

CORPORATION OF THE TOWNSHIP OF ESQUIMALT

DEVELOPMENT PERMIT

NO. DP000155

Owner: Big Dune Properties Ltd., Inc. No. BC1243006
Derek Winston Braaten, Director

Land: PID 002-196-921
Lot 3, Block 17, Section 10 Esquimalt District, Plan 2546

Address: 1179 Colville Road, Esquimalt, BC

Conditions:

1. This Development Permit is issued subject to compliance with all of the bylaws of the Municipality applicable thereto, except as specifically varied or supplemented by this permit, for the purpose of:
 - the protection of the natural environment, as governed by Development Permit Area No. 1: Natural Environment;
 - authorizing the form and character of the proposed development, as governed by Development Permit Area No. 3: Enhanced Design Control Residential;
 - energy conservation and greenhouse gas reduction, as governed by Development Permit Area No. 7: Energy Conservation & Greenhouse Gas Reduction; and
 - water conservation, as governed by Development Permit Area No. 8: Water Conservation.
2. Approval of this Development Permit is issued in accordance with the BC land surveyor's site plan provided by Wey Mayenburg Land Surveying Inc., stamped "Received July 21, 2021", is consistent with the architectural plans prepared by Paul Park, Park Residential Designs stamped "Received July 21, 2021", and the landscape plan prepared by Mary Haggerty Designs, stamped "Received September 20, 2021" attached hereto as Schedule 'A'.
3. This Development Permit is issued in accordance with the landscaping estimate provided by Mammoth Landscaping and Masonry Ltd., stamped "Received April 29, 2021", attached hereto as Schedule 'B'. Security, in an amount representing 120% of the estimate (120% of \$58,950.00 = \$70,740.00) must be deposited with the Township of Esquimalt before this permit can be issued.

4. The lands shall be developed in accordance with the terms, conditions, and provisions of this Permit.
5. The terms, conditions and covenants contained herein shall enure to the benefit of and be binding upon the Owners, their executors, heirs or administrators, successors and assigns as the case may be or their successors to title in the lands.
6. This Development Permit is not a Building Permit.
7. This Permit lapses two (2) years after the date it is issued if the holder of the Permit does not substantially start any construction with respect to which the Permit was issued.
8. For the purposes of this Development Permit, the holder of the Permit shall be the owner(s) of the lands.

APPROVED BY MUNICIPAL COUNCIL RESOLUTION ON THE _____ DAY OF _____, 2021.

ISSUED BY THE DIRECTOR OF DEVELOPMENT SERVICES ON THIS _____ DAY OF _____, 2021.

Director of Development Services

Corporate Officer
Corporation of the Township
of Esquimalt

Site Plan Of:
Lot 3, Block 17, Section 10,
Esquimalt District, Plan 2546.
P.I.D. 002-196-921

THIS IS SCHEDULE **A** OF
 DEVELOPMENT PERMIT
 NO. **DP000155**

CORPORATE OFFICER



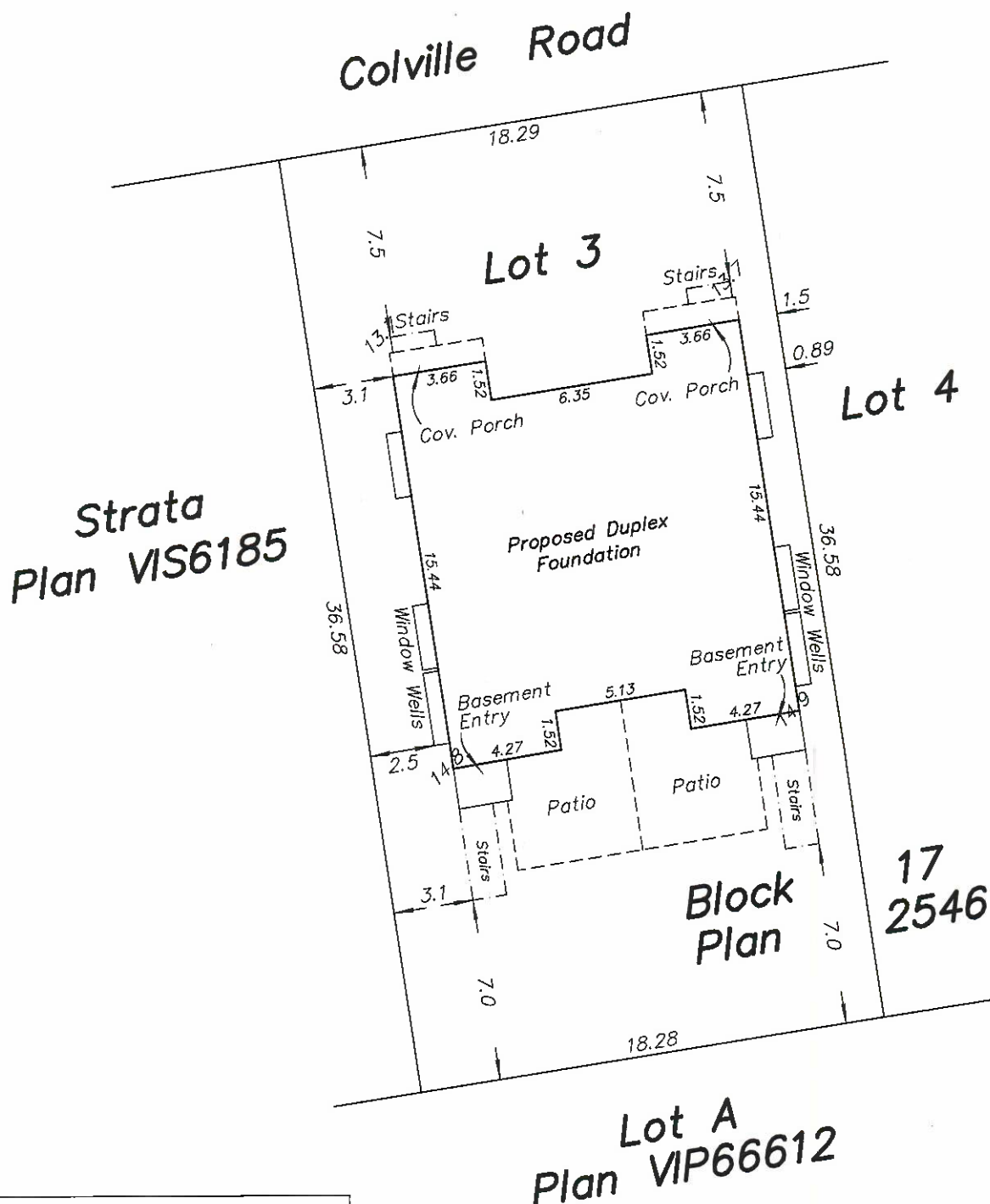
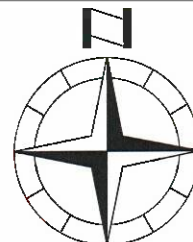
Scale = 1:250

Dated this 21st day of April, 2021.

Distances and elevations shown are in metres.

Elevations are based on geodetic datum CVD28BC
 and derived from OCM 84H0191.

This site plan is for building and design purposes
 and is for the exclusive use of our client.



Wey Mayenburg Land Surveying Inc.

www.weysurveys.com

#4-2227 James White Boulevard
 Sidney, BC V8L 1Z5

Telephone (250) 656-5155

File: 200106\SIT\GH

COLVILLE ROAD

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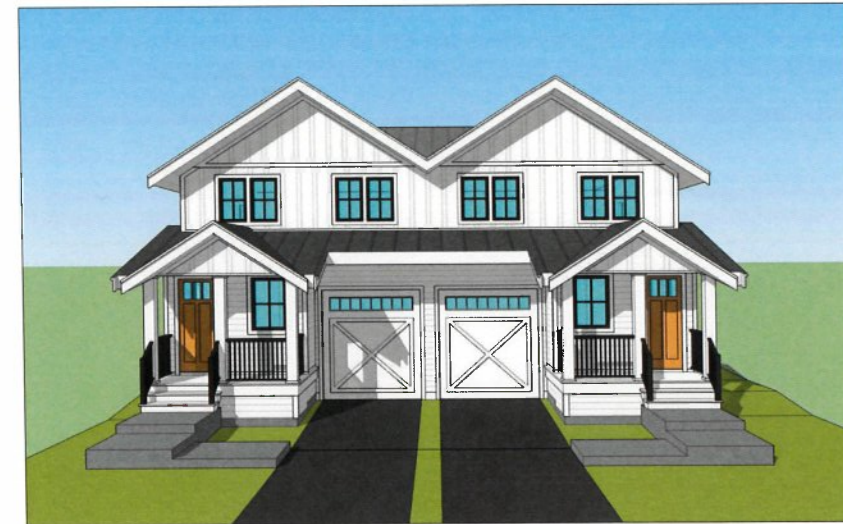
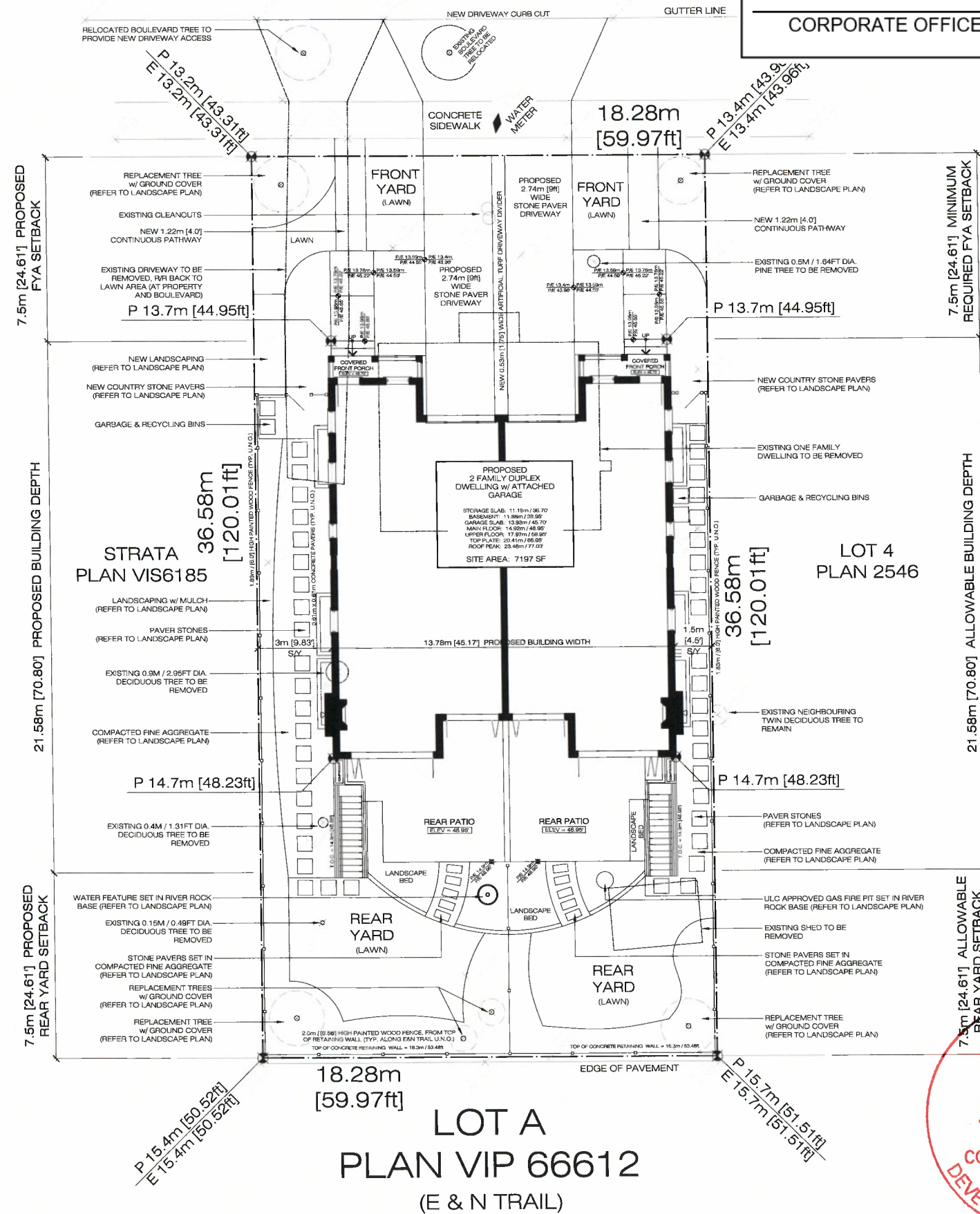
PROJECT DATA:

ADDRESS: 1179 COLVILLE ROAD, ESQUIMALT, BC V9A 4R1
LEGAL: LOT 3, BLOCK 17, SECTION 10,
ESQUIMALT DISTRICT, PLAN 2546
ZONING: RD - 3
LOT SIZE: 668.68M² / 7197 SF
BUILT: 1941 (ORIGINAL)

AVERAGE GRADE CALCULATION:
13.7m / 44.95'
13.7m / 44.95'
14.8m / 48.23'
14.8m / 48.23'
56.80m / 186.36' DIVIDED BY 4
= 14.20m / 46.59'

FSR	REQUIRED / ALLOWED	PROPOSED
	267.45M ² / 2878.80 SF (7197 x 0.4) (SITE UNDER 800M ² / 8611.13 SF)	171.32M ² / 1844 SF (BSMNT - EXEMPT) 127M ² / 1371 SF (MAIN) 140.10M ² / 1508 SF (UPPER)
TOTAL	267.45M ² / 2878.80 SF (SITE x 0.4)	267.10M ² / 2875.04 SF

YARDS	REQUIRED / ALLOWED	PROPOSED
FRONT YARD	7.5M / 24.61'	7.5M / 24.61'
REAR YARD	7.5M / 24.61'	7.5M / 24.61'
SIDE YARDS	3.0M / 9.84' 1.5M / 4.9' 4.5M / 14.76' - TOTAL SUM	3.0M / 9.84' - WEST SIDE 1.5M / 5.0' - EAST SIDE 4.5M / 14.84' - TOTAL
BUILDING HEIGHT MAXIMUM	7.3M / 23.95' (MID POINT OF ROOF)	7.3M / 23.95'
LOT COVERAGE	200.59M ² / 2159.10 SF (30% OF 7197 SF)	200.48M ² / 2158 SF (30%)
DRIVEWAYS / PARKING SPACES	5.5M / 18FT MAX. COMBINED WIDTH / 1 PARKING SPACE PER DWELLING	5.5M / 18FT COMBINED TOTAL / 2 PER DWELLING [1 ENCLOSED & 1 OPEN]

PROPOSED FRONT FACADE
NORTH ELEVATION

DRAWING LIST

DP1 SITE PLAN & PROJECT DATA
DP2 BASEMENT PLANS
DP3 MAIN FLOOR PLANS
DP4 UPPER FLOOR PLANS
DP5 ROOF PLANS
DP6 NORTH & EAST ELEVATIONS
DP7 SOUTH & WEST ELEVATIONS
DP8 BUILDING SECTIONS
DP9 COLOUR & MATERIAL BOARD

DP10 LANDSCAPE DRAWING
IR1 IRRIGATION PLAN

RECEIVED

JUL 21 2021

CORP. OF TOWNSHIP
OF ESQUIMALT
DEVELOPMENT SERVICESPARK
RESIDENTIAL DESIGNS

PARK RESIDENTIAL DESIGNS
4158 RODDHOME GARDENS
VICTORIA, BC
V8K 5K4
778.365.7275
paul@parkerresidentialdesigns.com

THESE DRAWINGS AND ALL DESIGN CONTAINED
THEREIN ARE AND AT ALL TIMES REMAIN, THE
EXCLUSIVE PROPERTY OF PARK RESIDENTIAL DESIGNS
AND CANNOT BE USED OR REPRODUCED WITHOUT
WRITTEN CONSENT. ALL GIVEN DIMENSIONS TO
GOVERN OVER SCALED DIMENSIONS.
CONTRACTORS SHALL VERIFY ALL DIMENSIONS
PRIOR TO COMMENCEMENT OF WORK. ALL ERRORS
OR OMISSIONS TO BE REPORTED IMMEDIATELY TO
THE OWNER, GENERAL CONTRACTOR AND PRO FOR
CLARIFICATION.

DP II APR. 30, 2021
DP SUB DEC. 30, 2020
DP SET AUG. 10, 2020
DSN I JUNE 13, 2020
REV. DATE:

P/E - PROPOSED / EXISTING GRADE
IG - INTERPOLATED GRADE
PBE - PROPOSED BUILDING
ENVELOPE ELEVATION
BE - PRIMARY BUILDING
ENVELOPE ELEVATION
MECHANICAL FAN
TEMPERED SAFETY GLASS
ULC APPROVED HARD WIRED
SMOKE ALARM / CO DETECTOR
S.E.D. - STRUCTURAL ENGINEER
DRAWINGS

NORTH ARROW:



PROJECT NAME:

BRAATEN
DUPLEX

PROJECT ADDRESS:

1179 COLVILLE RD
ESQUIMALT, BC
V9A 4R1

DRAWING TITLE:

SITE PLAN &
PROJECT DATA

DATE: APR. 20, 2020

JOB NO.: BDP_01

DRAWN BY: PMP

SCALE: 1/4" = 1'-0"

PAGE:

DP1

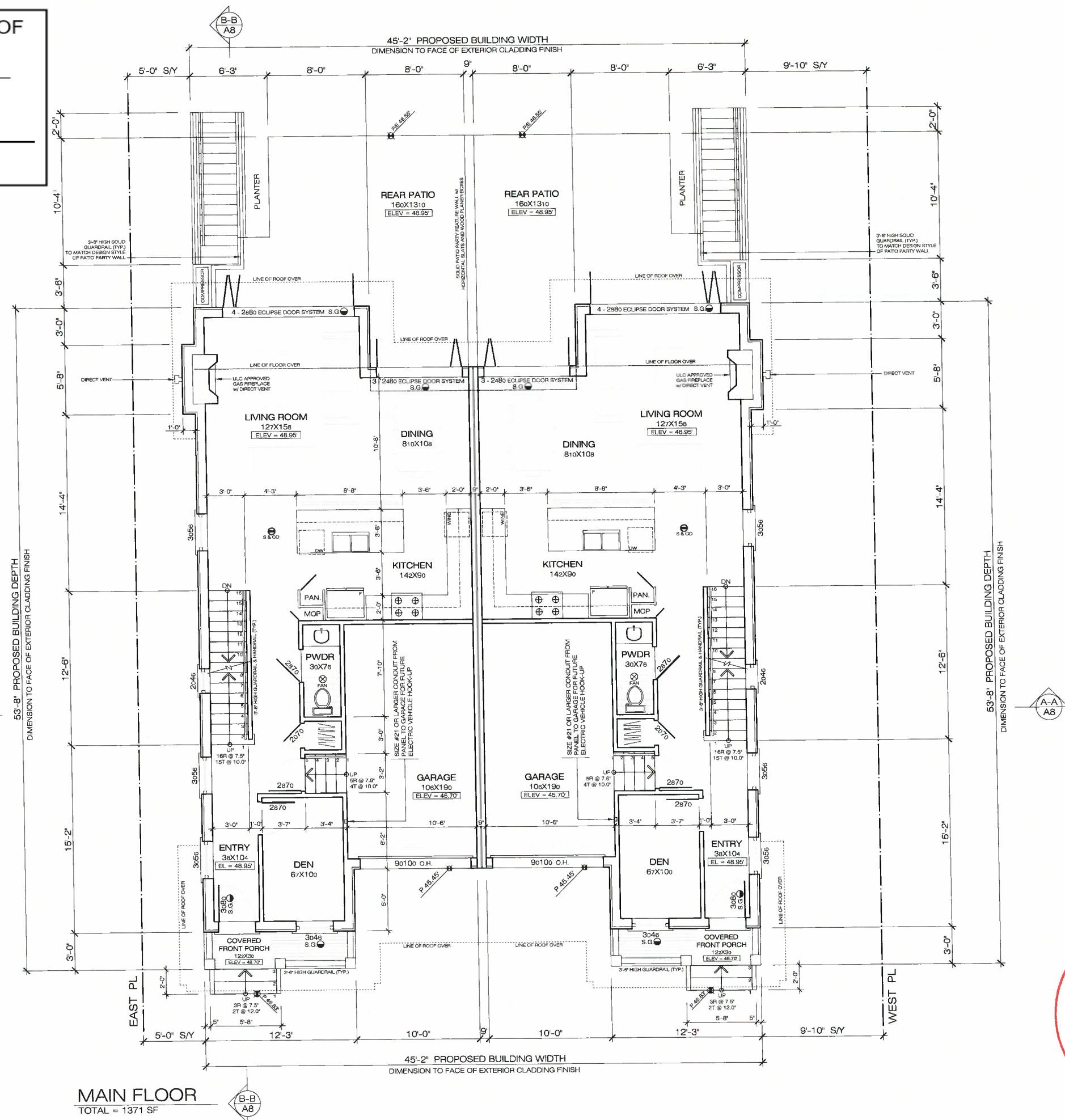
CORPORATE OFFICER



DP2

THIS IS SCHEDULE **A** OF
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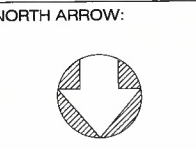


PARK
RESIDENTIAL DESIGNS
PARK RESIDENTIAL DESIGNS
4155 ROCKHOMME GARDENS
VICTORIA, BC
V8K 5K4
778.388.7275
pa@parkresidentialdesigns.com

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PE - PROPOSED / EXISTING GRADE
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BE - PRIMARY BUILDING ENVELOPE ELEVATION
MECHANICAL FAN
TEMPERED SAFETY GLASS
ULC APPROVED HARD WIRED SMOKE ALARM / CO DETECTOR
S.E.D. - STRUCTURAL ENGINEER DRAWINGS



PROJECT NAME:
BRAATEN DUPLEX

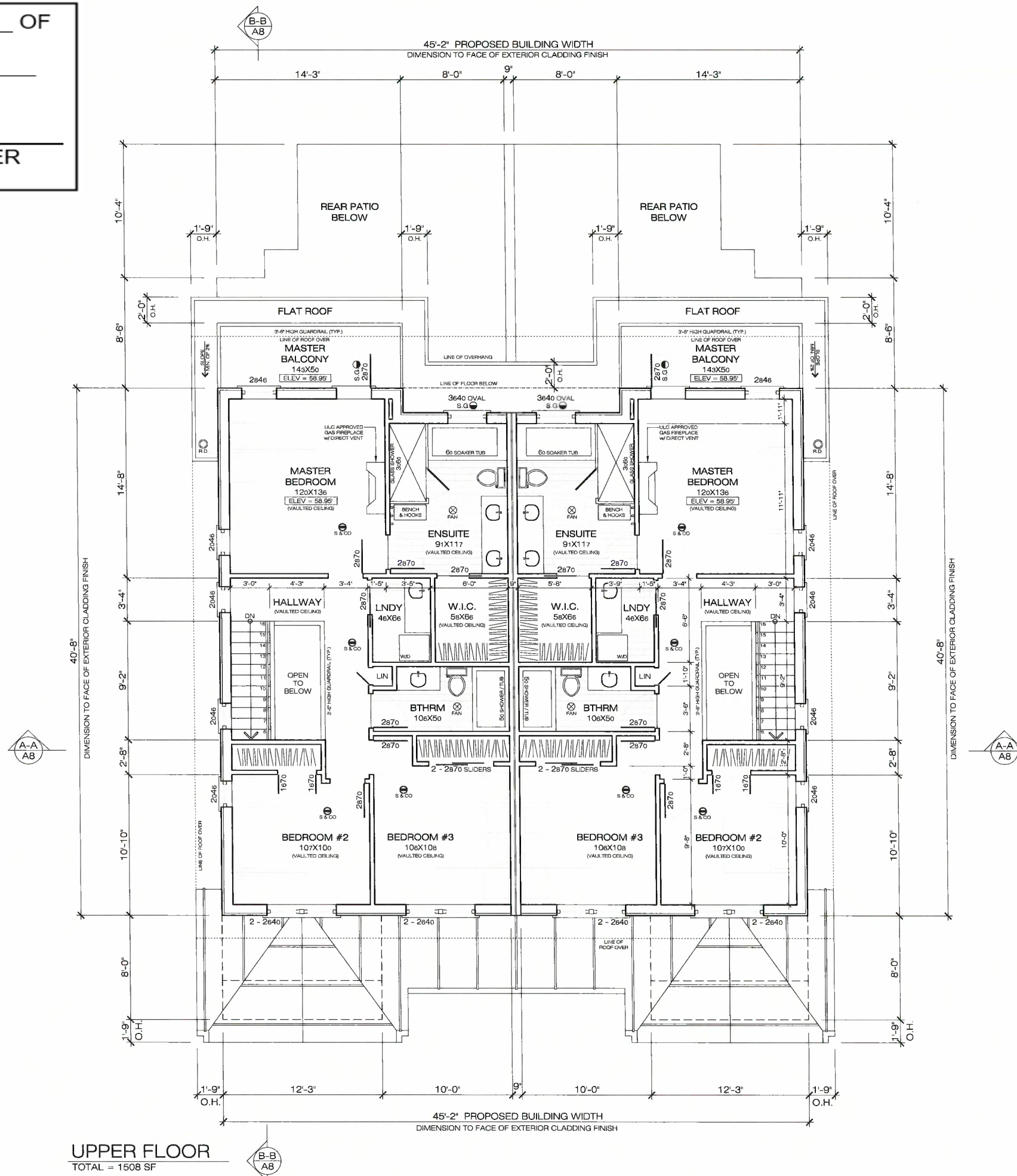
PROJECT ADDRESS:
1179 COLVILLE RD
ESQUIMALT, BC
V9A 4R1

DRAWING TITLE:
MAIN FLOOR PLANS

DATE: APR. 20, 2020
JOB NO.: BDP_01
DRAWN BY: PMP
SCALE: 1/4" = 1'-0"
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DP3

CORPORATE OFFICER

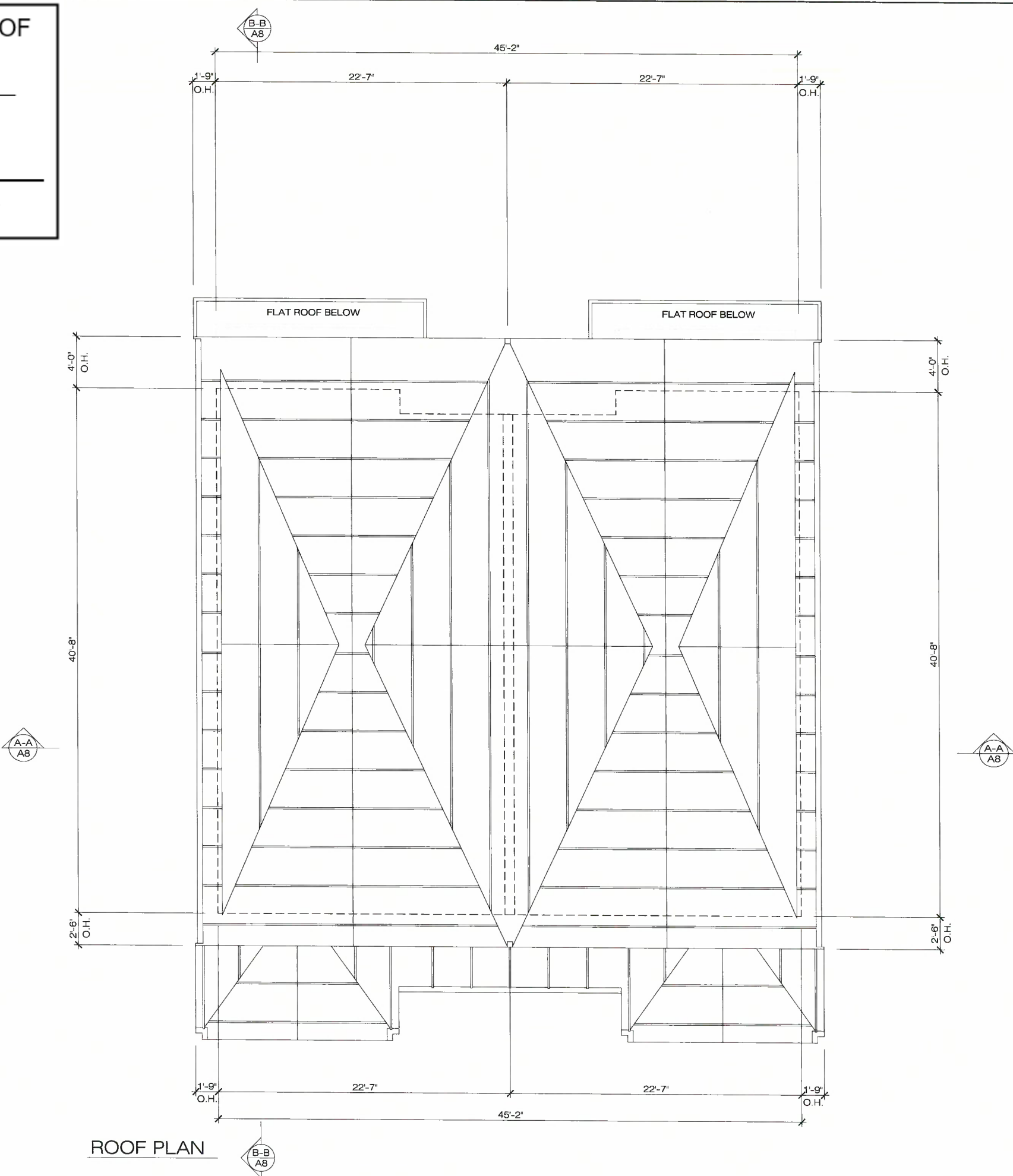


UPPER FLOOR
TOTAL = 1508 SF

DP4

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CORPORATE OFFICER



PARK
RESIDENTIAL DESIGNS

PARK RESIDENTIAL DESIGNS
4155 ROCKHOMME GARDENS
VICTORIA, BC
V8K 5K4
778.385.7275
p.d@parkresidentialdesigns.com

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ENVELOPE ELEVATION
MECHANICAL FAN
S.G. - TEMPERED SAFETY GLASS
ULC APPROVED HARD WIRED
SMOKE ALARM / CO DETECTOR
S.E.D. - STRUCTURAL ENGINEER
DRAWINGS

NORTH ARROW:



PROJECT NAME:

BRAATEN
DUPLEX

PROJECT ADDRESS:

1179 COLVILLE RD
ESQUIMALT, BC
V9A 4R1

DRAWING TITLE:

ROOF PLANS

DATE: APR. 20, 2020

JOB NO.: BDP_01

DRAWN BY: PMP

SCALE: 1/4" = 1'-0"

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DP5



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MECHANICAL FAN
TEMPERED SAFETY GLASS
ULC APPROVED HARD WIRED SMOKE ALARM / CO DETECTOR
S.E.D. - STRUCTURAL ENGINEER DRAWINGS

NORTH ARROW:

PROJECT NAME:

BRAATEN
DUPLEX

PROJECT ADDRESS:

1179 COLVILLE RD
ESQUIMALT, BC
V9A 4R1

DRAWING TITLE:

ELEVATIONS -
NORTH & EAST
VIEWS

DATE:

APR. 20, 2020

JOB NO.:

BDP_01

DRAWN BY:

PMP

SCALE:

1/4" = 1'-0"

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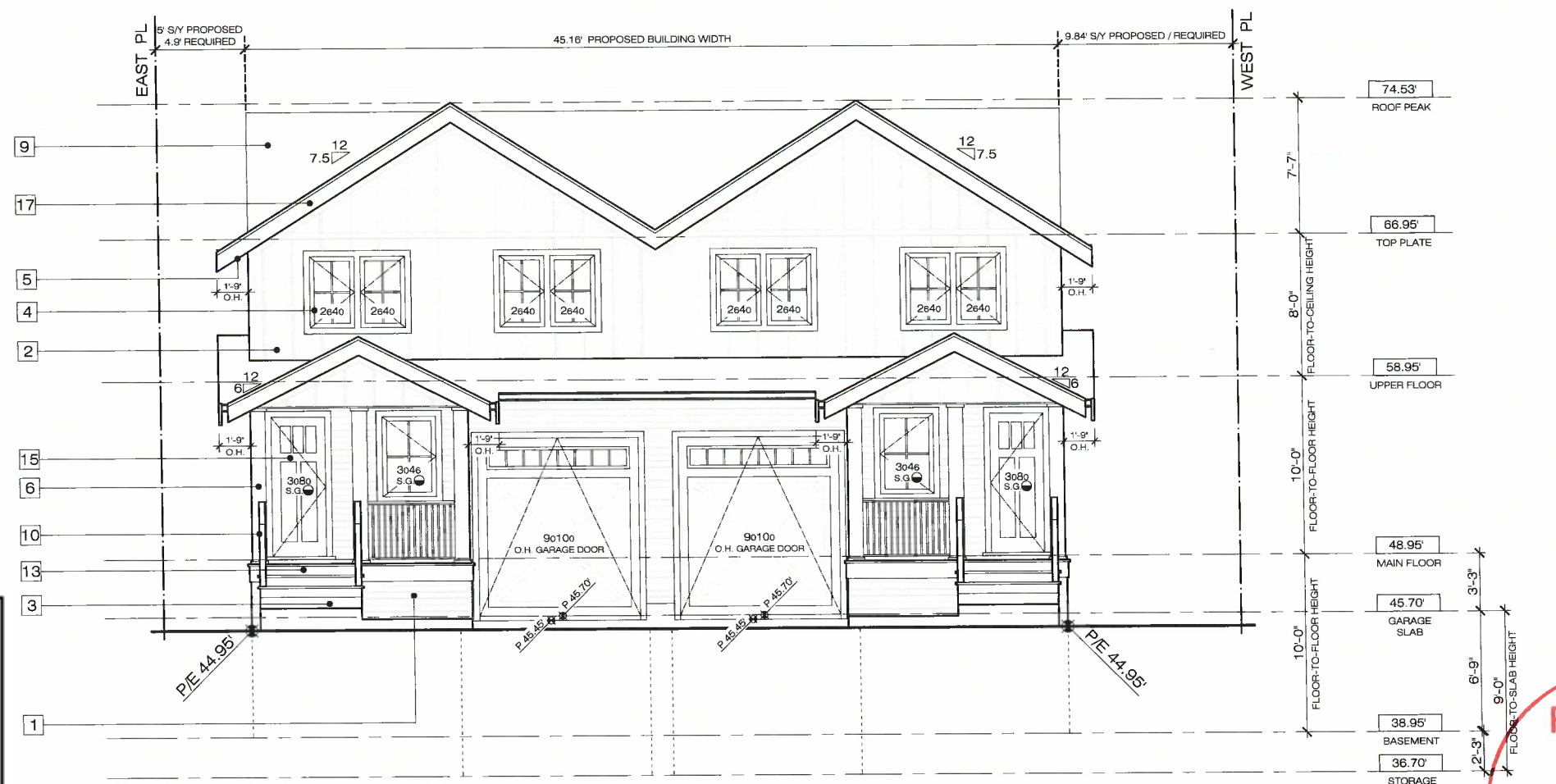
DP6

MATERIALS TYPICAL TO ALL FACADES

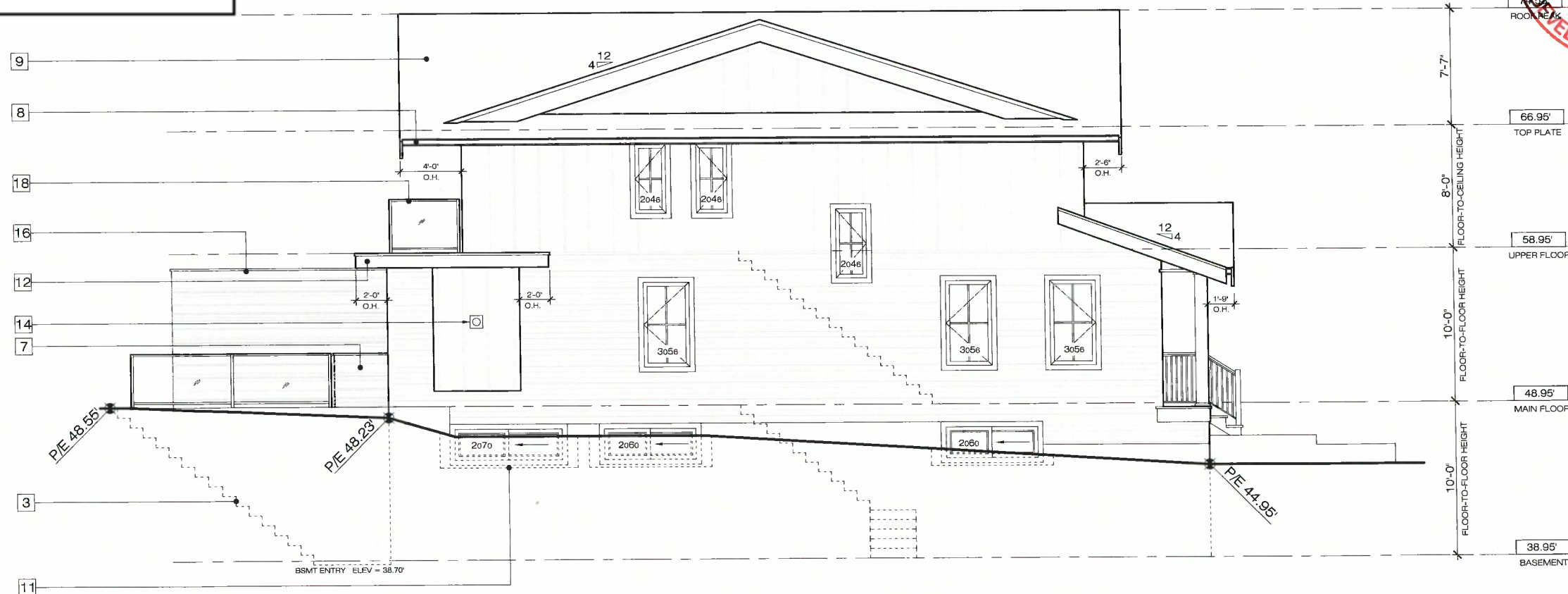
1. HARDIE SIDING w/ MAX. 4" REVEAL - PAINTED
2. VERTICAL HARDIE BOARD & BATTEN - PAINTED
3. CONCRETE STAIRS & NOSING
4. VINYL WINDOWS - DOUBLE GLAZED w/ 2"x4" WINDOW TRIM AND 2"x4" WOOD SILL
5. WOOD SOFFIT w/ CONTINUOUS VENT & INSECT STRIP (TYP.)
6. 10"x10" PORCH POST w/ EXTERIOR PLY - SANDED & PAINTED
7. MIN. 3'-6" HIGH SOLID WALL GUARDRAIL
8. 5" CONTINUOUS ALUMINUM GUTTER
9. SEAMLESS METAL ROOF FINISH
10. MIN. 3'-6" HIGH ALUMINUM GUARDRAIL - BLACK FINISH
11. CONCRETE LIGHT WELL
12. 2"x12" PAINTED TRIM BOARD w/ 2"x2" CROWN MOULDING
13. WOOD STAIRS w/ 2"x6" TREADS & 1"x6" NOSING
14. ULC APPROVED GAS FIREPLACE DIRECT VENT
15. WOOD ENTRY DOOR
16. SIMPSON 36033 PALOMAR II OR EQUIVALENT
17. HORIZONTAL SLATED WOOD PRIVACY WALL w/ WOOD PLANTER BOXES - PAINTED
18. 2"x12" PAINTED FASCIA BOARD w/ 2"x2" CROWN MOULDING
19. 3'-6" MIN. HIGH ALUMINUM GUARDRAIL w/ PRIVACY GLASS

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NORTH ELEVATION



EAST ELEVATION

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TEMPERED SAFETY GLASS
ULC APPROVED HARD WIRED SMOKE ALARM / CO DETECTOR
S.E.D. - STRUCTURAL ENGINEER DRAWINGS

NORTH ARROW:

PROJECT NAME:

BRAATEN
DUPLEX

PROJECT ADDRESS:

1179 COLVILLE RD
ESQUIMALT, BC
V9A 4R1

DRAWING TITLE:

ELEVATIONS -
SOUTH & WEST
VIEWS

DATE: APR. 20, 2020

JOB NO.: BDP_01

DRAWN BY: PMP

SCALE: 1/4" = 1'-0"

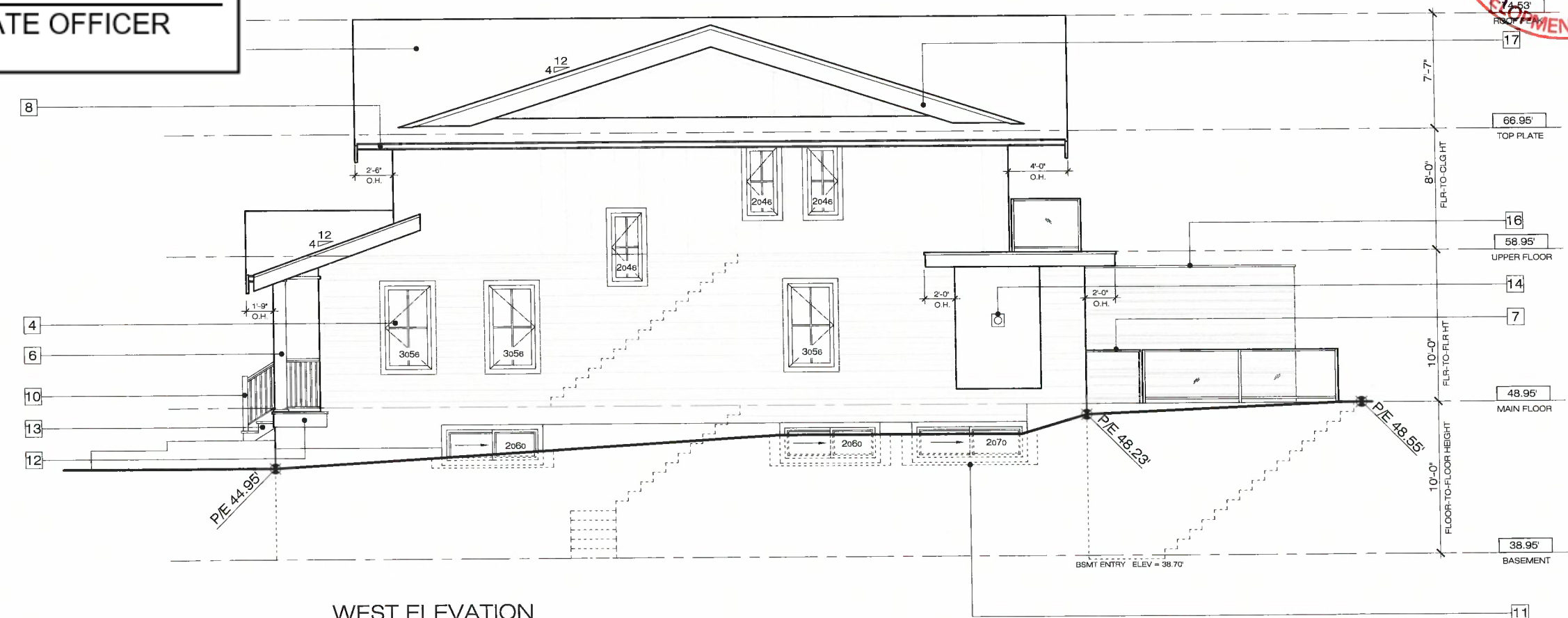
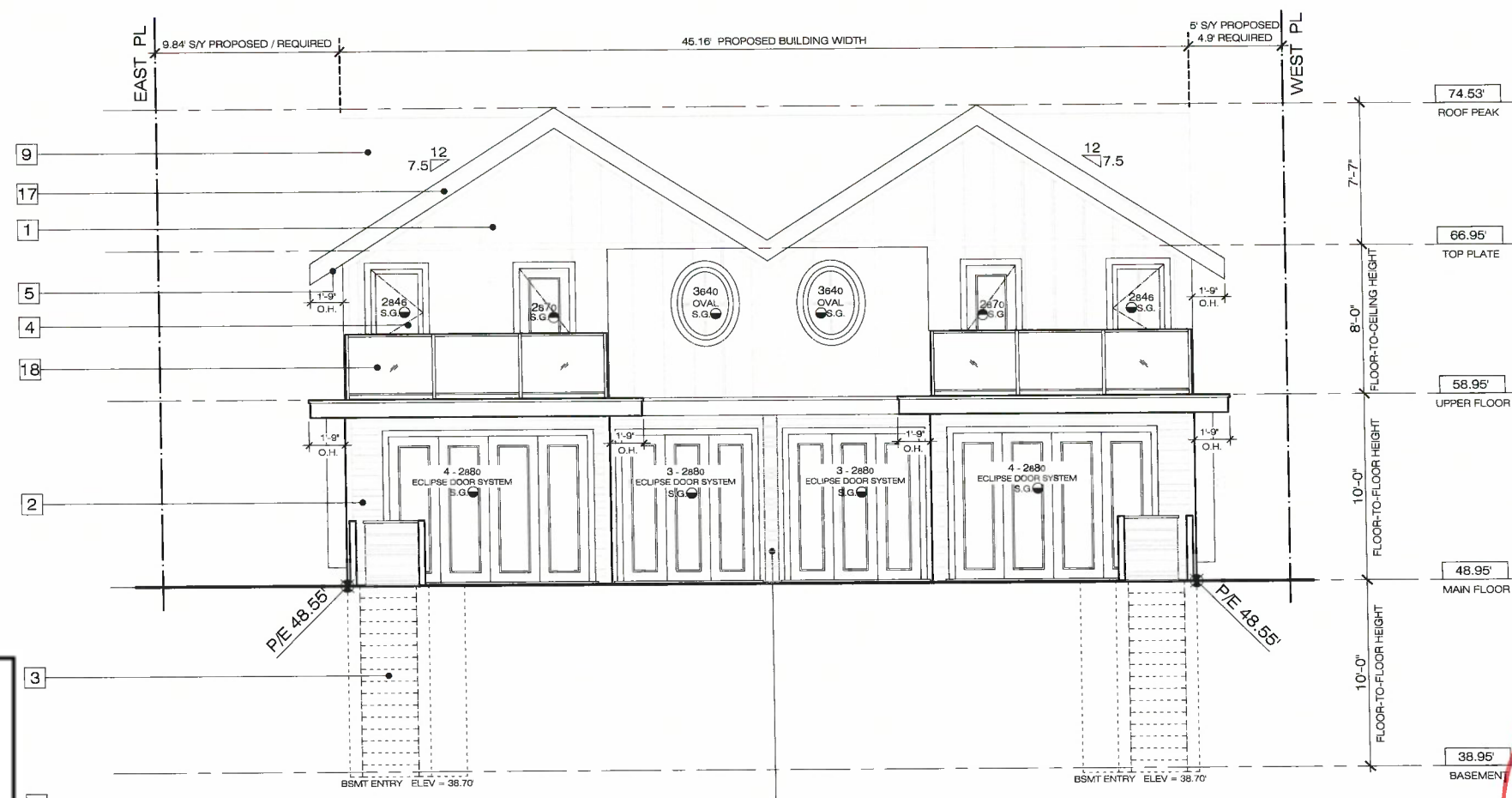
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DP7

- MATERIALS TYPICAL TO ALL FACADES**
- 1 HARDIE SIDING w/ MAX. 4" REVEAL - PAINTED
 - 2 VERTICAL HARDIE BOARD & BATTEN - PAINTED
 - 3 CONCRETE STAIRS & NOSING
 - 4 VINYL WINDOWS - DOUBLE GLAZED w/ 2"x4" WINDOW TRIM AND 2"x4" WOOD SILL
 - 5 WOOD SOFFIT w/ CONTINUOUS VENT & INSECT STRIP (TYP.)
 - 6 10"x10" PORCH POST w/ EXTERIOR PLY - SANDED & PAINTED
 - 7 MIN. 3'-6" HIGH SOLID WALL GUARDRAIL
 - 8 5" CONTINUOUS ALUMINUM GUTTER
 - 9 SEAMLESS METAL ROOF FINISH
 - 10 MIN. 3'-6" HIGH ALUMINUM GUARDRAIL - BLACK FINISH
 - 11 CONCRETE LIGHT WELL
 - 12 2"x12" PAINTED TRIM BOARD w/ 2"x2" CROWN MOULDING
 - 13 WOOD STAIRS w/ 2-2"x8" TREADS & 1"x6" NOSING
 - 14 ULC APPROVED GAS FIREPLACE DIRECT VENT
 - 15 WOOD ENTRY DOOR - SIMPSON 36933 PALOMAR II OR EQUIVALENT
 - 16 HORIZONTAL SLATED WOOD PRIVACY WALL w/ WOOD PLANTER BOXES - PAINTED
 - 17 2"x12" PAINTED FASCIA BOARD w/ 2"x2" CROWN MOULDING
 - 18 3'-6" MIN. HIGH ALUMINUM GUARDRAIL w/ PRIVACY GLASS




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 SMOKE ALARM / CO DETECTOR
 S.E.D. - STRUCTURAL ENGINEER
 DRAWINGS

NORTH ARROW:

PROJECT NAME:

BRAATEN
DUPLEX

PROJECT ADDRESS:

1179 COLVILLE RD
ESQUIMALT, BC
V9A 4R1

DRAWING TITLE:

BUILDING
SECTIONS

DATE: APR. 20, 2020

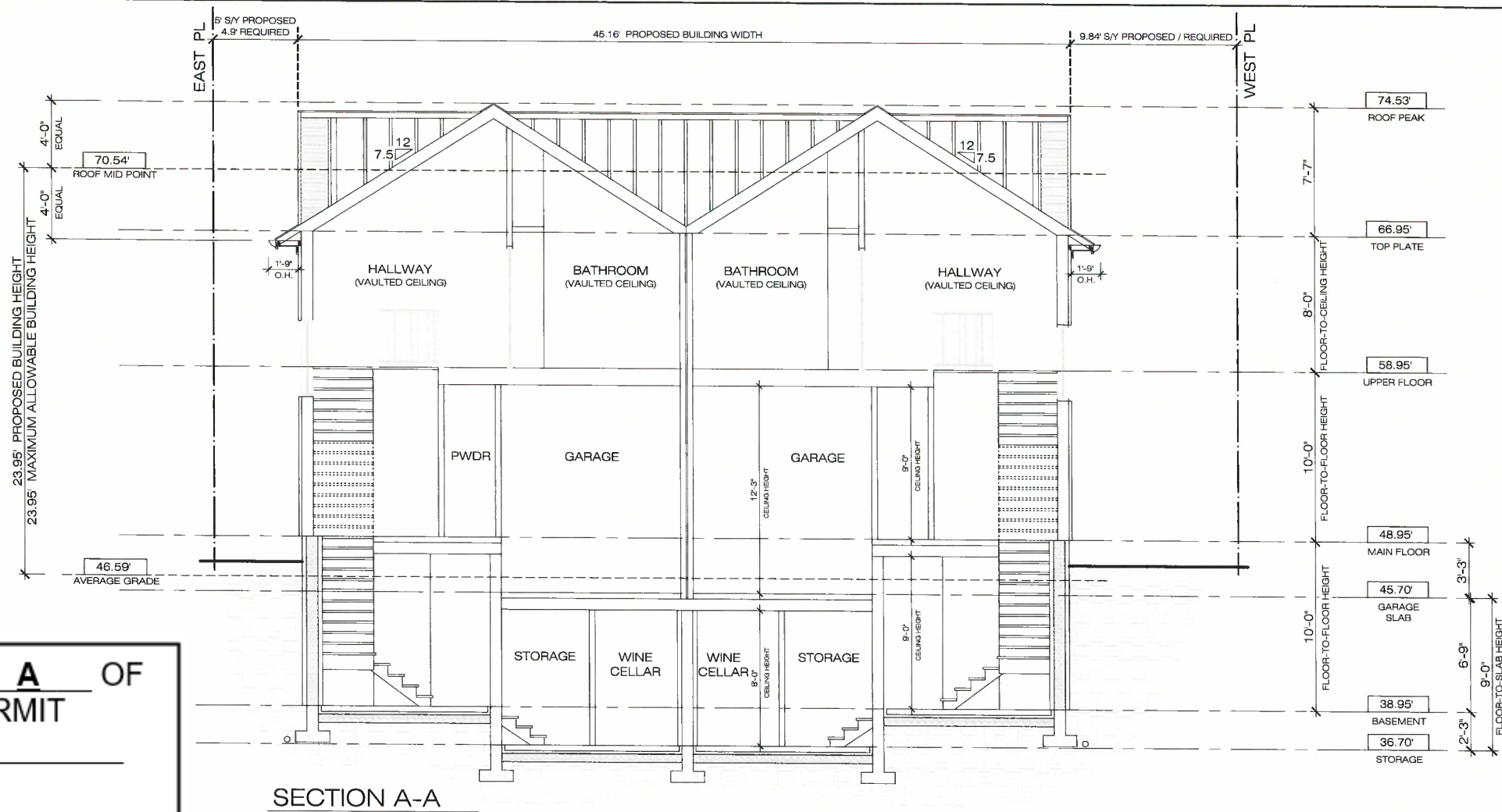
JOB NO.: BDP_01

DRAWN BY: PMP

SCALE: $\frac{1}{4}" = 1'-0"$

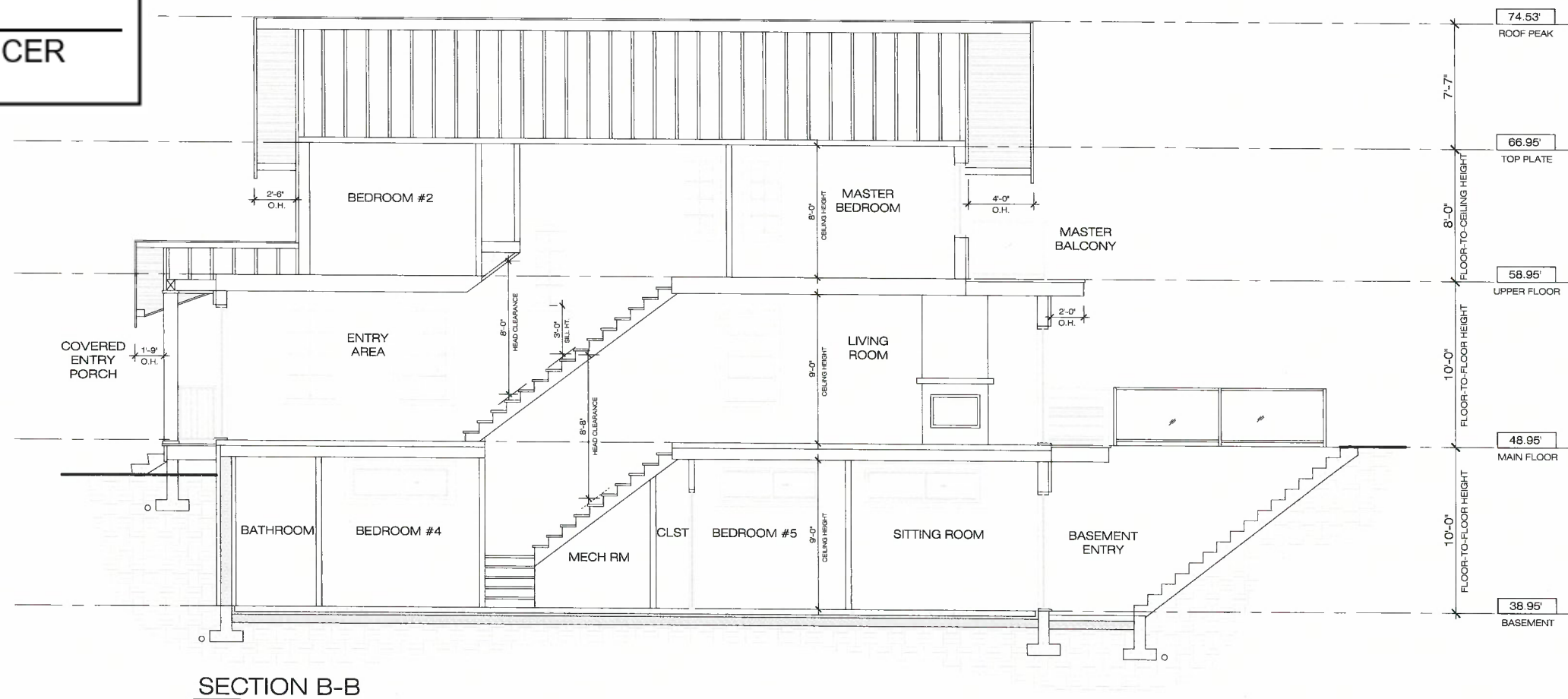
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DP8



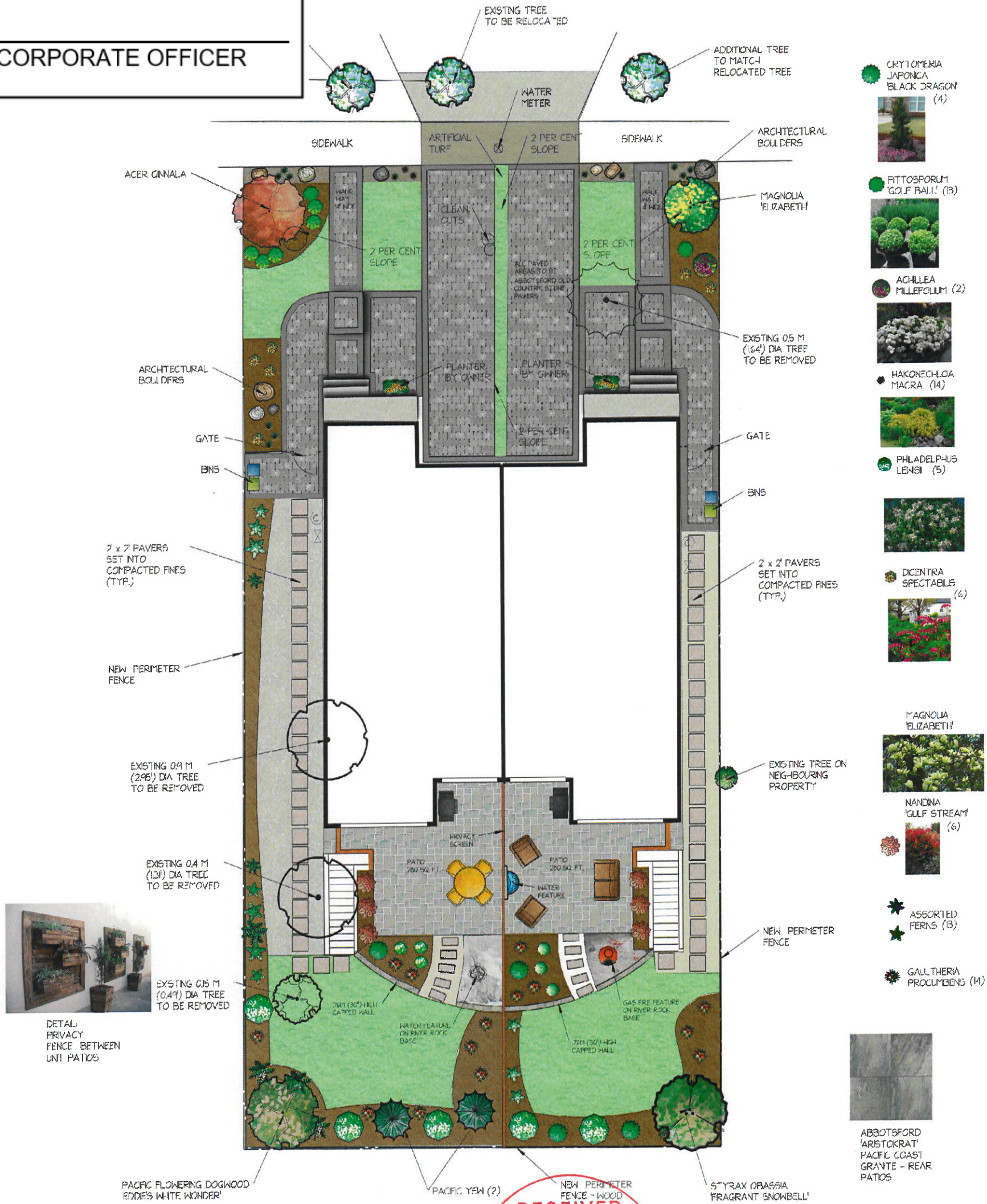
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DEVELOPMENT PERMIT
NO. DP000155

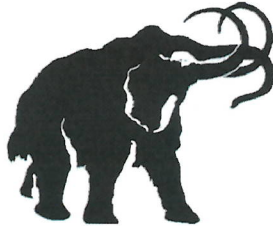
CORPORATE OFFICER



RECEIVED
SEP 20 2021
CORP OF TOWNSHIP
OF ESQUIMALT
DEVELOPMENT SERVICES

Mary Haggerty
Designs

BIG SKY DUPLEX			
879 COLVILLE RD ESQUIMALT			
date	drawn	date	revision
7-8-21	1-8-21	AUG 24, 2020	SEPT 16, 2021
drawn by	checked by	approved by	approved by
M. HAGGERTY			



Mammoth Landscaping and Masonry Ltd.

Box 27035 - 772 Goldstream Ave
Victoria, BC V9B 5S4

info@m

Submission Date: March 12, 2021
Submitted To: Park Residential Designs c/o Paul Park
Project: 1179 Colville Road, Esquimalt BC
Drawing: By Mary Haggerty Designs dated Sept 8, 2020

THIS IS SCHEDULE **B** OF
DEVELOPMENT PERMIT
NO. **DP000155**

CORPORATE OFFICER

Thank you for your patience as we have had recent change in management. Mammoth is excited to be part of your project, we are submitting a base price of **\$58,950.00** for supply and install of items listed below. The items not included can be priced, once we have clarity on the product, details and/or style.

ITEM	DESCRIPTION	QUANTITY	UNITS	TOTAL
General				
Conditions	Project Management (admin, incidentals, etc)	1	LS	\$ 2,200.00
Hardscape	Aggregates (base prep, screenings, river stone)	1	LS	\$ 6,500.00
	Aristokrat Pacific Coast	560	sf	\$ 9,850.00
	Old Country Pavers	1200	sf	\$ 12,600.00
	Texada 2X2 & 1X2	63	NO	\$ 6,400.00
Softscape	Soils (supply and install, includes soil testing)	80	M3	\$ 8,200.00
	Sod (supply and install)	1200	sf	\$ 1,800.00
	Plants (supply and install)	82	Plants	\$ 4,400.00
	Mulch (supply and install)	14	M3	\$ 1,500.00
Irrigation	As per plan provided	1	LS	\$ 5,500.00
Other	Furnishings (Supply and install)	1	LS	\$ -
BASE PRICE TOTAL COST				\$ 58,950.00

GST EXTRA

OPTIONAL SERVICES

12 Month - Maintenance Program	\$ 6,000.00
Warranty - 1 year on all materials (except plants, see below) from substantial completion, Plant warranty included with signed 1 year maintenance program, extendable to 2 years.	

WORKS CURRENTLY NOT INCLUDED IN QUOTE (Can be added once item details are clarified)

Base Prep, Concrete Banding, Fireplace, Water features, Fencing & Gates, Privacy Screens, Drainage, Edging, Retaining walls, Artificial Turf

Any questions, comments or concerns, please contact me directly.

Thank you,

Ryan Jackson

Ryan Jackson MTEI BBA CIM
Head of Operations, Chief Estimator & Project Manager

ACCEPTANCE

SIGN: _____

PRINT: _____

TITLE: _____

DATE: _____

RECEIVED

APR 29 2021

CORP. OF TOWNSHIP
OF ESQUIMALT
DEVELOPMENT SERVICES

Mammoth takes great pride in its craftsmanship. All works completed to Canadian and British Columbia Landscape Standards.
Quote valid for 6 months. Price subject to a 3% annual inflation increase if not started within 12 months of quote date.
Payment Terms 1/15 Net 30, 60 day delinquent accounts subject to 2% interest (max annual 24%).