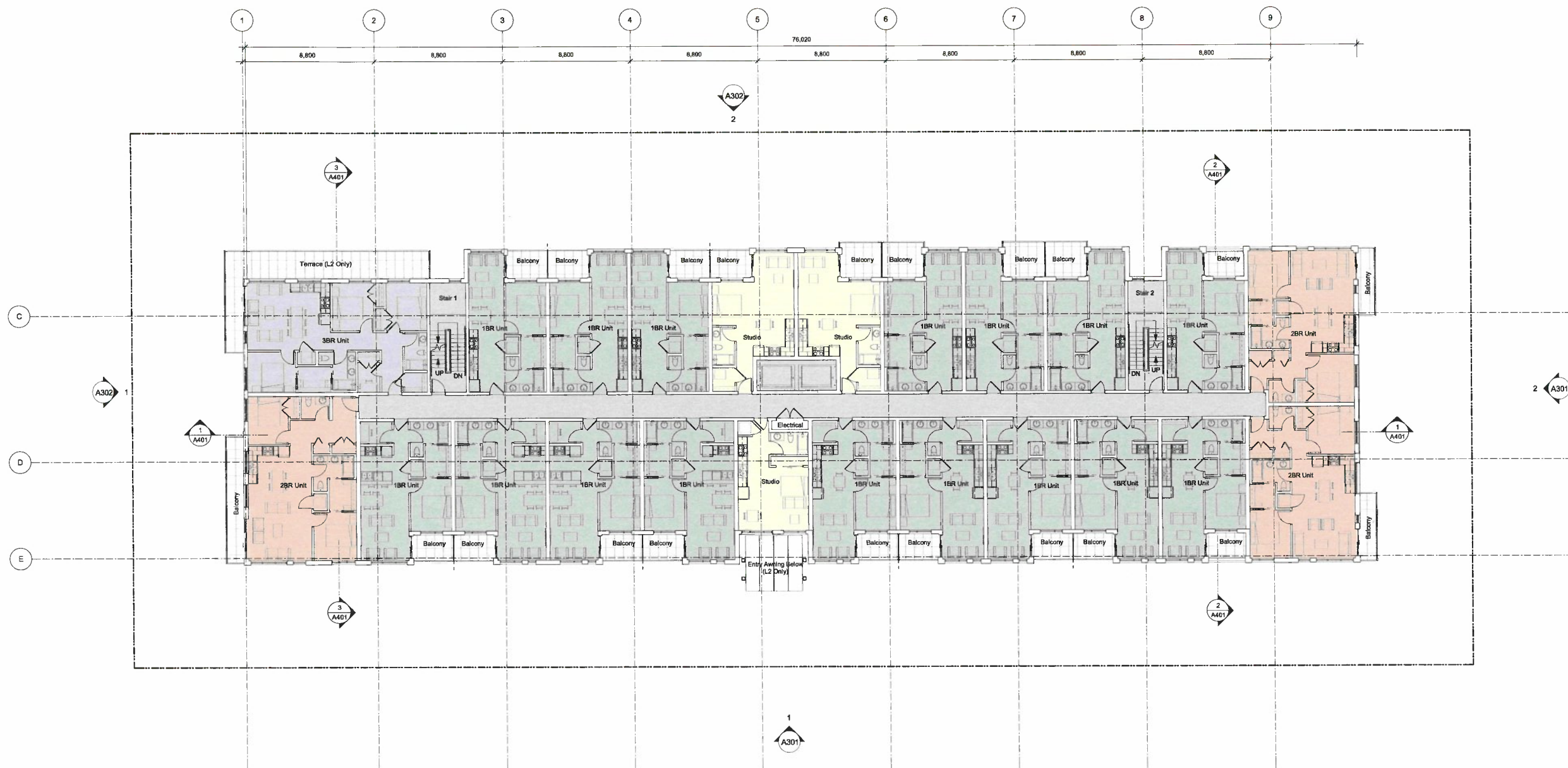
NOTE: All dimensions are shown in millimeters.

530 West Bay Terrace
530 West Bay Terrace
Esquimalt, BC
L1 Overall Plan

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- Unit Type Legend**
- Studio
 - 1 Bedroom
 - 2 Bedroom
 - 3 Bedroom
 - Amenity
 - Circulation / Support



2021/07/30 Issued for Rezoning Rev. 2
 2021/05/26 Issued for Rezoning Rev. 1.1
 2021/04/23 Issued for Rezoning Rev. 1
 2020/12/18 Issued for Rezoning

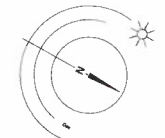
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 Scale: As Indicated Project Number: 2039

NOTE: All dimensions are shown in millimeters.

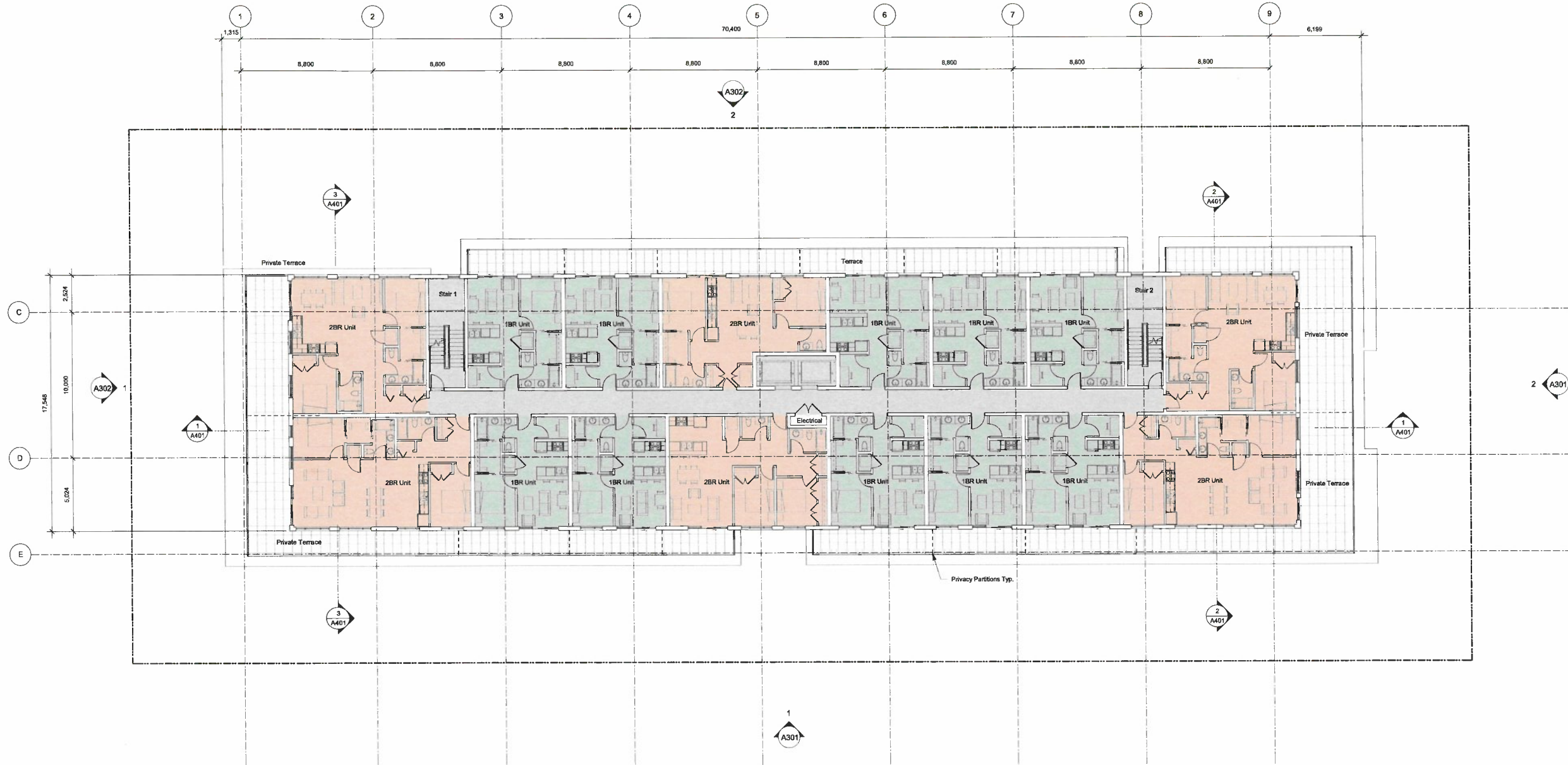
530 West Bay Terrace
 530 West Bay Terrace
 Esquimalt, BC
L2-L4 Typical Overall Plan



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2021-07-28 2:24:49 PM



Unit Type Legend

- Studio
- 1 Bedroom
- 2 Bedroom
- 3 Bedroom
- Amenity
- Circulation / Support



2021/07/30 Issued for Rezoning Rev. 2
2021/04/23 Issued for Rezoning Rev. 1
2020/12/18 Issued for Rezoning

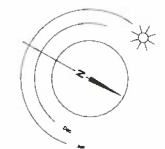
Plot Date: 2021/05/28 Drawing File:
Drawn By: RCI Checked By: ADM
Scale: As indicated Project Number: 2039

NOTE: All dimensions are shown in millimeters.

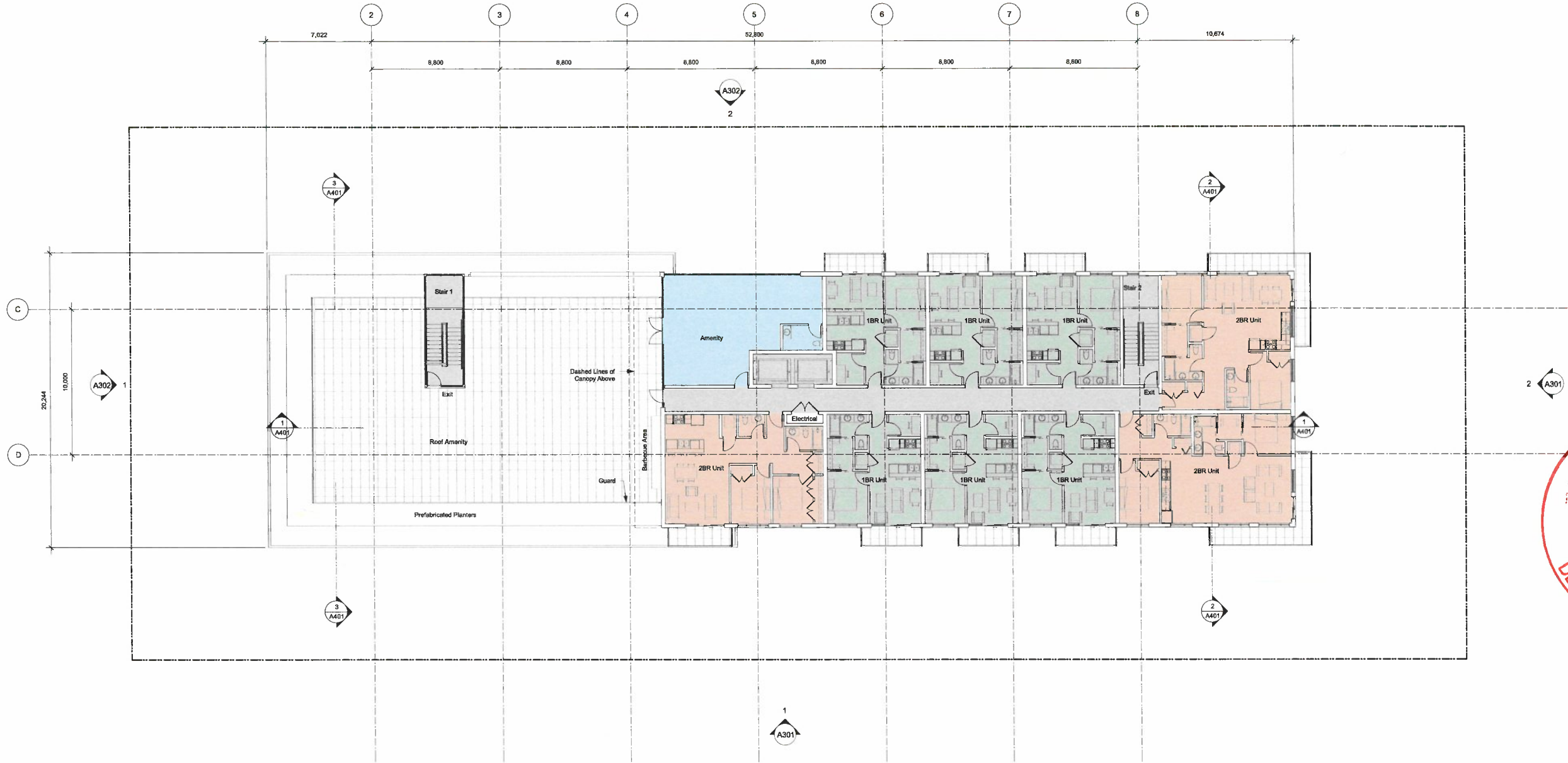
**530 West Bay
Terrace**
530 West Bay Terrace
Esquimalt, BC
L5 Overall Plan



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0 3750 7500 mm
1:150



Unit Type Legend

- Studio
- 1 Bedroom
- 2 Bedroom
- 3 Bedroom
- Amenity
- Circulation / Support

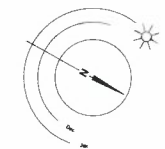


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2021/05/26 Issued for Rezoning Rev. 1.1
2021/04/23 Issued for Rezoning Rev. 1

Plot Date: 2021/05/26 Drawing File:
Drawn By: RCI Checked By: ADM
Scale: As indicated Project Number: 2038

NOTE: All dimensions are shown in millimeters.

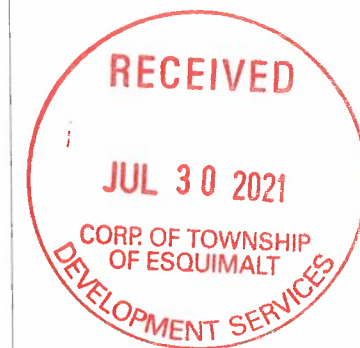
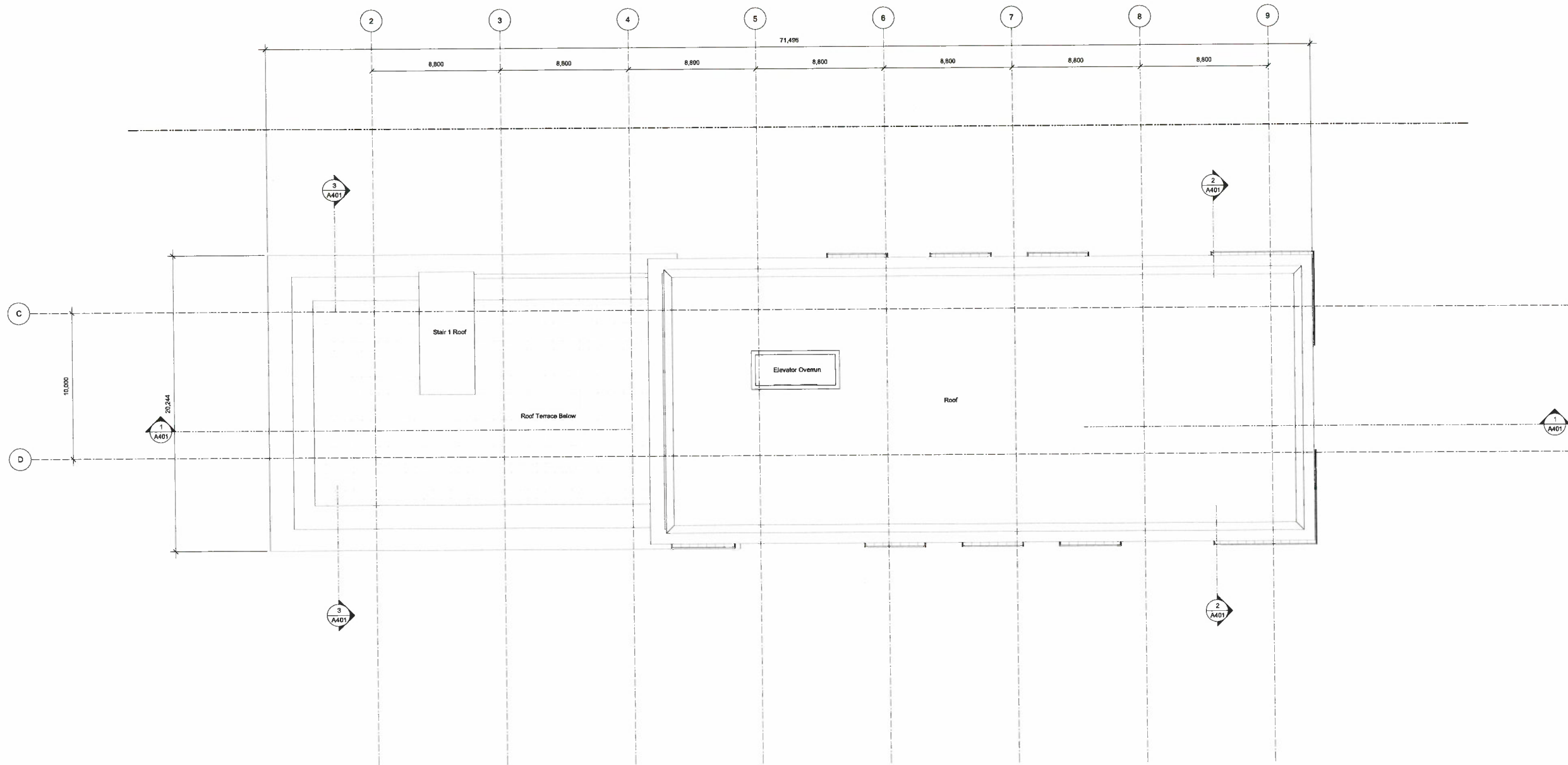
530 West Bay Terrace
530 West Bay Terrace
Esquimalt, BC
L6 Overall Plan



0 3750 7500 mm
1 : 150

A207

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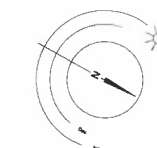


2021/07/30 Issued for Rezoning Rev. 2
2021/05/26 Issued for Rezoning Rev. 1.1
2021/04/23 Issued for Rezoning Rev. 1
2020/12/18 Issued for Rezoning

Plot Date 2021/05/26 Drawing File
Drawn By RCI Checked By ADM
Scale 1 : 150 Project Number 2039

NOTE: All dimensions are shown in millimeters.

530 West Bay
Terrace
530 West Bay Terrace
Esquimalt, BC
Roof Overall Plan



0 3750 7500 mm
1 : 150



A208

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Materials Schedule

- 1 Rainscreen Panel - White
- 2 Rainscreen Panel - Light Gray
- 3 Stone Veneer
- 4 Architectural Exposed Concrete
- 5 Guardrail - Tempered Glass w/ Aluminum Rails
- 6 Window Wall
- 7 Windows - Pre-Finished Aluminum w/ Low-E Glazing
- 8 Vertical Bar Balustrades - Pre-finished Aluminum
- 9 Prefinished Aluminum Flashing
- 10 Cedar Feature Structure
- 11 Door - Wood w/ View Lite
- 12 Door - Pre-Finished Sliding w/ Low-E Glazing

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CORP. OF TOWNSHIP
OF ESQUIMALT
DEVELOPMENT SERVICES

2021/07/30 Issued for Rezoning Rev. 2
2021/05/26 Issued for Rezoning Rev. 1.1
2021/04/23 Issued for Rezoning Rev. 1
2020/12/15 Issued for Rezoning

Plot Data 2021/05/26 Drawing File
Drawn By RCI Checked By ADM
Scale As indicated Project Number 2039
NOTE: All dimensions are shown in millimeters.

530 West Bay
Terrace
530 West Bay Terrace
Esquimalt, BC
Building Elevations

dHKA A301

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Materials Schedule

- 1 Rainscreen Panel - White
- 2 Rainscreen Panel - Light Grey
- 3 Stone Veneer
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- 9 Prefinished Aluminum Flashing
- 10 Cedar Feature Structure
- 11 Door - Wood w/ View Lite
- 12 Door - Pre-Finished Sliding w/ Low-E Glazing



1 South Elevation
A302 SCALE: 1 : 150



2 West Elevation
A302 SCALE: 1 : 150



2021/07/30 Issued for Rezoning Rev. 2
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2021/04/23 Issued for Rezoning Rev. 1
2020/12/18 Issued for Rezoning

Plot Date: 2021/05/26 Drawing File:
Drawn By: RCI Checked By: ADM
Scale: As Indicated Project Number: 2039

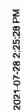
NOTE: All dimensions are shown in millimeters.

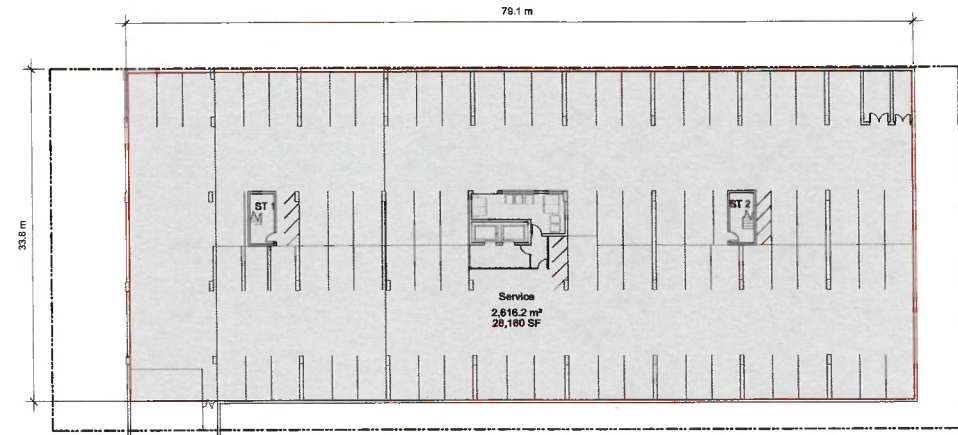
530 West Bay Terrace
530 West Bay Terrace
Esquimalt, BC
Building Elevations

A302

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0 3750 7500 mm
1 : 150





1 P1
A920 SCALE: 1 : 350



2 Level 1 - Area
A920 SCALE: 1 : 350



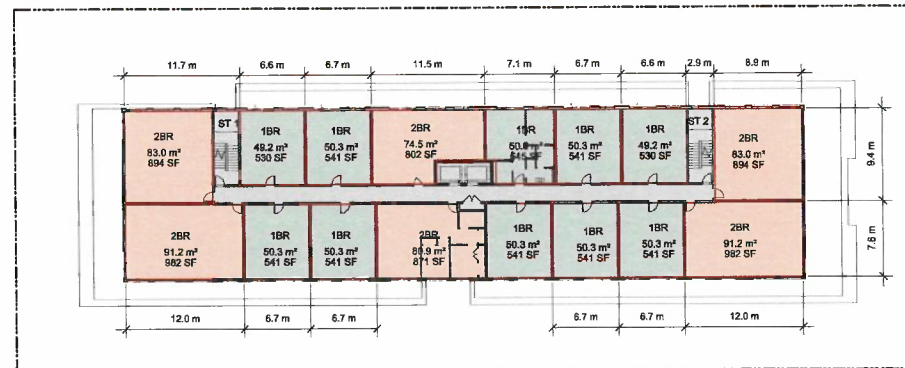
3 Level 2 - Area
A920 SCALE: 1 : 350



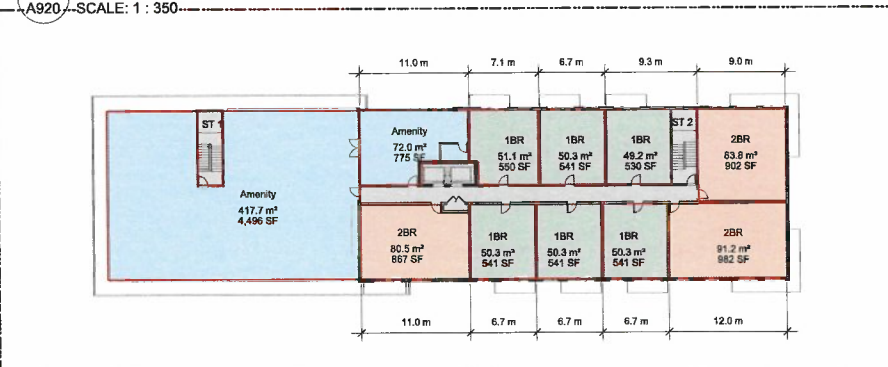
4 Level 3 - Area
A920 SCALE: 1 : 350



5 Level 4 - Area
A920 SCALE: 1 : 350



6 Level 5 - Area
A920 SCALE: 1 : 350



7 Level 6 - Area
A920 SCALE: 1 : 350

Area Legend



Areas Contributing to FAR

Name	Area (m²)	Area (SF)	Count
Level 1			
2BR	83 m²	890 SF	1
3BR	867 m²	9,332 SF	9
Studio	40 m²	426 SF	1
	960 m²	10,548 SF	11
Level 2			
1BR	803 m²	8,648 SF	16
2BR	233 m²	2,508 SF	3
3BR	91 m²	984 SF	1
Studio	122 m²	1,314 SF	3
	1,250 m²	13,452 SF	23
Level 3			
1BR	803 m²	8,648 SF	16
2BR	233 m²	2,508 SF	3
3BR	91 m²	984 SF	1
Studio	122 m²	1,314 SF	3
	1,250 m²	13,452 SF	23
Level 4			
1BR	803 m²	8,648 SF	16
2BR	233 m²	2,508 SF	3
3BR	91 m²	984 SF	1
Studio	122 m²	1,314 SF	3
	1,250 m²	13,452 SF	23
Level 5			
1BR	501 m²	5,391 SF	10
2BR	504 m²	5,424 SF	8
	1,005 m²	10,815 SF	16
Level 6			
1BR	301 m²	3,243 SF	6
2BR	256 m²	2,751 SF	3
	557 m²	5,994 SF	9
	8,300 m²	89,113 SF	105

Unit Counts

Name	Count
1BR	64
2BR	19
3BR	12
Studio	10
	105

Note: Area taken to inside finish face of exterior walls, inside face of circulation, and centre of demising walls.

FAR Summary	Units Total
105	644
0.83	Parking Ratio
1.88	

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2020/12/18 Issued for Rezoning

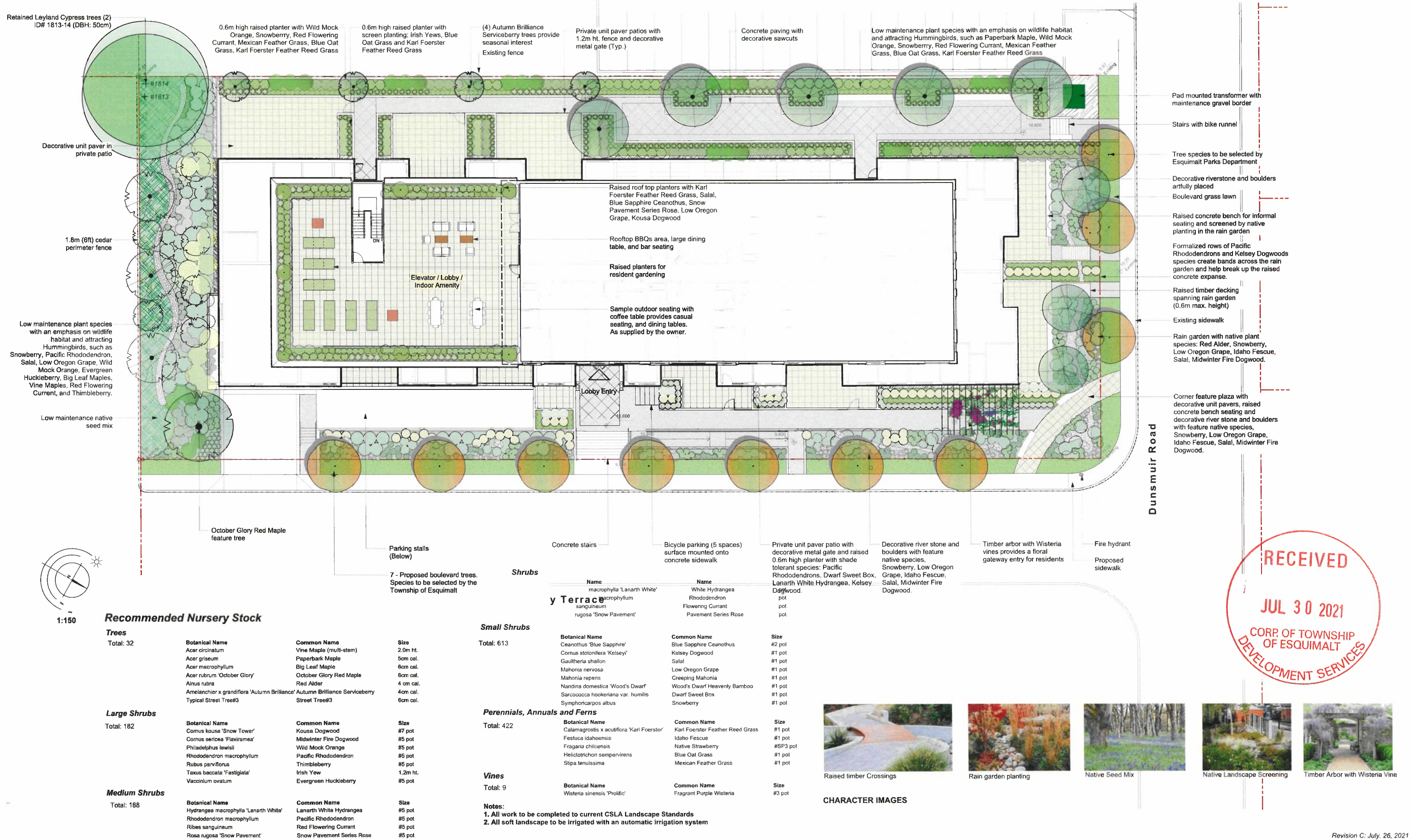
Plot Data 2021/05/26 Drawing File
Drawn By RCI/HW Checked By ADM
Scale 1 : 350 Project Number 2039

NOTE: All dimensions are shown in millimeters.

530 West Bay
Terrace
530 West Bay Terrace
Esquimalt, BC
Area Plans

dHka A920

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Landscape Concept Plan - 530 West Bay Terrace

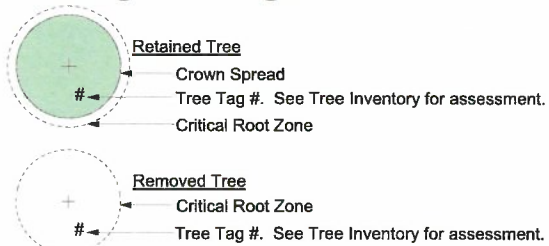
Removed Leyland Cypress trees
ID# 1815-17 (DBH: 16-46cm)

Retained Leyland Cypress trees
ID# 1813-14 (DBH: 50cm)

Removed Western Hemlock
ID# NT1 (DBH: 10-28cm)

Removed Leyland Cypress
ID# 1822-1826 (DBH: 20cm)

Existing Trees Legend:



Tree Summary

Removed Trees: 32
Retained Trees: 2
New Trees: 32

Removed Sawara Cypress
ID# Non2 (DBH: 8,15cm)

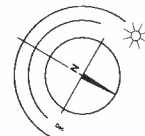
Removed Douglas-fir
ID# 1834-35 (DBH: 67-88cm)

Removed False Cypress
ID# N12 (DBH: 12cm)

Removed Photinia
ID# N13 (DBH: 8-13cm)

Removed Norway Spruce
ID# 1831 (DBH: 36,51cm)

Removed Deodar Cedar
ID# 1830 (DBH: 64cm)



1:150

Inventory of Existing Trees

Tag #	Surveyed	Location (On/Off Street, Curb)	Species	Common Name	Trunk Size (cm)	Height (m)	DBH (cm)	Trunk Condition	Top Condition	Condition	Structure	Notes	Remarks
1811	Yes	On	Yes	Western Redcedar	Thick plate	18	5	3	4	Good	Fair	Poor	Confined rooting environment - between existing asphalt parking lot (South side), building (North side). Codominant crown with 1812.
1812	Yes	On	Yes	Western Redcedar	Thick plate	18	5	3	4	Good	Fair	Poor	Confined rooting environment - between existing asphalt parking lot (South side), building (North side). Codominant crown with 1811.
1813	Yes	On	Yes	Leyland cypress	Cupressus x leylandii	50	15	5	3	Fair/good	Fair/poor	Good	Codominant crown with 1814 - asymmetric crown on West side due to shading, topped historically at 10m above grade - multiple leaders arise near topping location, recent stem loss at 10m at 4m above grade. Confined rooting environment - existing asphalt parking lot on South side.
1814	Yes	On	Yes	Leyland cypress	Cupressus x leylandii	50	15	5	3	Fair/good	Fair/poor	Good	Codominant crown with 1813 - asymmetric crown on West side due to shading, topped historically at 10m above grade - multiple leaders arise near topping location, recent stem loss at 10m at 4m above grade. Confined rooting environment - existing asphalt parking lot on South and West sides.
1815	Yes	On	Yes	Leyland cypress	Cupressus x leylandii	38, 48	15	7	3	Fair/good	Fair/poor	Good	Codominant crown with adjacent Leyland - asymmetric crown on North side due to shading, codominant stem form at 1m above grade, confined rooting environment (existing asphalt parking lot on West side).
1816	Yes	On	Yes	Leyland cypress	Cupressus x leylandii	33	16	5, 0	3	Fair/good	Fair/poor	Good	Suppressed by adjacent Leyland - poor trunk taper, confined rooting environment (existing asphalt parking lot on West side).
1817	Yes	On	Yes	Leyland cypress	Cupressus x leylandii	16, 42	15	5	3	Fair/good	Fair/poor	Good	Codominant crown with adjacent Leyland - asymmetric crown on South side due to shading, confined rooting environment (existing asphalt parking lot on all sides), large damaged surface root on North side.
1818	Yes	On	Yes	Australian pine	Pinus nigra	32	10	3	4	Good	Fair	Good	Suppressed by adjacent 1821 - poor trunk taper - asymmetric crown on North side due to shading, confined rooting environment on all sides (existing asphalt parking lot on all sides), asphalt filling on North side.
1819	Yes	On	Yes	Australian pine	Pinus nigra	32	10	3	4	Good	Fair	Good	Constant tree in area - good trunk taper, codominant crown form at 5m above grade - rounded crown, not shaded, topped historically at 10m above grade - defoliated leaders form at topping location, historic branch failure with associated lateral wounds, confined rooting environment (existing building corner walls, 5m of West side of tree), existing concrete sidewalk and asphalt parking lot within 5m of West side of tree, concrete sidewalk filling extensively.
1820	Yes	On	Yes	Deodar cedar	Deodar deodara	80	20	11	3	Good	Fair/poor	Moderate	Constant tree in area - good trunk taper, multiple stems form at 5m above grade - rounded base and narrow angles of attachment, topped historically at 5m above grade - defoliated leaders form at topping location, historic branch failure with associated lateral wounds, confined rooting environment (existing building walls, 5m of East side of road corner, existing asphalt parking lot walls, 5m of West side of road corner asphalt).
1821	Yes	On	Yes	Deodar cedar	Deodar deodara	70	28	8.5	3	Good	Fair/poor	Moderate	Constant tree in area - good trunk taper, multiple stems form at 5m above grade - rounded base and narrow angles of attachment, topped historically at 5m above grade - defoliated leaders form at topping location, historic branch failure with associated lateral wounds, confined rooting environment (existing building walls, 5m of East side of road corner, existing asphalt parking lot walls, 5m of West side of road corner asphalt).

Tag #	Surveyed	Location	Obs. Height	Species	Common Name	Trunk	Height (m)	DBH (cm)	Condition	Trunk	Structure	Relative	Remarks
N1	No	Yes	Yes	Western hemlock	Tuiga hemlock	28-425, 2x12, 2x12	15	8.5	4	Fair	Fair/poor	Poor	Location of neighbouring property, confined rooting environment - asphalt parking area 1m from West side of road corner, rooted at lower elevation than adjacent property by approximately 3m (existing raised garden planter between tree and asphalt parking area, multiple stems form at base - narrow angles of attachment, trunk covered in decay).
1822	Yes	On	Yes	Leyland cypress	Cupressus x leylandii	45	20	4.5	5	Fair/good	Fair/poor	Good	Growing within Leyland tree row - codominant crown with adjacent trees, confined rooting environment (existing concrete retaining wall 5m from West side and existing building within 1m of East side, topped historically at 5m above grade - multiple leaders arise near topping location).
1823	Yes	On	Yes	Leyland cypress	Cupressus x leylandii	42	20	4	5	Fair/good	Fair/poor	Good	Growing within Leyland tree row - codominant crown with adjacent trees, confined rooting environment (existing concrete retaining wall 5m from West side and existing building within 1m of East side, topped historically at 5m above grade - multiple leaders arise near topping location).
1824	Yes	On	Yes	Leyland cypress	Cupressus x leylandii	31	20	3	5	Fair/good	Fair/poor	Good	Growing within Leyland tree row - codominant crown with adjacent trees, confined rooting environment (existing concrete retaining wall 5m from West side and existing building within 1m of East side, topped historically at 5m above grade - multiple leaders arise near topping location).
Non 1	Yes	On	No	Leyland cypress	Cupressus x leylandii	24	20	3.5	5	Fair/good	Fair/poor	Good	Growing within Leyland tree row - codominant crown with adjacent trees, confined rooting environment (existing concrete retaining wall 5m from West side and existing building within 1m of East side, topped historically at 5m above grade - multiple leaders arise near topping location).
1826	Yes	On	Yes	Leyland cypress	Cupressus x leylandii	35	20	3.5	5	Fair/good	Fair/poor	Good	Growing within Leyland tree row - codominant crown with adjacent trees, confined rooting environment (existing concrete retaining wall 5m from West side and existing building within 1m of East side, topped historically at 5m above grade - multiple leaders arise near topping location).
1827	Yes	On	Yes	Leyland cypress	Cupressus x leylandii	48	20	4.5	5	Fair/good	Fair/poor	Good	Growing within Leyland tree row - codominant crown with adjacent trees, confined rooting environment (existing concrete retaining wall 5m from West side and existing building within 1m of East side, topped historically at 5m above grade - multiple leaders arise near topping location).
1828	Yes	On	Yes	Western redcedar	Thuja plicata	18	5	2.5	2	Fair	Poor	Poor	Heavily suppressed by adjacent Leyland 1826 - poor trunk taper - asymmetric crown, tapered trunk form 2 large stems recently removed - low tree crown ribs.
1829	Yes	On	Yes	Leyland cypress	Cupressus x leylandii	28, 52	20	7	5	Fair/good	Fair/poor	Good	Upright stem - Leyland tree row - codominant crown with adjacent trees, confined rooting environment (existing concrete retaining wall 5m from West side and existing building within 1m of East side, topped historically at 5m above grade - multiple leaders arise near topping location).
1829	Yes	On	Yes	Australian pine	Pinus nigra	32	15	5	5	Good	Fair	Good	Growing near Leyland tree row - some crown irregularity on South side due to shading, rounded trunk form, topped at 10m above grade - asymmetric crown, topped historically at 10m above grade - multiple leaders arise near topping location, recent stem loss at 10m at 4m above grade. Confined rooting environment on West side (existing concrete retaining wall within 5m).
Non 2	Yes	On	No	Sawara cypress	Chamaecyparis nivalis	8, 15	3	2.5	3.5	Fair	Fair	Moderate	Small tree growing within close proximity to existing building.
1830	Yes	On	Yes	Deodar cedar	Deodar deodara	84	10	7.5	5	Good	Poor	Moderate	Topped historically at 4m above grade for hydro clearance - multiple leader attached to main stem near topping location, leader recently killed - large leader pruning injury at 4m above grade - will become a response to the future as future defoliation.

TREE INVENTORY FOR WEST BAY TERRACE													
Tag #	Surveyed	Location	Species	Common Name	Substrate	DBH (cm)	Height (m)	Condition	Health	Structure	Notes	Remarks	
1831	Yes	On	Yes	Norway spruce	Pinus nigra	36.51	15.11	3	Good	Fair	Poor	Multiple (plate form at 1 - 2m above grade - narrow angles of attachment, topped historically at 10m above grade for hydro clearance - defoliated leader arises at topping location, heavily surface rot, mechanical injury at 1m above grade on North side of lower trunk with associated decay, recent wounds from large limb pruning on South side of crown.	
Non 3	Yes	On	No	Australian pine	Pinus nigra	10	5.3	3	Good	Good	Good	Juvenile tree.	
Non 4	Yes	On	No	Pyramidal cedar	Thuja occidentalis	10.8	3.2	1	Fair	Poor	Poor	Shrub portions of tree have fallen and are growing horizontally.	
Non 5	Yes	On	No	Pyramidal cedar	Thuja occidentalis	8.8	4.3	1	Fair	Fair	Poor	Shrub.	
N12	Yes	Shared with City	Yes	Photinia	Photinia sp.	1.12.13	4.2.5	2	Good	Fair	Good	Shrub planted on city property, multiple stems form at base.	
N13	Yes	City	No	False cypress	Chamaecyparis nivalis	12.12	3.3.5	2	Good	Fair/poor	Moderate	Shrub growing on municipal property, stems as a response, topped at 4m above grade for hydro clearance.	
1832	Yes	On	Yes	Lawson cypress	Chamaecyparis lawsoniana	30	15.4	3	Fair	Fair/poor	Moderate	Heavily suppressed by Douglas fir 1834 - poor trunk taper - asymmetric crown on East side due to shading, photinia trunk form to East - rounded.	
1833	Yes	On	Yes	Lawson cypress	Chamaecyparis lawsoniana	38	15	N/A	3	Good	Good	N/A	Dead tree - fallen and hanging up in lower crown of 1834 - supports by a 10cm branch. Targets: existing hydro primary and residential hydro connection, components of vehicles travelling bus West Bay Terrace roadway. Removal recommended for risk reduction.
1834	Yes	On	Yes	Douglas fir	Pseudotsuga menziesii	38	20.13	7	Fair/good	Fair/poor	Poor	Topped historically at 20m above grade for hydro clearance - defoliated leader arises when new topping location, underground limbs form below topping location.	
1835	Yes	On	Yes	Douglas fir	Pseudotsuga menziesii	37	25.10	3	Fair/good	Poor	Poor	Heavily suppressed between 1834 and 1836 - constant growth form, topped historically at 20m above grade - defoliated leader arises when new topping location.	
1836	Yes	On	Yes	Douglas fir	Pseudotsuga menziesii	30	25.12	3	Fair/good	Poor	Poor	Topped historically at 20m above grade for hydro clearance - defoliated leader arises when new topping location, underground limbs form below topping location.	

Prepared by:
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Email: tobias@tma.com

Revision C: July 26, 2021
Revision B: Apr. 22, 2021
Revision A: Dec. 16, 2020

Tree Preservation Plan - 530 West Bay Terrace



Project No: 2060 4 Dec 2020

#3-864 Queens Ave. Victoria B.C. V8T 1M5
Phone: (250) 598-0105

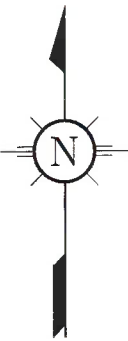


SITE PLAN OF: LOT 1, LOT 2, LOT 5, LOT 6 AND LOT 7,
SECTION 11, ESQUIMALT DISTRICT, PLAN 11515

BCGS MAP SHEET 92B.044
P.I.D's.: 005-090-202, 000-074-659, 000-074-594, 005-090-181, 000-074-683



The intended plot size of this plan is 432mm in width by 559mm in height (C-Size) when plotted at a scale of 1:250.



PLAN VIS828

PLAN VIS4480

LOT 8
PLAN 11515

LOT 9
PLAN 11515

LOT 10
PLAN 11515

LEGEND

- (M) denotes Manhole
- (S) denotes Manhole - Sanitary
- (Pine symbol) denotes Pine Tree
- (Deciduous symbol) denotes Deciduous Tree
- (Fir symbol) denotes Fir Tree
- (Cedar symbol) denotes Cedar Tree
- (Coniferous symbol) denotes Coniferous Tree
- (Treeline symbol) denotes Treeline/Bushline
- (Traffic sign post symbol) denotes Traffic Sign Post
- (Clean out symbol) denotes Clean Out
- (Hydrant symbol) denotes Hydrant
- (900 symbol) denotes Tree Diameters in millimeters
- (Utility pole symbol) denotes Utility Pole
- (Standard iron post symbol) denotes Standard Iron Post found
- (Anchor symbol) denotes Anchor
- (Catch basin symbol) denotes Catch Basin
- (Wood fence line symbol) denotes Wood Fenceline
- (Water valve symbol) denotes Water Valve
- P denotes Porch
- D denotes Deck
- C denotes Cantilever
- RW denotes Retaining Wall
- L denotes Landscaping
- (Pink shaded area) denotes Proposed building footprint for P1 level

All distances and elevations are in metres and decimals thereof, unless otherwise noted.
Contours are shown at a 0.25m interval and are referred to CGVD28 datum.
Combined area of Lots 1, 2, 5, 6 and 7 = 3345 m² (36,005 ft²)
Area of proposed building at P1 level = 2659.8 m² (28,629.8 ft²)

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Parcel dimensions shown hereon are derived from field survey and Plan 11515.

This document shows the relative location of the surveyed buildings and features with respect to the boundaries of the parcel described hereon. This document shall not be used to define property lines or property corners.

Note: this plan is based on a field survey completed June 18th, 2020

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