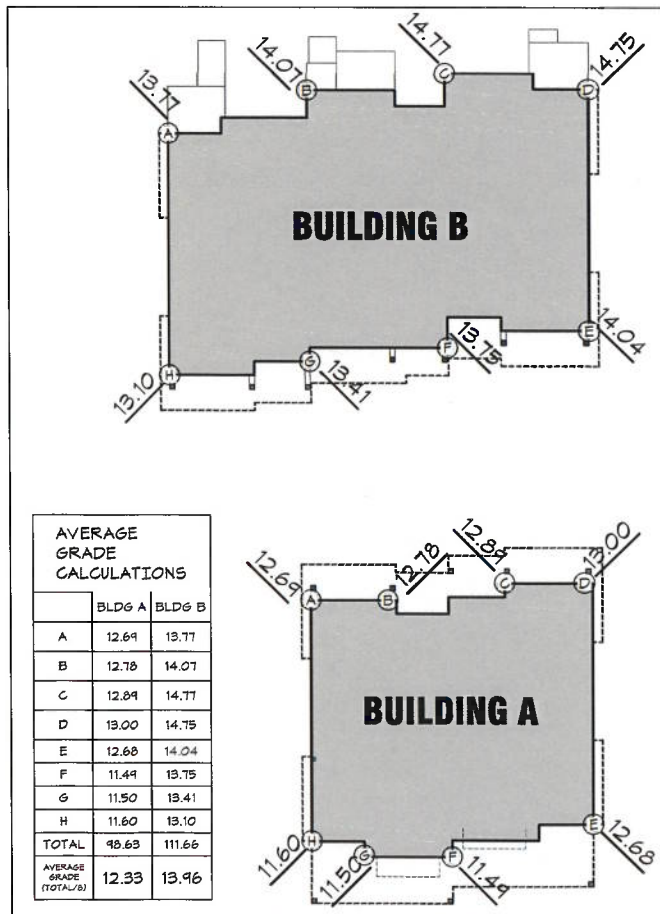
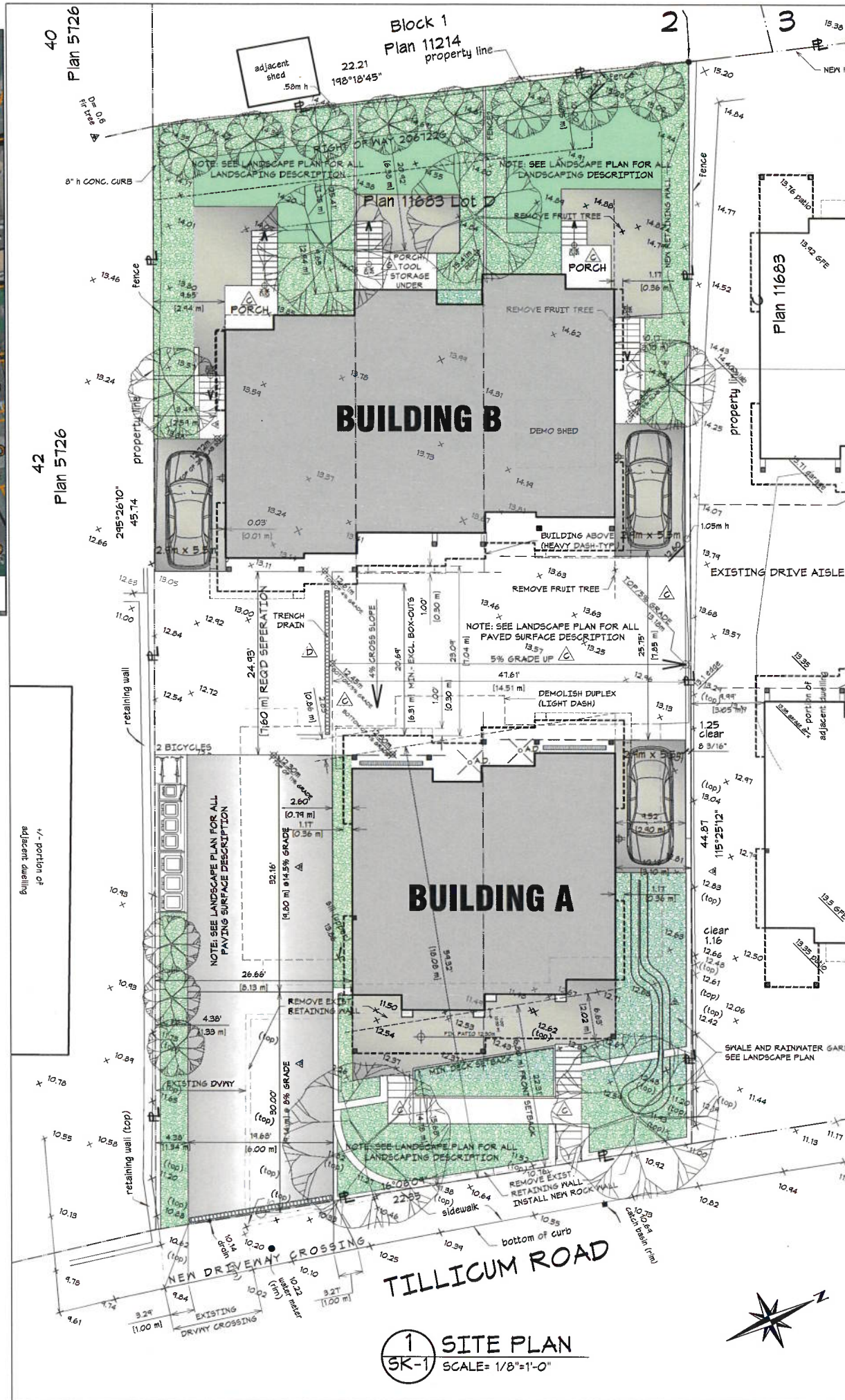




2 CONTEXT PLAN
SK-1 SCALE= NT5



3 ELEVATIONS FOR AVERAGE GRADE
SK-1 SCALE= NT5



1 SITE PLAN
SK-1 SCALE= 1/8"=1'-0"

PROJECT DATA

LEGAL DESCRIPTION
LOT D, SECTION D,
ESQUIMALT DISTRICT, PLAN 11683

CURRENT ADDRESS
1048 TILLICUM ROAD

ZONING
CURRENT ZONE: RD-1 (TWO-FAMILY)
PROPOSED ZONE: CD

SITE AREA
998.9 m² [10,752 sf] PER SURVEY

NO. OF UNITS
5 (FIVE)

TOTAL COVERAGE =
1573.5/2140.2/10752 = 34.54%

BLDG. A COV. 146.18 m² [1573.5 sf]
BLDG. B COV. 148.83 m² [1607.2 sf]
TOTAL COV. 345.01 m² [3713.7 sf]

FLOOR AREA
BUILDING A
UPPER 110.00 m² [1184.0 sf]
MAIN 106.9 m² [1150.7 sf]
GROUND 46.9 m² [504.9 sf]
TOTAL 263.81 m² [2839.6 sf]

FLOOR AREA
BUILDING B
UPPER 162.97 m² [1754.3 sf]
MAIN 160.59 m² [1728.6 sf]
GROUND 76.19 m² [819.9 sf]
TOTAL 399.36 m² [4302.8 sf]

BUILDING HEIGHT

BUILDING A
AVERAGE GRADE= 12.33m
BUILDING HEIGHT = 9.78m [32.10']

BUILDING B
AVERAGE GRADE= 13.96m
BUILDING HEIGHT= 8.42m [27.62']

NET INTERIOR
FLOOR AREA BLDGS. A & B =
263.81 m² + 399.36 m² = 663.17 m²
[2839.6+4302.8= 7142.4 sf]

FAR = 7142.4/10,752 = .664

PARKING
COVERED 5 STALLS
VISITOR 3 STALLS
TOTAL: 8 STALLS

SETBACKS BUILDING A

SETBACK TYPE	COMPARE CD-106	PROPOSED
FRONT @ STREET	6.8 m 22.31'	6.80 m 22.31' MIN. @ NE CORNER OF UNIT 1
PERMITTED REDUCTION OF FRONT YARD FOR EXT. DECKS	2.5m 8.20'	2.02m 6.63'
SEPARATION TO BLDG. B AT GRADE	7.6 m 24.93'	7.6 m 24.93'
SIDE NORTH	2.9 m 9.5' (-.36m TO CANTILEVER)	3.10 m 10.18' (-.36 m TO CANTILEVER)
SIDE SOUTH	7.8 M 25.6' (-.36 m TO CANTILEVER)	8.13 m 26.66' (-.36 m TO CANTILEVER)

SETBACKS BUILDING B

SETBACK TYPE	COMPARE CD-89	PROPOSED
REAR	6.4m 21.0'	7.75 m 25.41'
PERMITTED REDUCTION OF REAR YARD FOR EXT. DECKS	2.5m 8.20'	2.44m 8.0'
SEPARATION TO BLDG. B AT GRADE	7.6m 24.93'	7.6 M 24.93'
SIDE NORTH	3.0 m 9.8' (-.36 m TO CANTILEVER)	3.10 m [10.17'] (-.36 m @CANTILEVER)
SIDE SOUTH	2.9 m 9.5' (-.36 m TO CANTILEVER)	2.94 m [9.65'] (-.36 m CANTILEVER)

REVISIONS & ISSUES

REV.	DESCRIPTION	DATE
A	RE-ZONING APPLICATION	05.07.19
B	RE-VISE DRIVEWAY SLOPE TO 8% AND 14.5%, ADD TREES IN SIDEYARDS TO LIMIT OVERLOOK	08.14.19
C	CHANGE DRIVE AISLE GRADE TO 5%, RAISE BUILDING HEIGHTS, ADD EXTERIOR RISERS THRU-OUT	02.10.20
D	INDICATE TRENCH DRAIN AT FOOT OF DRIVE AISLE SLOPE	03.05.20
E	SMALL REDUCTION TO FAR	04.17.20
F	DEVELOPMENT PERMIT APPLICATION	03.04.21
G	TOOL STORAGE REAR-UNIT 4	04.19.21

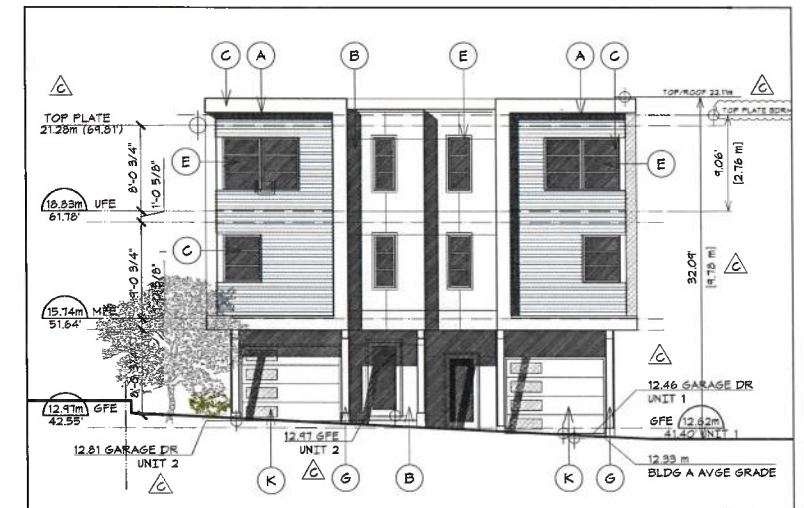
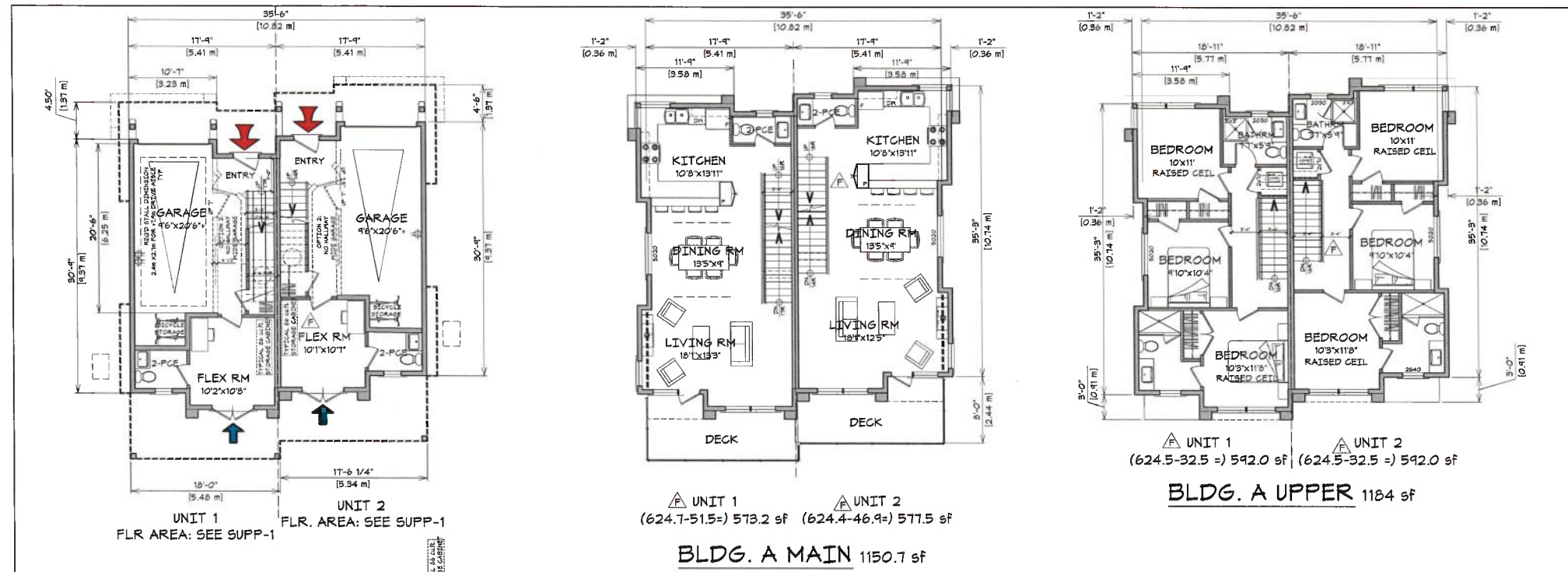
REV G

SK-1



SITE PLAN & PROJECT DATA
DEVELOPMENT PERMIT APPLICATION FOR
PROPOSED REZONING AT
1048-1050 TILLICUM RD.
ESQUIMALT B.C.
03.03.21
SCALE = 1/8"=1'-0"

1161 NEWPORT AVE
VICTORIA B.C. V8S 5E6
Phone: 250 360 2144

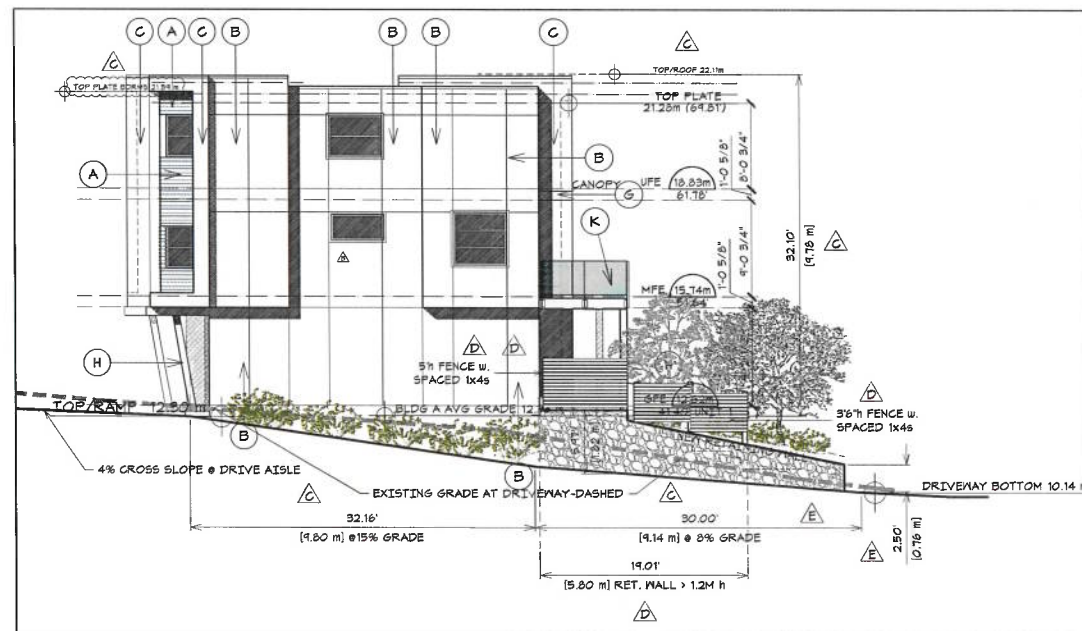


1 GROUND FLOOR PLAN
SK-2 SCALE: 1/8"=1'-0" 47.50 sm + garages

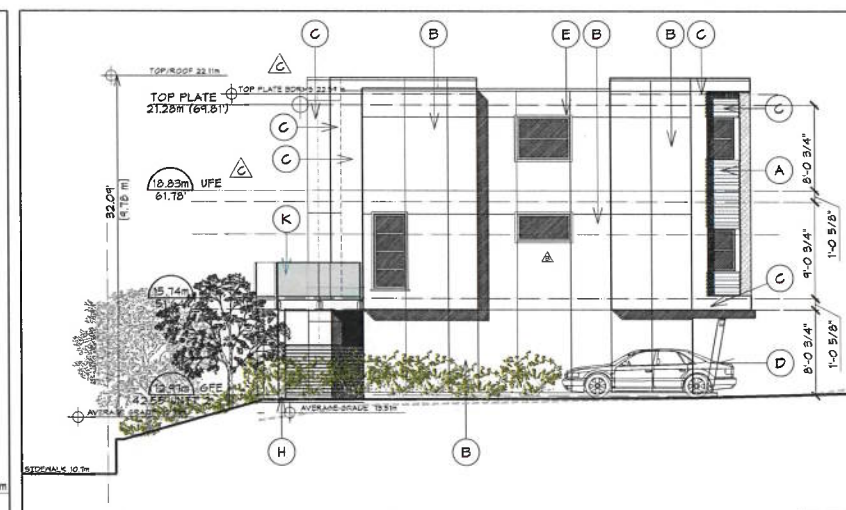
2 MAIN FLOOR PLAN
SK-2 SCALE: 1/8"=1'-0" 107.03 sm

3 UPPER FLOOR PLAN
SK-2 SCALE: 1/8"=1'-0" 109.75 sm

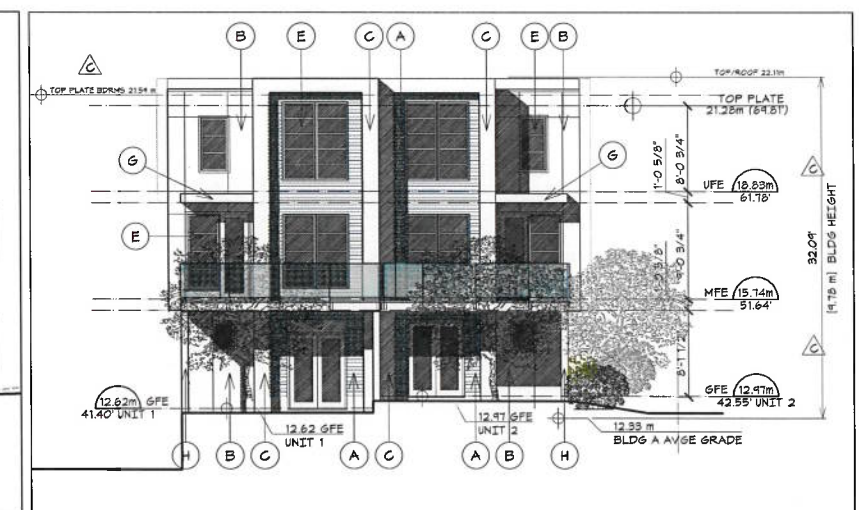
4 WEST ELEVATION
SK-2 SCALE: 1/8"=1'-0"



5 SOUTH ELEVATION
SK-2 SCALE: 1/8"=1'-0"



6 NORTH ELEVATION
SK-2 SCALE: 1/8"=1'-0"



7 EAST ELEVATION
SK-2 SCALE: 1/8"=1'-0"

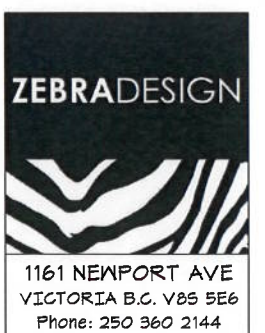
BUILDING A **PLANS AND ELEVATIONS** DEVELOPMENT PERMIT APPLICATION FOR **PROPOSED REZONING AT** 1048-1050 TILlicum RD. ESQUIMALT B.C.

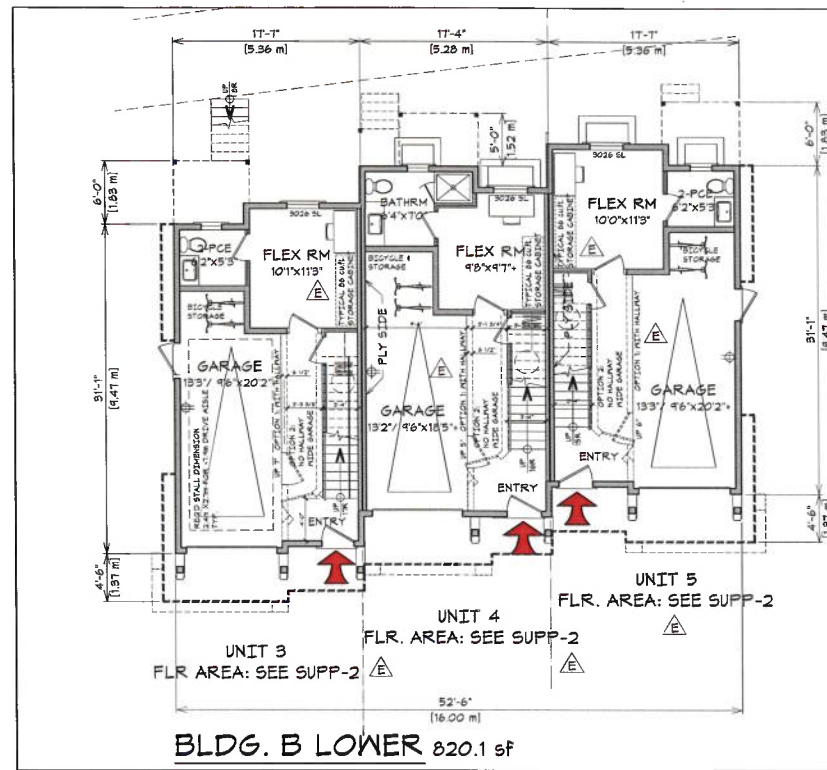
03.04.21
SCALE = 1/8"=1'-0"

REVISIONS & ISSUES		
REV.	DESCRIPTION	DATE
A	RE-ZONING APPLICATION	03.07.19
B	REDUCE DINING RM WINDOWS TO TRANSOM SIZE	08.14.19
C	CHANGE DRIVE AISLE GRADE, RAISE BUILDING HEIGHT	02.12.20
D	ON 5/SK-2 SPECIFY RETAINING WALL HEIGHT & FENCE HT HEIGHT	03.07.20
E	ON 5/SK-2 SHOW MALL CURVATURE	03.09.20
F	ADJUSTMENTS TO FLOOR AREAS	04.19.20
G	DEVELOPMENT PERMIT APPLICATION	03.04.21

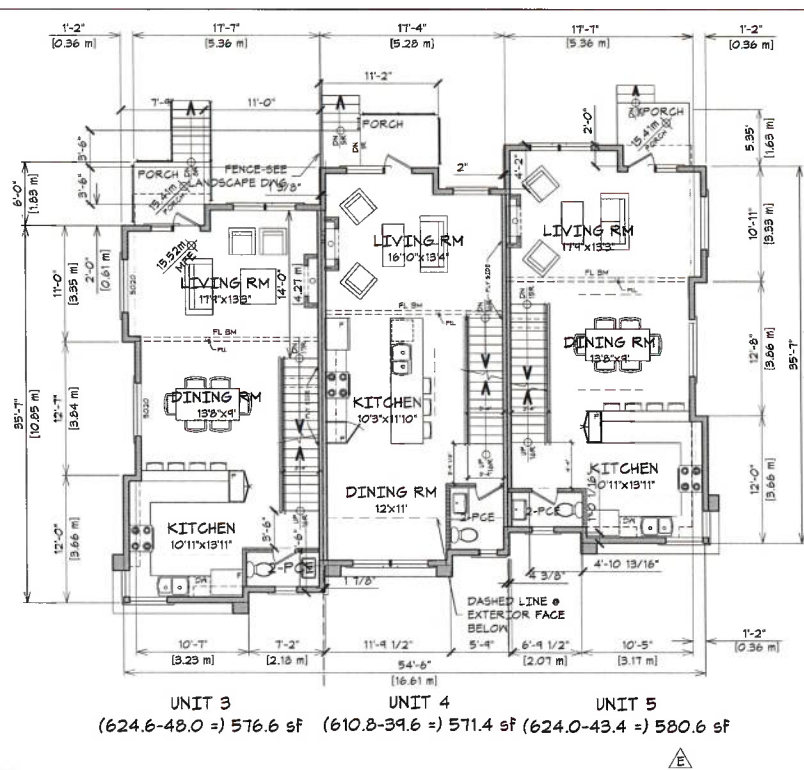
FINISH SCHEDULE	
A	4" w V-GROOVE CEDAR SIDING
B	CEMENTITIOUS PANELS c/w REVEALS
C	PREFIN.MTL. BOX-OUTS
D	8x8 TIMBER KNEE BRACE & CANT'D BEAM
E	WINDOW WITH HORIZONTAL MUNTIN BAR(S)
F	2.5" w WINDOW/DR TRIM @ CEMENT. PANELS
G	1x10 FASCIA ON PROJECTING CANOPY
H	8x8 TIMBER POST
J	4x4 TIMBER POSTS
K	PRE-ENG. GLAZED BALCONY GUARDRAILS
L	GARAGE DOOR w. WINDOWS

REV G
SK-2

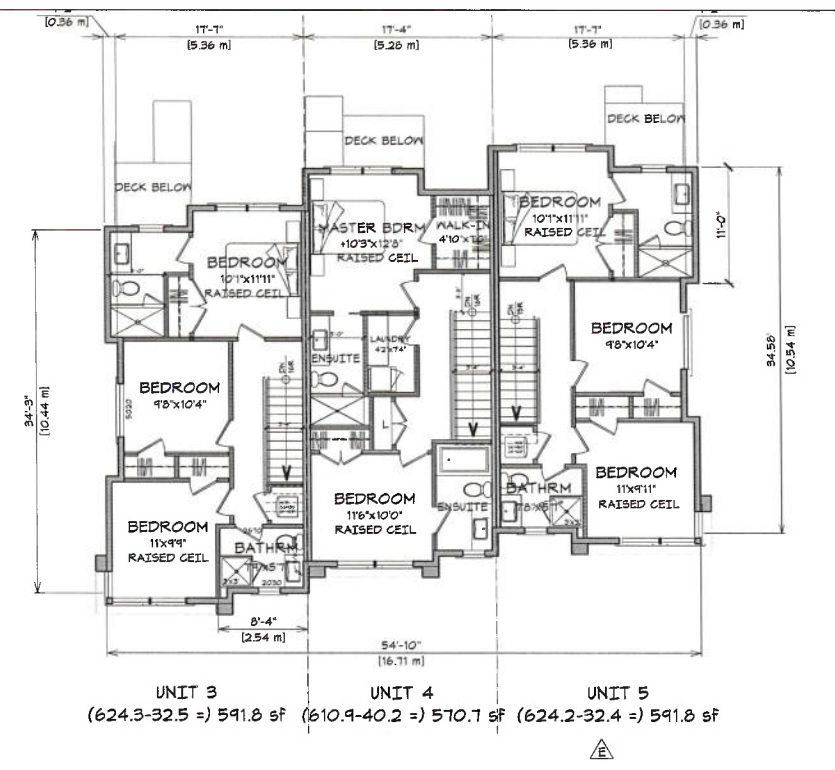




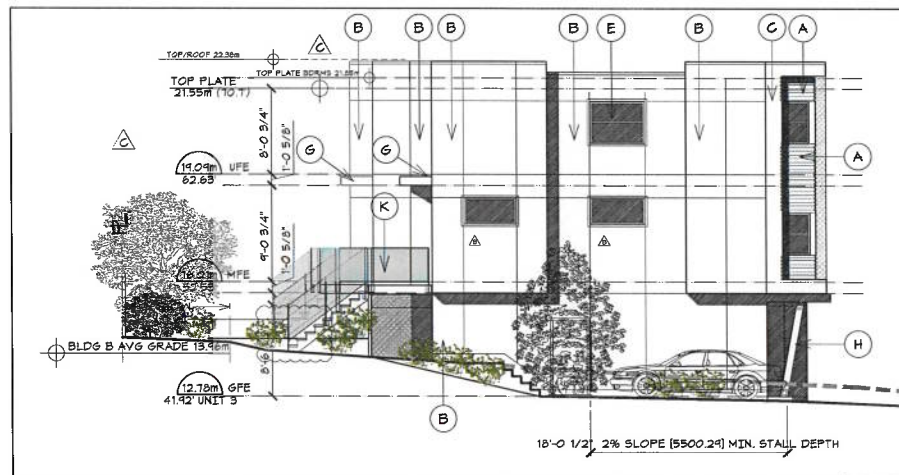
1 GROUND FLOOR PLAN
SK-3 SCALE= 1/8"=1'-0" FLR. AREAS: REFER TO SUPP-2



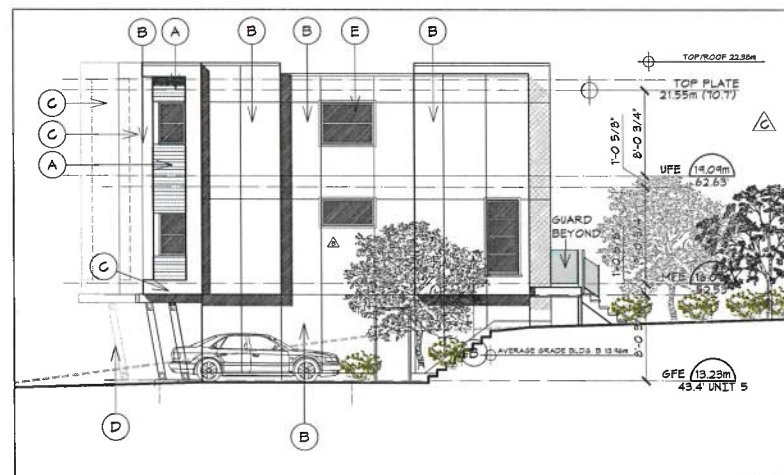
2 MAIN FLOOR PLAN
SK-3 SCALE= 1/8"=1'-0" 160.59 sm



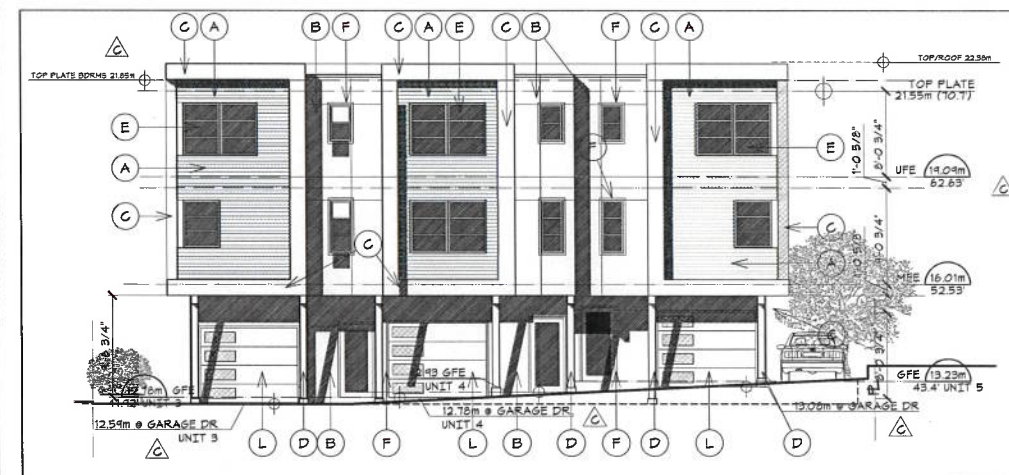
3 UPPER FLOOR PLAN
SK-3 SCALE= 1/8"=1'-0" 162.98 sm



4 SOUTH ELEVATION
SK-3 SCALE= 1/8"=1'-0"



5 NORTH ELEVATION
SK-3 SCALE= 1/8"=1'-0"



6 EAST ELEVATION
SK-3 SCALE= 1/8"=1'-0"



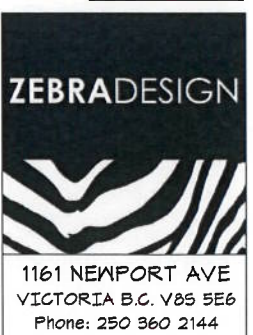
7 WEST ELEVATION
SK-3 SCALE= 1/8"=1'-0"

**BUILDING B
PLANS AND ELEVATIONS**
DEVELOPMENT PERMIT APPLICATION FOR
PROPOSED REZONING AT
1048-1050 TILlicUM RD.
ESQUIMALT B.C.

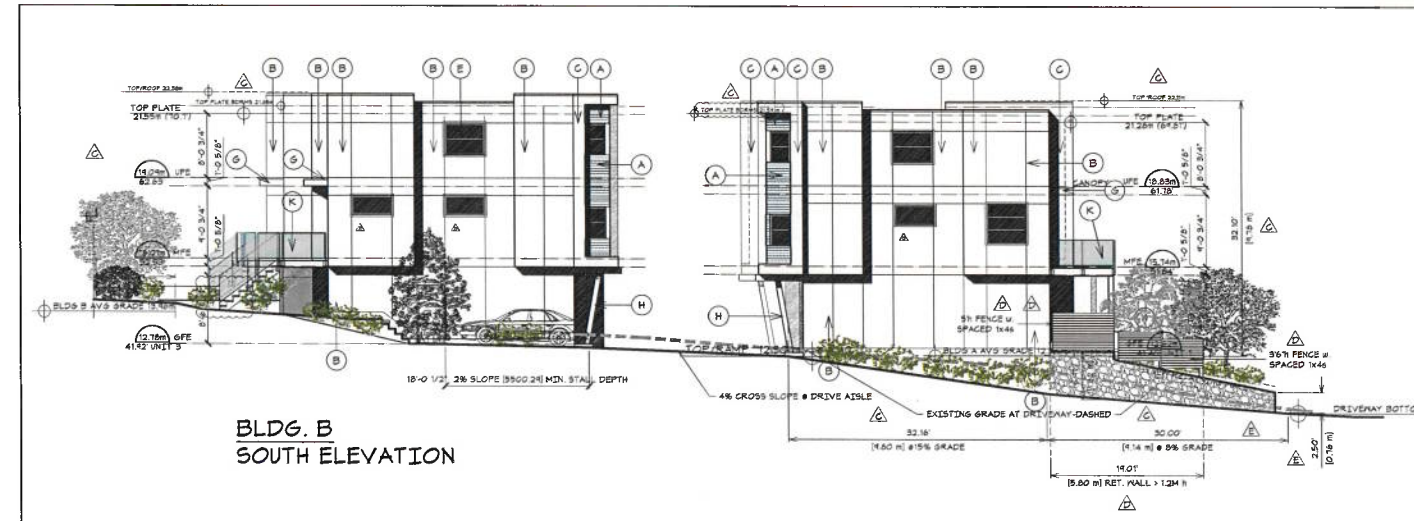
03.04.21
SCALE = 1/8"=1'-0"

FINISH SCHEDULE	
A	4" w V-GROOVE CEDAR SIDING
B	CEMENTITIOUS PANELS c/w REVEALS
C	PREFIN.MTL. BOX-OUTS
D	8x8 TIMBER KNEE BRACE & CANTD BEAM
E	WINDOW WITH HORIZONTAL MUNTIN BAR(S)
F	2.5" w WINDOW/DR TRIM @ CEMENT. PANELS
G	1x10 FASCIA ON PROJECTING CANOPY
H	8x8 TIMBER POST
J	4x4 TIMBER POSTS
K	PRE-ENG. GLAZED BALCONY GUARDRAILS
L	GARAGE DOOR w. WINDOWS

REVISIONS & ISSUES	
REV	DESCRIPTION
A	REVISIONS APPLICATION
B	REDUCE BOTH FACING LIVING & DINING RM WINDOWS
C	TOTRANSON SIZE. REDUCE NORTH DINING ROOM WINDOW
D	ALTER DRIVE ASBLE GRADE. RAISE BUILDING HEIGHTS
E	ADJUSTED FLOOR RASSES PER UNCHANGED
F	DEVELOPMENT PERMIT APPLICATION



REV F
SK-3



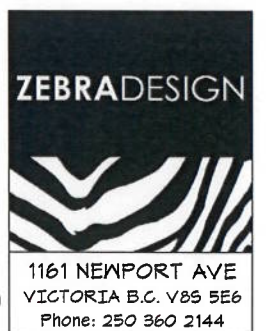
1 SECTION AT ACCESS DRIVE
SK-4 SCALE: 3/32"=1'-0"



2 STREETSCAPE at TILlicUM RD.
SK-4 SCALE: 3/32"=1'-0"

STREETSCAPE & SITE SECTION
DEVELOPMENT PERMIT APPLICATION FOR
PROPOSED REZONING AT
1048-1050 TILlicUM RD.
ESQUIMALT B.C
SCALE = 3/32"=1'-0"

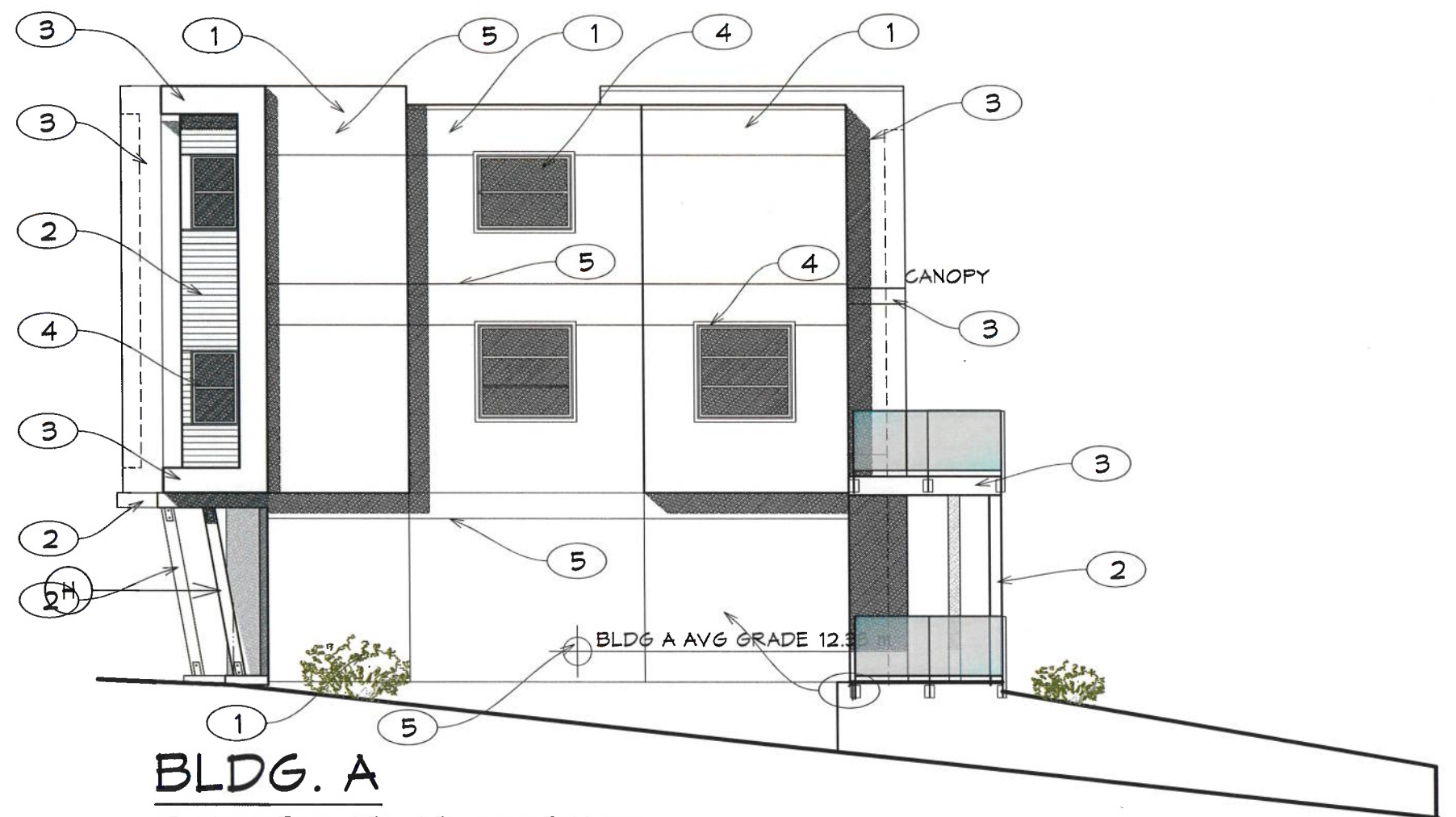
REVISIONS & ISSUES		
REV.	DESCRIPTION	DATE
A	RE-ZONING APPLICATION	05.07.14
B	SUBMIT FOR DP	09.28.14
C	RAISE BLDG A BY 32m (1.64'), RAISE BLDG B BY 49 m (1.61')	02.12.20
D	SHOW RETAINING WALL CURVATURE @ NORTH CORNER OF DRIVEWAY ENTRY	03.04.20
E	DEVELOPMENT PERMIT APPLICATION	03.04.21



REV E
SK-4



BLDG. A
EAST ELEVATION/STREET



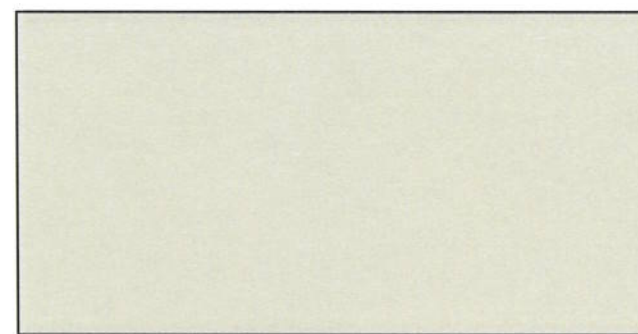
BLDG. A
SOUTH ELEVATION



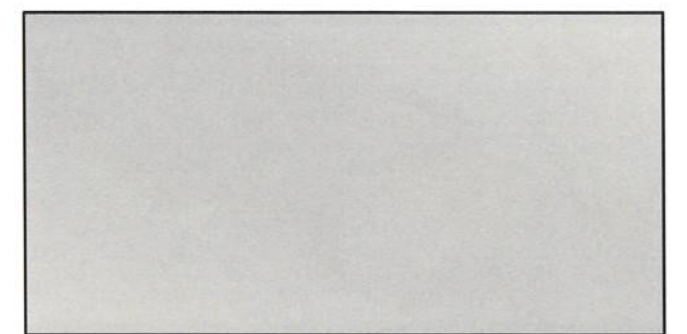
FINISH TYPE 1
HARDIE PANEL
IRON GRAY



FINISH TYPE 2
BENJAMIN MOORE
ARBORCOAT SEMI-TRANSPARENT
HIDDEN VALLEY
ON 4" h CEDAR SIDING



FINISH TYPE 3
METAL BOX OUTS
MAKIN METAL
CAMBRIDGE WHITE



FINISH TYPE 4
WESTECK
SILVER WINDOW FRAME



FINISH TYPE 5 REVEALS
LARSON - GUN BARREL XL-382

COLOUR SCHEME BUILDING A
PROPOSED REZONING AT
1048-1050 TILlicum RD.
ESQUIMALT B.C

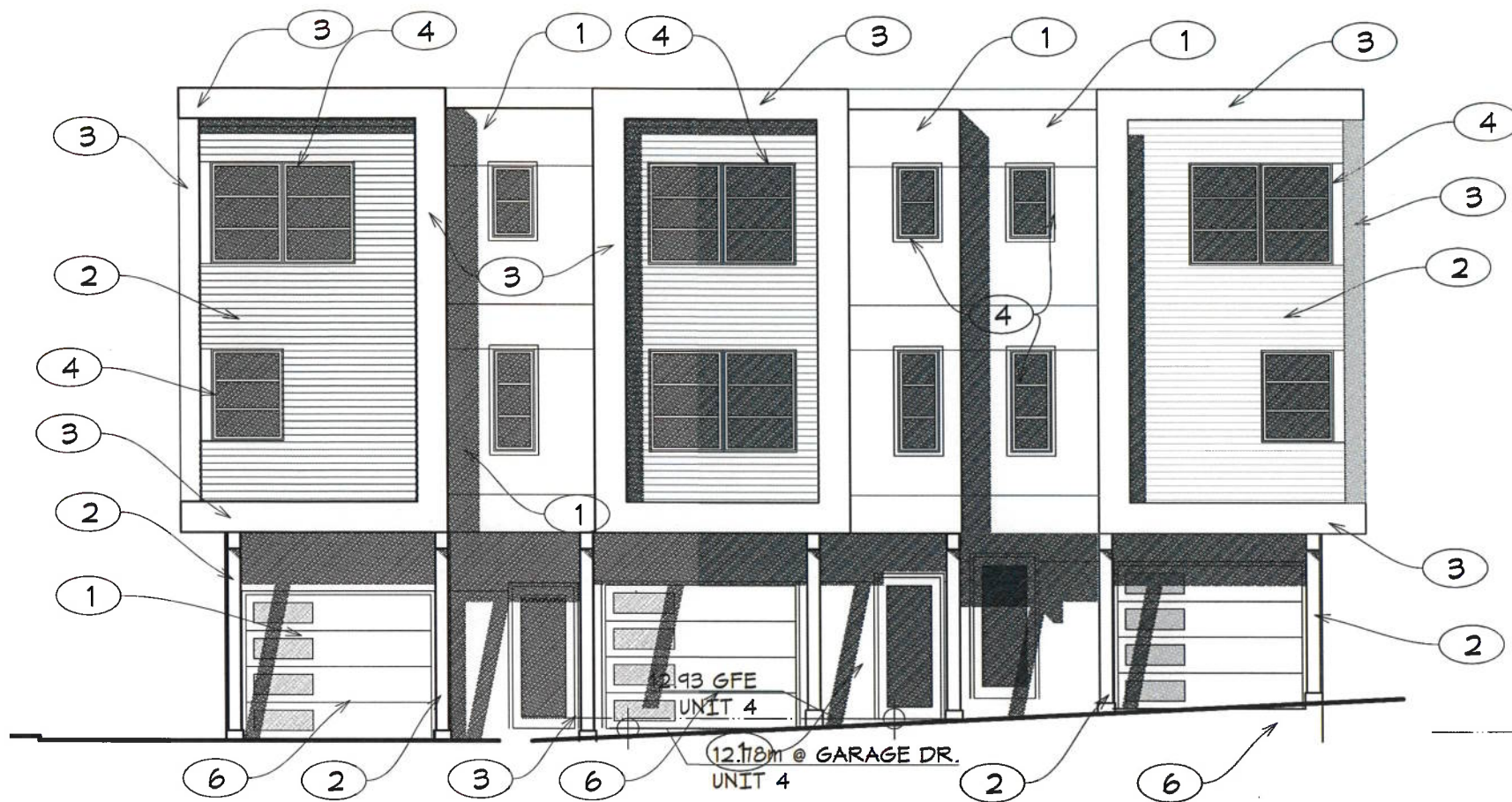
SCALE = 1/8"=1'-0"

REVISIONS & ISSUES		
REV.	DESCRIPTION	DATE
A	REZONING APPLICATION	05.07.19
B	SUBMIT FOR DP	03.04.21

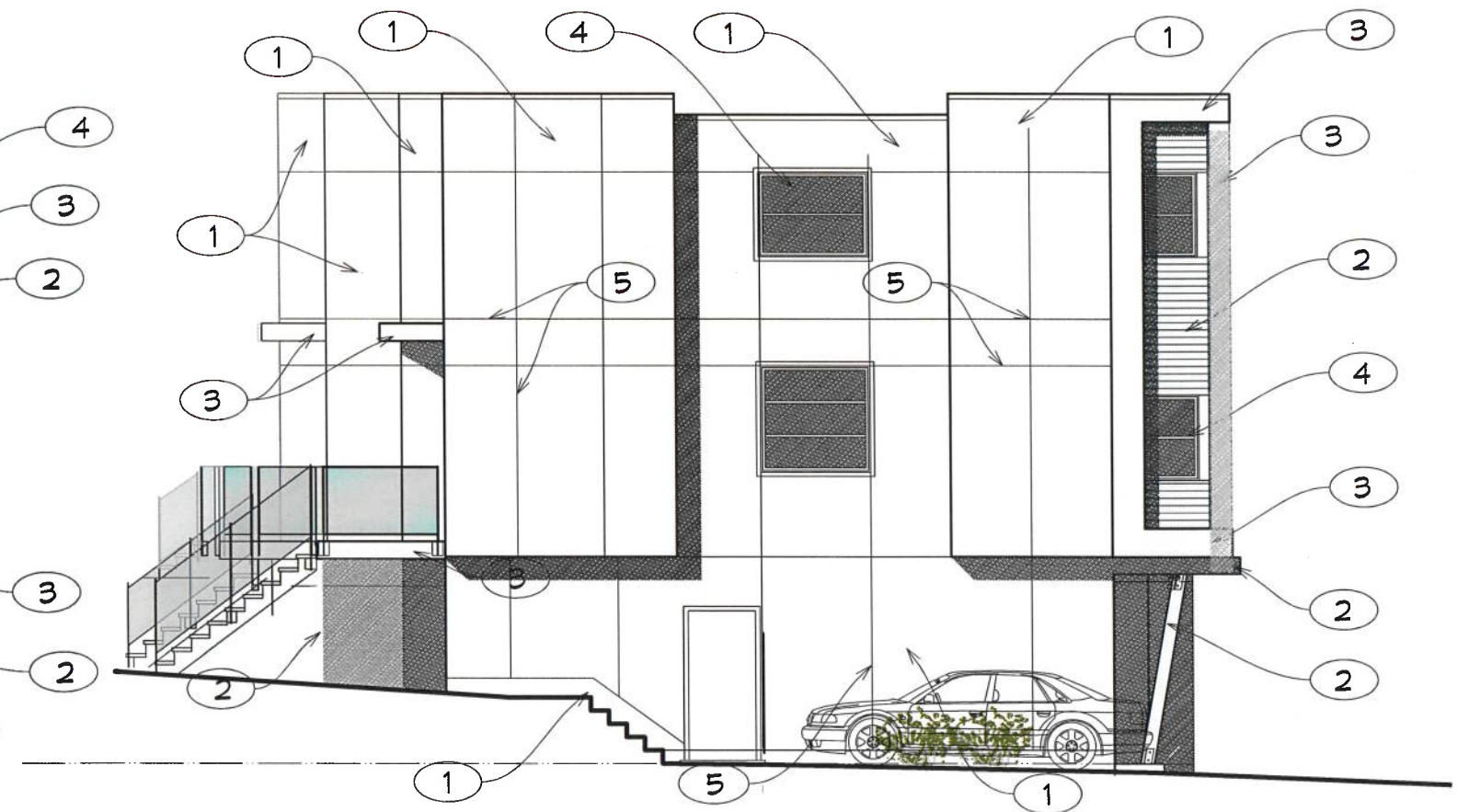
REV B, DP

SK-5





BLDG. B
EAST ELEVATION



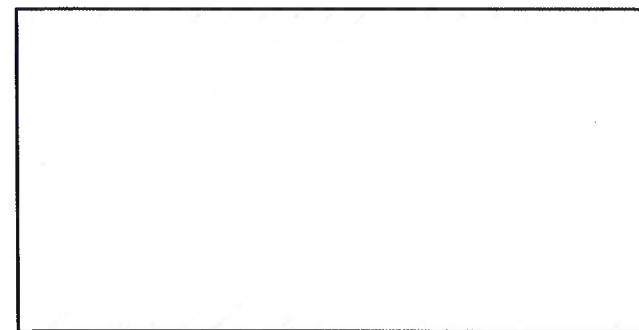
BLDG. B
SOUTH ELEVATION



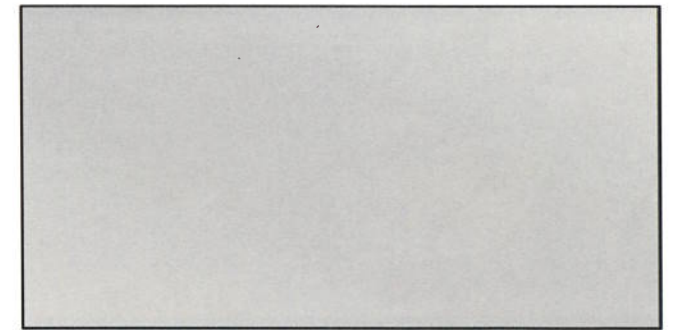
FINISH TYPE 1
HARDIE PANEL
IRON GRAY



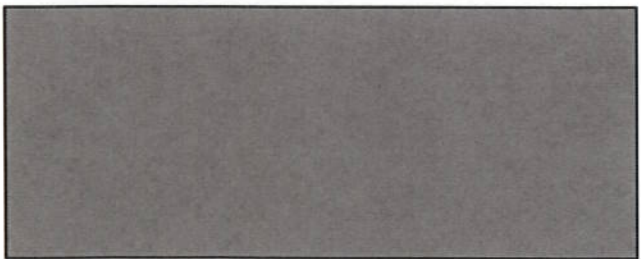
FINISH TYPE 2
BENJAMIN MOORE
ARBORCOAT SEMI-TRANSPARENT
HIDDEN VALLEY
ON 4" h CEDAR SIDING



FINISH TYPE 3
METAL BOX OUTS
MAKIN METAL
CAMBRIDGE WHITE



FINISH TYPE 4
WESTECK
SILVER WINDOW FRAME



FINISH TYPE 6 GARAGE DR
SHERWIN WILLIAMS AFRICAN
GREY 9162

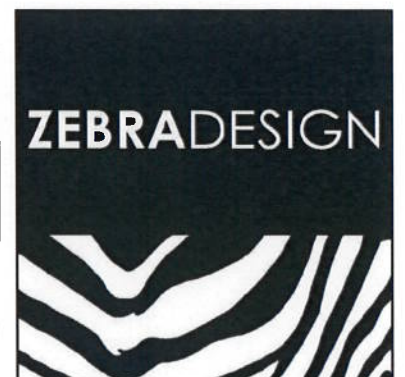
COLOUR SCHEME BUILDING B
PROPOSED REZONING AT
1048-1050 TILlicum RD.
ESQUIMALT B.C

SCALE = 1/8"=1'-0"

REVISIONS & ISSUES		
REV.	DESCRIPTION	DATE
A	RE-ZONING APPLICATION	05.07.19
B	SUBMIT FOR DP	03.04.21

REV B, DP

SK-6



LANDSCAPE PLANTING PLAN



POPULUS TREMULA 'ERECTA' QUERCUS GARRYANA CORNUS 'EDDIE'S WHITE WONDER'



ACER CIRCINATUM PINUS CONTORTA VAR. CONTORTA AMELANCHIER ALNIFOLIA BLECHNUM SPICANT



POLYSTICHUM MUNITUM CAREX OBNUPTA DESCHAMPSIA CESPITOSA



ARCTOSTAPHYLOS UVA-URSI LAVANDULA INTERMEDIA 'PROVENCE' FESTUCA ROEMERII SYMPYTOTRICHUM SUBSPICATUM



ALLIUM CERNUUM MISCANTHUS SINENSIS 'MORNING LIGHT' CAREX TESTACEA 'PRARIE FIRE' CALAMAGROSTIS ACUTIFLORA 'KARL FOERSTER'



KOELERIA MICRANTHA PANICUM VIRGATUM 'SHENANDOAH' NASSELLA TENUISSIMA CAMASSIA LEICHTLINII

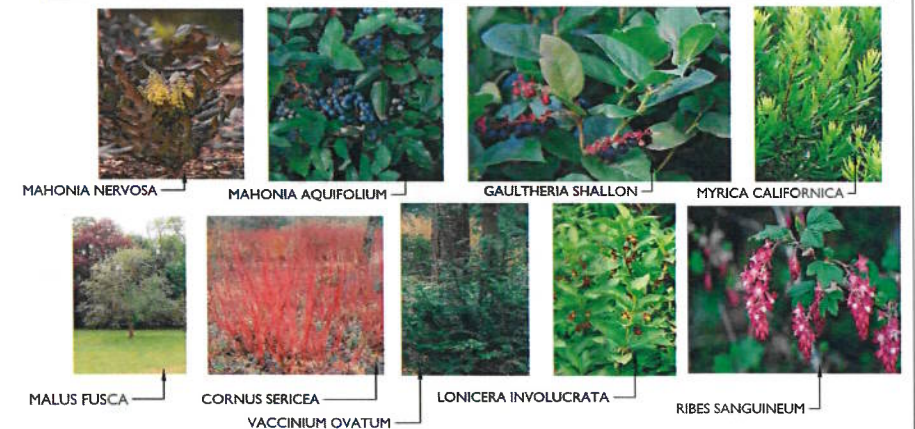


ACHILLEA MILLEFOLIUM THYMUS PSEUDOLANUGINOSUS LUPINUS POLYPHYLLUS



PLANT SCHEDULE

ABB.	QTY.	SIZE	BOTANICAL NAME	COMMON NAME
TREES				
AC	1	5cm. cal.	ACER CIRCINATUM	VINE MAPLE
CE	2	3cm. cal.	CORNUS 'EDDIE'S WHITE WONDER'	EDDIE'S WHITE WONDER DOGWOOD
MF	1	3cm. cal.	MALUS FUSCA	PACIFIC CRABAPPLE
PC	1	10-12'	PINUS CONTORTA VAR. CONTORTA	SHORE PINE
PT	11	5cm. cal.	POPULUS TREMULA 'ERECTA'	COLUMNAR SWEDISH ASPEN
QG	1	5cm. cal.	QUERCUS GARRYANA	GARRY OAK
SHRUBS				
AA	3	#15	AMELANCHIER ALNIFOLIA	SASKATOON BERRY
CS	3	#5	CORNUS SERICEA	RED TWIG DOGWOOD
LO	7	#3	LONICERA INVOLUCRATA	TWIN BERRY
MA	12	#5	MAHONIA AQUIFOLIUM	OREGON GRAPE
MC	3	#7	MYRICA CALIFORNICA	PACIFIC WAX MYRTLE
RS	4	#5	RIBES SANGUINEUM	WINTER FLOWERING CURRANT
VO	12	#5	VACCINIUM OVATUM	EVERGREEN HUCKLEBERRY
PERENNIALS, FERNS AND GRASSES				
AM	9	#1	ACHILLEA MILLEFOLIUM	YARROW
AL	6	#1	ALLIUM CERNUUM	NODDING ONION
BS	15	#1	BLECHNUM SPICANT	DEER FERN
CK	8	#1	CALAMAGROSTIS ACUTIFLORA 'KARL FORESTER'	KARL FOERSTER FEATHER REED GRASS
CO	15	#1	CAREX OBNUPTA	SLOUGH SEDGE
CT	15	#1	CAREX TESTACEA 'PRARIE FIRE'	PRARIE FIRE SEDGE
DC	58	#1	DESCHAMPSIA CESPITOSA	TUFTED HAIR GRASS
FR	18	#1	FESTUCA ROMERI	ROMERS FESUCE
KM	8	#1	KOELERIA MICRANTHA	JUNE GRASS
LA	3	#1	LAVANDULA ANGUSTIFOLIA 'HIDCOTE'	HIDCOTE ENGLISH LAVENDER
LI	10	#1	LAVANDULA INTERMEDIA 'PROVENCE'	PROVENCE LAVADIN
LP	4	#1	LUPINUS POLYPHYLLUS	LUPIN
MS	5	#1	MISCANTHUS SINENSIS 'MORNING LIGHT'	MORNING LIGHT MAIDENHAIR GRASS
NT	13	#1	NASSELLA TENUISSIMA	MEXICAN FEATHER GRASS
PA	8	#1	PANICUM VIRGATUM 'SHENANDOAH'	SHENANDOAH SWITCH GRASS
PN	16	#1	PENNISETUM ALOPECUROIDES 'MOUDRY'	MOUDRY FOUNTAIN GRASS
PM	34	#2	POLYSTICHUM MUNITUM	SWORD FERN
SS	10	#1	SYMPHYOTRICHUM SUBSPICATUM	DOUGLAS ASTER
GROUNDCOVERS				
AU	82	#1	ARCTOSTAPHYLOS UVA-URSI	KINNIKINNICK
GS	9	#1	GAULTHERIA SHALLON	SALAL
MN	31	#1	MAHONIA NERVOSA	CREEPING OREGON GRAPE
TP	84	4"	THYMUS PSEUDOLANUGINOSUS	WOOLLY THYME
BULBS				
CL	33	#1	CAMASSIA LEICHTLINII	CAMAS



Greenspace Designs
Sustainable Landscape Design

PROJECT TITLE

LANDSCAPE PLAN for
ANDREW MILLS
1048-1050 TILlicum ROAD, ESQUIMALT, BC

PAGE TITLE

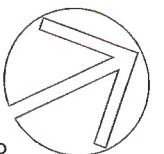
LANDSCAPE PLANTING PLAN, PAGE ONE OF TWO

DATE

DEC 1, 2020
revised JANUARY 5, 2021
revised APRIL 16, 2021

SCALE

1:96



LANDSCAPE LAYOUT / GRADING / SITE PLAN

CONSTRUCTION AND MAINTENANCE NOTES

- contractor to check all dimensions and aspects of this drawing and make work agree prior to construction
- any damage done to property during construction to be the responsibility of contractor involved
- any changes or deviations are the responsibility of the owner
- all work to comply with municipal bylaws
- do not scale plan

PLANTING AND IRRIGATION NOTES

- New plantings are shown on Greenspace Designs Planting Plan dated April 15, 2021.
- Any plant substitutions shall be made in consultation with the landscape designer.
- The Landscape and Irrigation Contractor shall determine the location of all underground services prior to the commencement of landscape work, and shall be responsible for the repair of all damage caused by landscape work to the Owner's satisfaction.
- All topsoil and plants shall conform to BCNTA / BCSLA specifications.
- Topsoil depths shall be as follows:
 - trees 12 cubic metres soil per tree
 - shrubs 600 mm depth
 - ground covers 150 mm depth
- All grass areas shall be seeded.
- All planted beds shall be covered with a 55 mm layer of leaf mulch.
- All trees shall be secured with two 75 mm diameter x 1.8 m long round poles set 1 m into ground.
- Plants determined to be dead or dying at the end of one year from the date of installation shall be replaced by the Contractor at the Contractor's expense.
- All planting beds shall be irrigated with an automatic underground system.
- Must be installed 12" below finished grade for all lateral lines and 18" below finished grade for Irrigation main lines.
- All irrigation materials and installation methods shall conform to IABAC standards.
- Backflow preventer requirements for irrigation lines shall conform to the Township of Esquimalt municipality requirements.
- The Irrigation Contractor shall test the irrigation system and ensure that it is fully operational prior to acceptance by the owner.



BLAST ROCK WALLS, NO CAP



1800mm CEDAR FENCE, STAINED BLACK



— HORIZONTAL METAL FENCE



BIOSWALE DETAILS

scale as shown

The drawing consists of two parts. The top part is a cross-section of a bioswale. It shows a central channel with a width of 380mm and two side slopes, each 150mm wide at the top. The total width at the top is 680mm. The depth of the channel is 450mm, and the depth of the side slopes is 300mm. The channel is filled with 'Bio-retention growing medium' and sits on a 'Scarified sub-grade'. The bottom part is a detail view of the bioswale wall. It shows a concrete section that is 2 inches lower than a mortared stone wall and set back 3 inches from the face of the wall. The section is formed with vertical grain rough wood planks. The detail view shows a cross-section of the wall with a height of 12.67m and a base width of 1.06m. The wall is made of concrete and has a 25mm drain rock, 25mm depth, 300mm width at the base. The detail view also shows a 200mm domed grate and adapter flow to municipal connection. The detail view is labeled 'Bioswale detail - 1/4" = 1'0"'. The detail view also shows a 25mm drain rock, 25mm depth, 300mm width at the base.

150mm 380mm 150mm

450mm

300mm

Bio-retention growing medium

Scarified sub-grade

Bioswale section - not to scale

Overflow drain here will be set in centre of flat bottom rain garden 200mm domed grate and adapter flow to municipal connection

CONCRETE SECTION will be set 2" lower than mortared stone wall, and set back 3" from face of wall. Section formed with vertical grain rough wood planks.

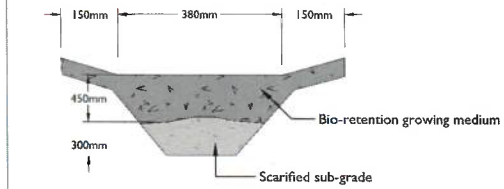
12.67m

1.06m

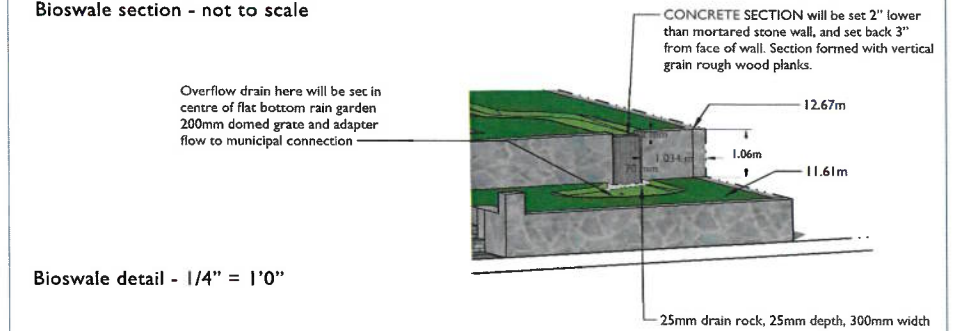
11.61m

25mm drain rock, 25mm depth, 300mm width

Bioswale detail - 1/4" = 1'0"



Bioswale section - not to scale



Bioswale detail - 1/4" = 1'0"



Greenspace Designs
Sustainable Landscape Design

:: PROJECT TITLE ::
LANDSCAPE PLAN for
ANDREW MILLS
1048-1050 TILlicUM ROAD, ESQUIMALT, BC

⌘ PAGE TITLE ⌘
 LANDSCAPE LAYOUT / GRADING / SITE PLAN, PAGE
 TWO OF TWO

:: DATE ::
 DEC 1, 2020
 revised JANUARY 5, 2021
 revised APRIL 16, 2021

** DATE **
 DEC 1, 2020

