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L1.00	LANDSCAPE SITE PLAN
CSP-1	CIVIL CONCEPTUAL SERVICING PLAN
CSP-2	CIVIL CONCEPTUAL SERVICING SECTIONS AND PROFILE

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ESQUIMALT RENTAL HOUSING

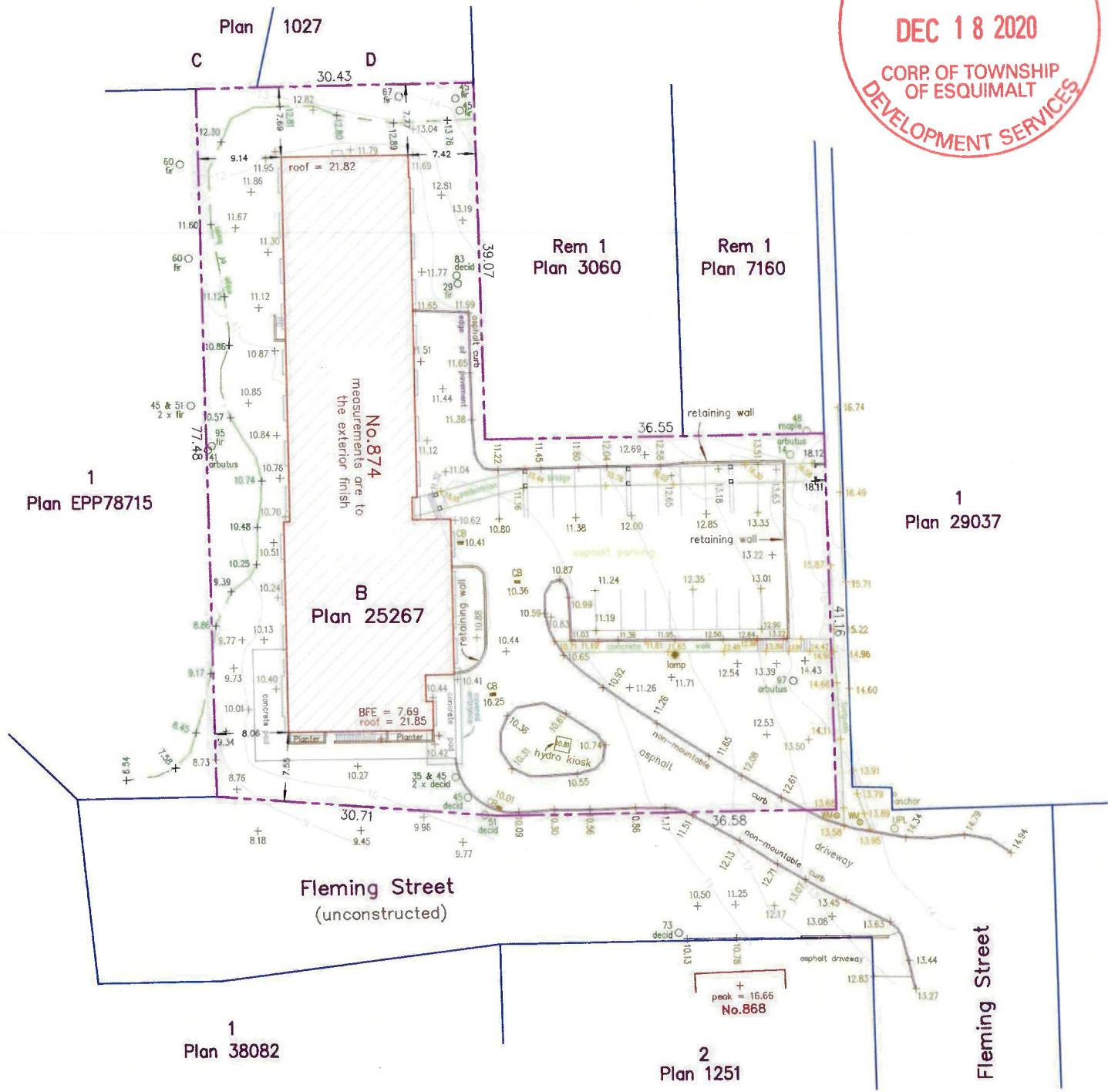
874 FLEMING STREET, ESQUIMALT, BC

BC LAND SURVEYORS SITE PLAN OF:

Civic: 874 Fleming Street
Legal: Lot B, Section 10,
Esquimalt District, Plan 25267

Parcel Identifier: 002-900-246 in the Township of Esquimalt
SCALE 1 : 3 0 0
0 2 5 10 15 20
All distances are shown in metres.
Plot on C size sheet.

LEGEND
Elevations are to geodetic datum.
+ - denotes - existing elevation
Tree diameters are in centimetres.
Contour Interval = 1.0 metres
Contours have been derived by digital terrain
modelling and any critical elevations must
be verified by field survey.
Lot Area = 3909 m2



August 7, 2018
File : 12,826 - 23
POWELL & ASSOCIATES
B C Land Surveyors
250-2950 Douglas Street
Victoria, BC V8T 4N4
phone (250) 382-8855

Setbacks are derived from field survey.
Parcel dimensions shown hereon are
derived from Land Title Office records.
This document shows the relative location
of the surveyed features and shall not be
used to define property boundaries.

The following non-financial charges are shown on
the current title and may affect the property.
M76301 - Undersurface Rights
1062606 - Undersurface Rights
A64775 - Restrictive Covenant

PRELIMINARY - NOT FOR CONSTRUCTION



AVERAGE GRADE CALCULATION

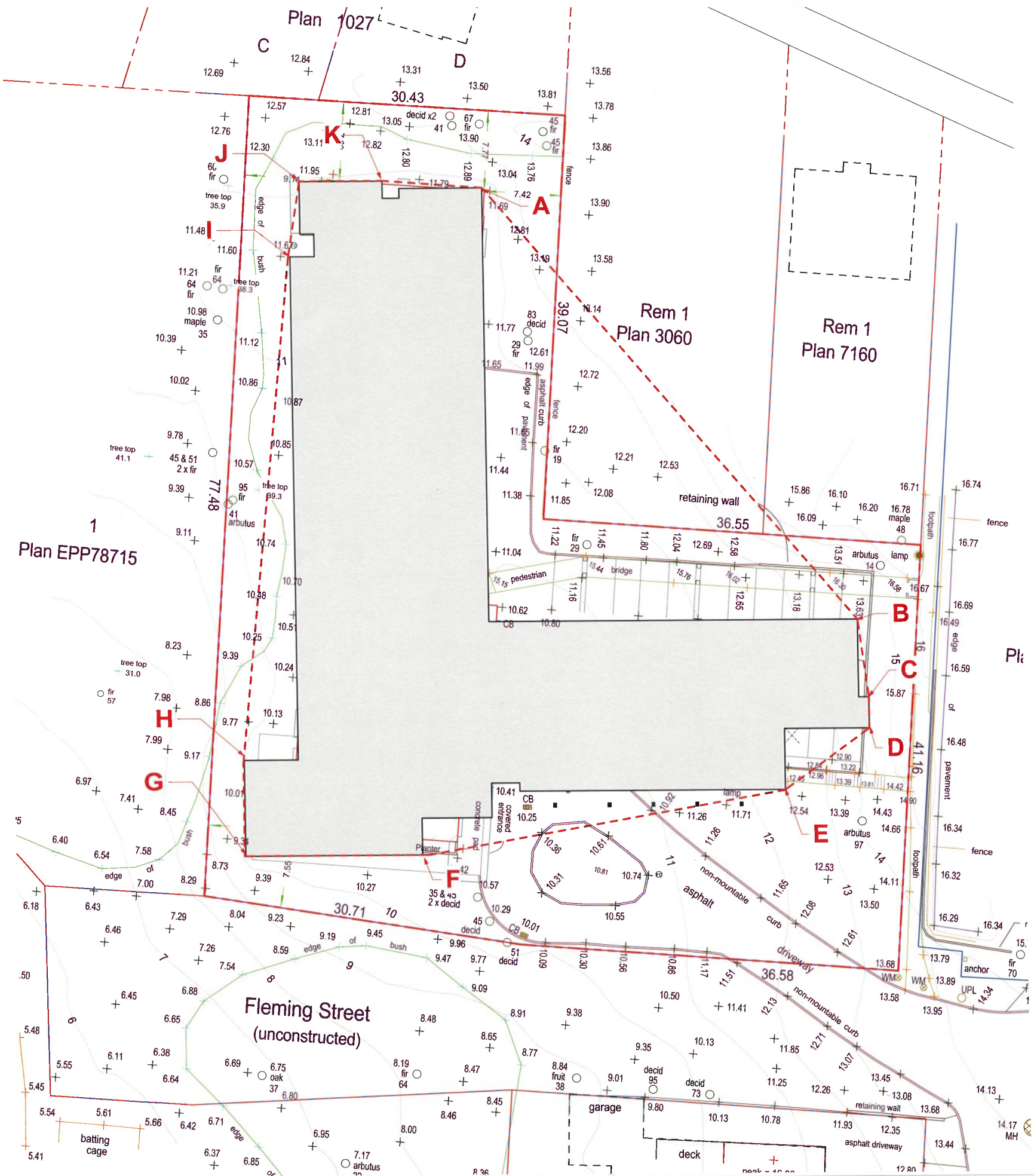
AVERAGE GRADE CALCULATION
ALL DATUMS ARE GEODESIC AND IN METRES

A:	NORTHEAST CORNER	
	EXISTING	11.70m
B:	NORTHEAST OUTSIDE CORNER	
	EXISTING	13.43m
C:	EAST INSIDE CORNER	
	EXISTING	13.80m
D:	EAST OUTSIDE CORNER	
	EXISTING	13.80m
E:	SOUTHEAST CORNER	
	EXISTING	12.54m
F:	SOUTH CORNER	
	EXISTING	10.42m
G:	SOUTHWEST CORNER	
	EXISTING	10.00m
H:	SOUTHWEST SIDE	
	EXISTING	9.80m
I:	WEST SIDE	
	EXISTING	11.67m
J:	NORTHWEST OUTSIDE CORNER	
	EXISTING	11.93m
K:	NORTH SIDE	
	EXISTING	11.93m

AVERAGE GRADE CALCULATION
 $11.7+13.43+13.8+13.8+12.54+10.42+10+9.8+11.67+11.93+11.93 = 131.02$
 $131.02 / 11 = 11.91m$ GEO

AVERAGE GRADE:
11.91m GEO

"Grade" means the average of the existing ground (as determined by a BC Land Surveyor) of those points of a polygon having the shortest perimeter that will encompass the outermost walls of a building or structure, provided that localized depressions such as vehicle or pedestrian entrances need not be considered in the determination of the average of existing ground.



PRELIMINARY - NOT FOR CONSTRUCTION



PROJECT DATA - 874 Fleming St
Esquimalt, BC

ZONING: Site Specific (Bylaw 2988)
LEGAL: Lot B Plan VIP25267 Section 10 Land District 21 Lot B Plan VIP25267 Section 10 Land District 21 PID: 002-900-246

	Site Specific Zone	Proposed	Notes
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SITE AREA: 3900m² min 3909 m² 42076 sf

No. OF DWELLING UNITS: 137 max 137 units

LOT COVERAGE: above grade 50% max 49 %
below grade 70% max 66 %

FLOOR AREA RATIO (FAR): 2.0 1.96
*FAR calculated to interior surface of exterior walls & excludes stairs, corridors, elevs

SETBACKS*:			
FRONT	6.9 m	6.9 m	
REAR	7.4 m	7.4 m	
EAST SIDE	3.9 m	3.9 m	
NORTH SIDE	7.5 m	7.5 m	
EAST INTERIOR SIDE	5.3 m	5.3 m	
WEST SIDE @ L1	4.7 m	4.7 m	
WEST SIDE @ L2 +	5.7 m	5.7 m	

*FOR SITING EXCEPTIONS REFER TO ZONING DOCUMENT AND DRAWINGS

HEIGHT: max: 22 m 19.09 m Average Grade: 11.91 m GEO
T. O. Roof Surface: 31.00 m GEO

STOREYS: max: 6 storeys 6 storeys

USABLE OPEN SPACE: 6% 7.76%

GROSS FLOOR AREA* : *Area calculated to exterior face of exterior sheathing - for construction budget purposes

LEVEL 1	1,636 m ²	17,613 sf
LEVEL 2	1,656 m ²	17,824 sf
LEVEL 3	1,656 m ²	17,824 sf
LEVEL 4	1,656 m ²	17,824 sf
LEVEL 5	1,656 m ²	17,824 sf
LEVEL 6	1,592 m ²	17,138 sf
Total	9,852 m ²	106,048 sf
PARKADE	2,569 m ²	27,647 sf
GFA + Parkade	12,421 m ²	133,695 sf

LOT COVERAGE AREA:	Area (m ²)	Area (sq ft)	Percentage	Max Permitted
Building Lot Coverage	1,898 m ²	20,430 sf	48.55%	50.00%
UG Parking Lot Coverage	2,569 m ²	27,648 sf	65.71%	70.00%

NET* TOTAL FLOOR AREA: *Area calculated to interior face of exterior walls - per zoning definition (FAR calculation) and excludes stairs, elev, corridors, and laundry, amenity rooms, wc's

LEVEL 1	971 m ²	10,453 sf
LEVEL 2	1,355 m ²	14,580 sf
LEVEL 3	1,354 m ²	14,577 sf
LEVEL 4	1,354 m ²	14,577 sf
LEVEL 5	1,354 m ²	14,577 sf
LEVEL 6	1,292 m ²	13,902 sf
Total	7,680 m ²	82,664 sf
FAR	1.96	

SUITE BREAKDOWN: unit areas calculated to centre line of party wall and outside face of exterior sheathing

Unit Type	Unit Area	Level 1	Level 2	Level 3	Level 4	Level 5	Level 6	Total Units	%
Studio A1	35.4 m ²	381 sf	6	6	6	6		24	18
Studio A2	36.1 m ²	388 sf	1	1	1	1	1	4	3
ACC Studio A3	37.1 m ²	399 sf	1	2	1	1	1	7	5
1 BD B1	49.6 m ²	534 sf	6	7	10	10	10	53	39
1 BD B2	49.6 m ²	534 sf	1	1	1	1	1	6	4
1 BD B3	49.6 m ²	534 sf						3	2
1 BD B4	52.8 m ²	568		1	1	1	1	5	4
2 BD C1	73.4 m ²	790 sf	1	1	4	4	4	18	13
3 BD C2	71.3 m ²	768	1	1	1	1	1	6	4
3 BD D	92.5 m ²	996 sf		1	1	1	1	5	4
4 BD E1	132.6 m ²	1428 sf	3					3	2
4 BD E2	129.4 m ²	1392 sf	3					3	2
Sub Total			16	20	26	26	26	137	100

PARKING BREAKDOWN:

	Required	Proposed
Car Parking Stalls	0.48 stalls / unit	0.489 stalls / unit
Visitor Stalls	66 stalls	67 stalls
Loading		

BICYCLE PARKING: 1 rack / unit 137 racks

SCOOTER PARKING: 14 spaces

FUNCTION	DESCRIPTION OF UNITS/SPACES	R ² /UNIT OR ROOM	m ² /UNIT OR ROOM	# OF UNITS	TOTAL R ²	TOTAL m ²
a - Residential Units	Studio Type A1	381	35.4	24	9154	850.41
	Studio Type A2	388	36.1	4	1554	144.37
	Studio Accessible Type A3	399	37.1	7	2793	259.47
	One Bedroom Type B1	534	49.6	53	28279	2627.22
	One Bedroom Type B2	534	49.6	6	3202	297.51
	One Bedroom Type B3	534	49.6	3	1602	148.81
	One Bedroom Type B4	568	52.8	5	2842	264.04
	Two Bedroom Type C1	790	73.4	18	14224	1321.49
	Two Bedroom Type C2	768	71.3	6	4605	427.86
	Three Bedroom Type D	996	92.5	5	4978	462.43
	Four Bedroom Type E1	1428	132.6	3	4283	397.91
	Four Bedroom Type E2	1392	129.4	3	4177	388.07
						7589.59

Total # of Units 137

b-Resident's Amenity	L1 Amenity 1	1237	114.93	1	1237	114.9
	L1 Amenity 2	529	49.18	1	529	49.2
	L1 Amenity 3	624	57.96	1	624	58.0
	Common Washrooms	67	6.24	1	67	6.2
	Storage Room	610	56.70	1	610	56.7
	Storage	621	57.67	1	621	57.7
	Vestibule	151	14.03	1	151	14.0
	L1 Mailroom	64	5.92	1	64	5.9
	Resident Laundry	680	63.17	1	680	63.2
						425.80

c-Administration/Program Support	L1 Office	129	12.0	1	129	12.0
	L1 Staff Washroom	53	4.9	1	53	4.9
						16.90

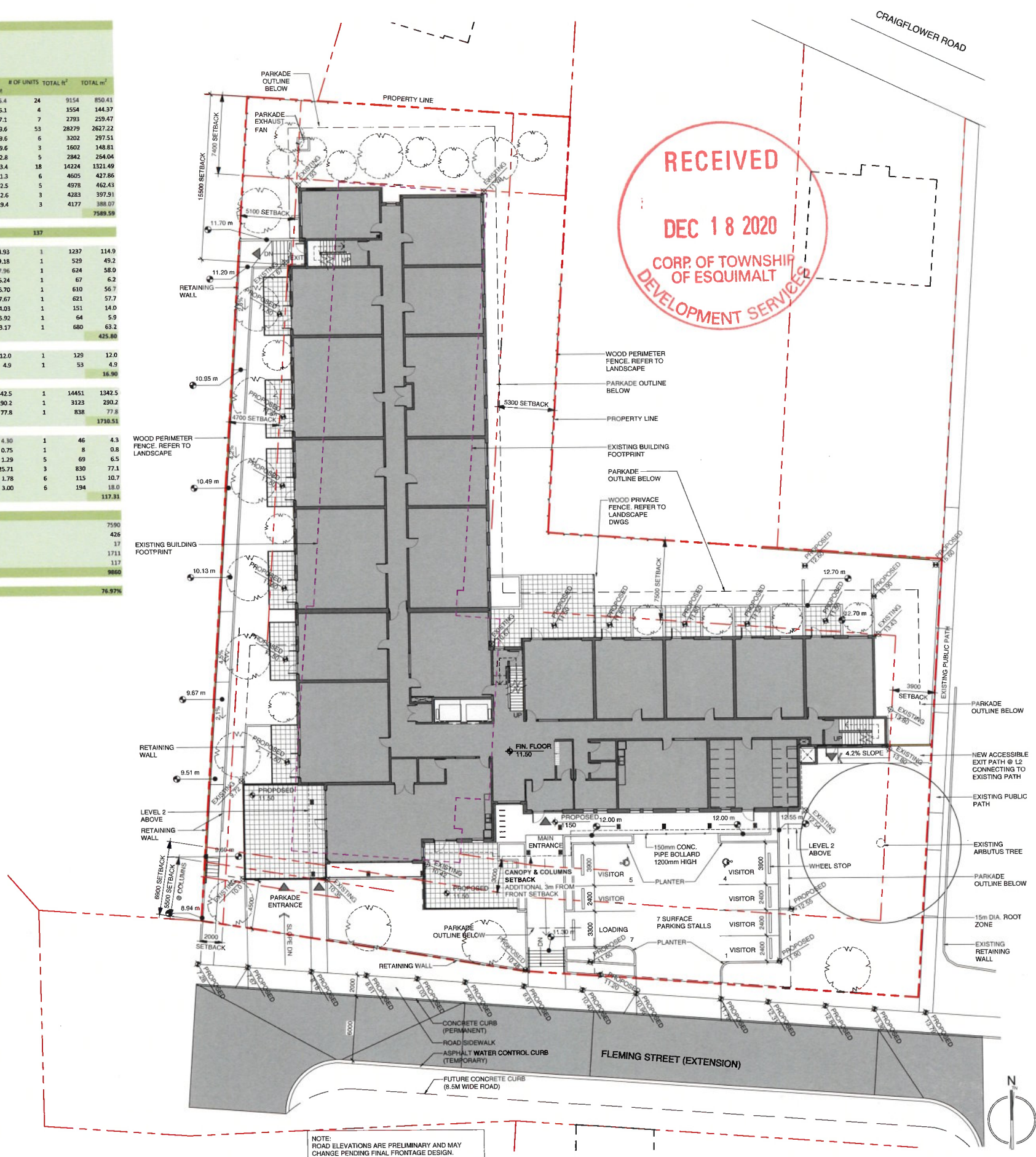
d-Circulation	Corridors & Lobby	14451	1342.5	1	14451	1342.5
	Stairs	3123	290.2	1	3123	290.2
	Elevators	838	77.8	1	838	77.8
						1710.51

e-Service Rooms	L1 Janitor's Room	46	4.30	1	46	4.3
	L1 Mechanical shaft	8	0.75	1	8	0.8
	L2-L6 Mechanical shaft	14	1.29	5	69	6.5
	L2,L4, L6 Mechanical Room	277	25.71	3	830	77.1
	L1-L6 Electric Closet	19	1.78	6	115	10.7
	L1-L6 Electric Room	32	3.00	6	194	18.0
						117.31

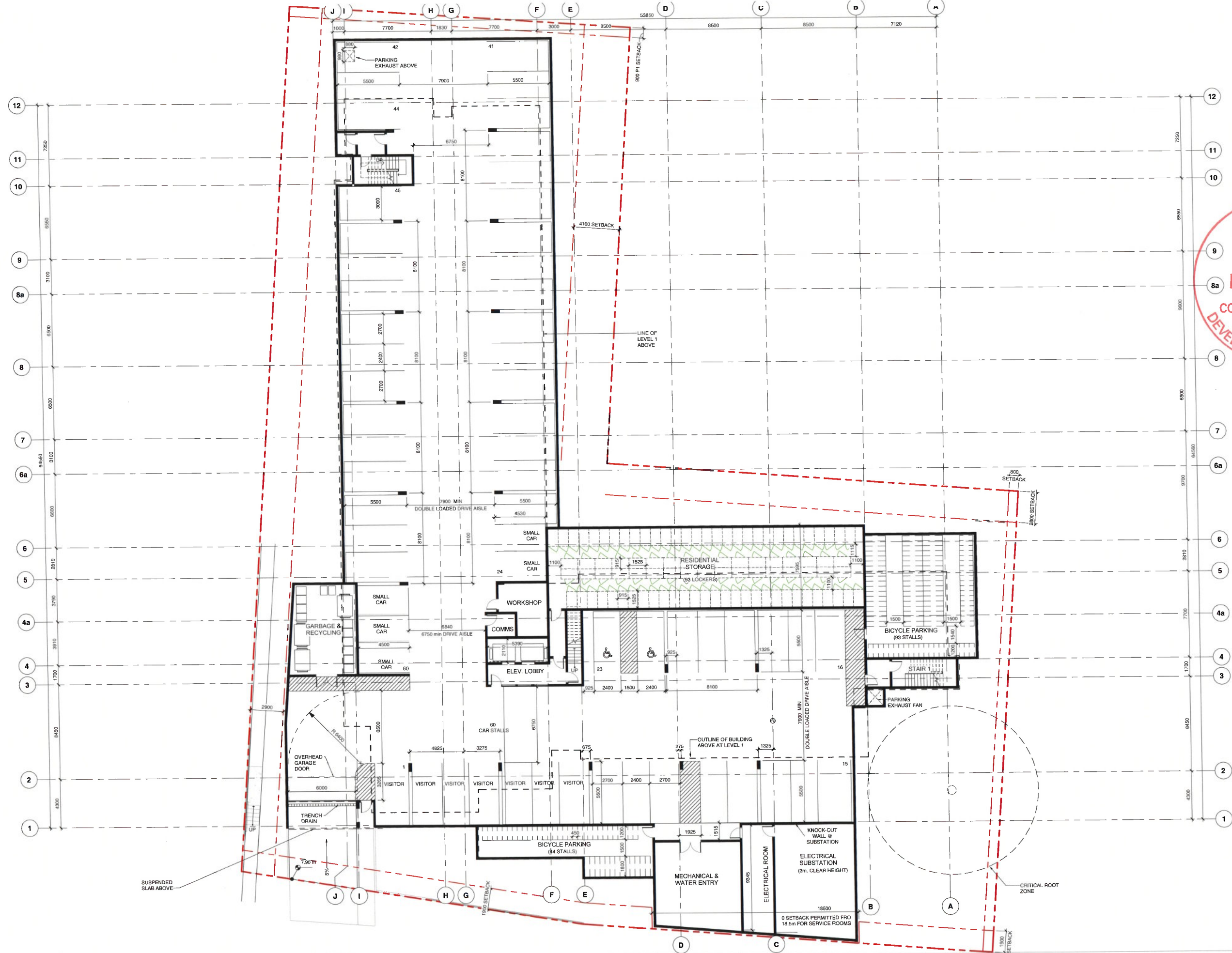
SUMMARY						
a-Total Residential Area						7590
b-Total Resident's Amenity						426
c-Total Admin/Support						17
d-Circulation						1711
e-Service Rooms						117
GROSS LIVABLE AREA						9660

Overall Building Efficiency (Total Residential Area/ Gross Livable Area) 76.97%

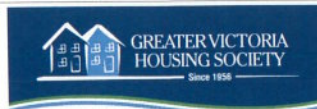
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LOW HAMMOND ROWE ARCHITECTS



ESQUIMALT RENTAL HOUSING
874 FLEMING STREET, ESQUIMALT, BC

LEVEL PARKADE FLOOR PLAN
scale 1 : 150 date DEC 8, 2020

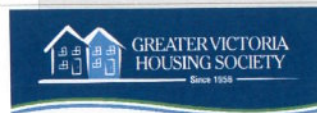
D04

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NOTE:
ROAD ELEVATIONS ARE PRELIMINARY AND MAY
CHANGE PENDING FINAL FRONTAGE DESIGN.



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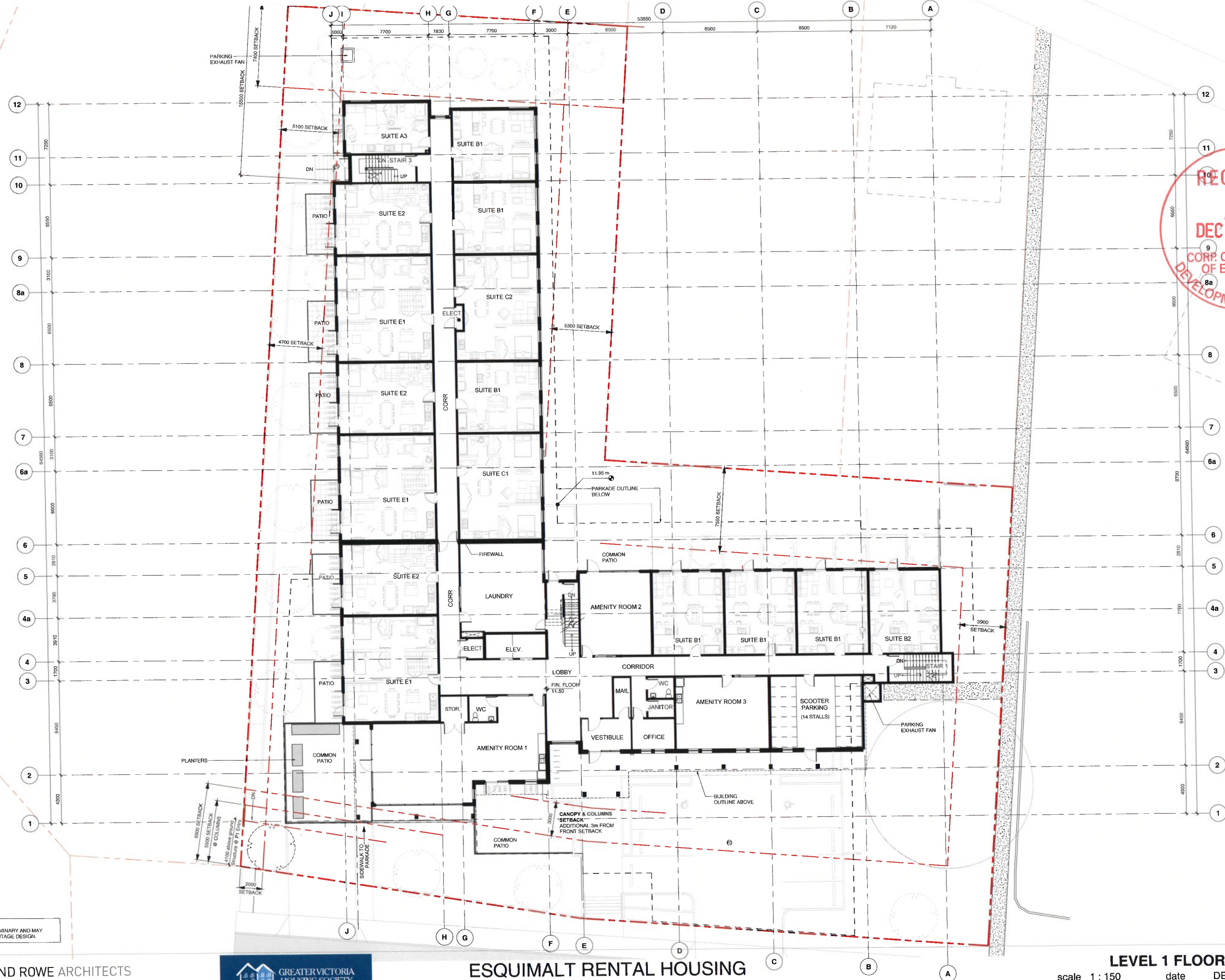


ESQUIMALT RENTAL HOUSING

874 FLEMING STREET, ESQUIMALT, BC

LEVEL 1 FLOOR PLAN
scale 1 : 150 date DEC 8, 2020

D05



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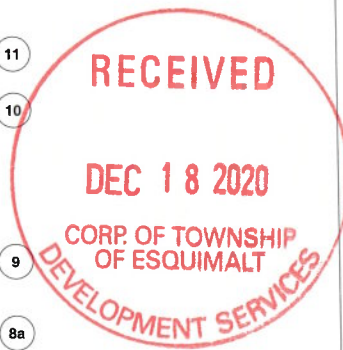
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ESQUIMALT RENTAL HOUSING
874 FLEMING STREET, ESQUIMALT, BC

LEVEL 2 FLOOR PLAN
scale 1 : 150 date DEC 8, 2020

D06



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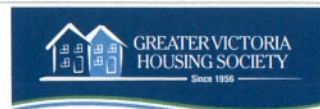
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LEVEL 6 FLOOR PLAN
scale 1 : 150 date DEC 8, 2020

D08

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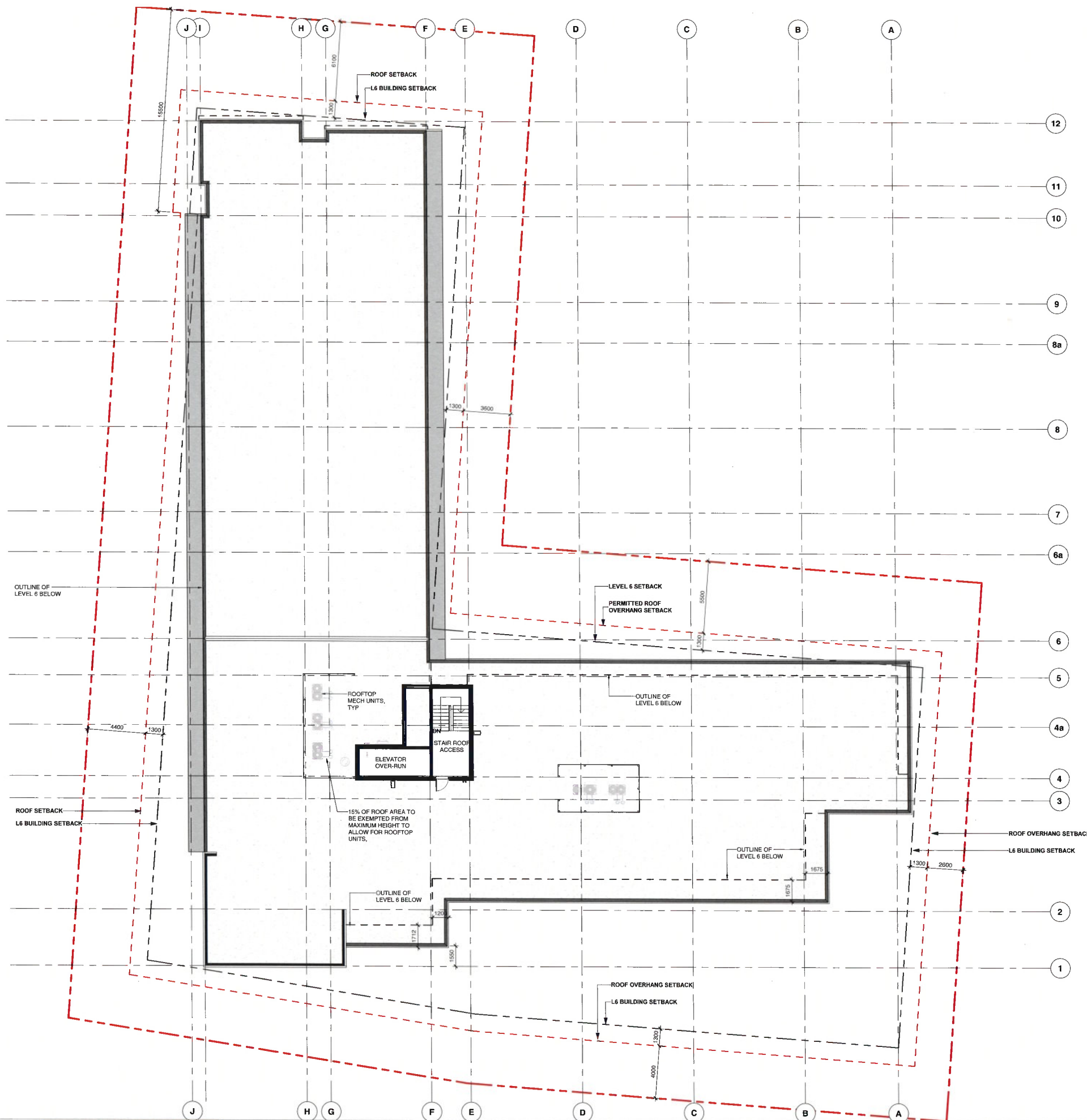


ESQUIMALT RENTAL HOUSING
874 FLEMING STREET, ESQUIMALT, BC

scale 1 : 150

ROOF PLAN
date DEC 8, 2020

D09



SETBACK NOTE
GRAY SETBACK LINE = BUILDING SETBACK
RED SETBACK LINE = ROOF SETBACK
(1.3m REDUCTION FROM BUILDING SETBACK)

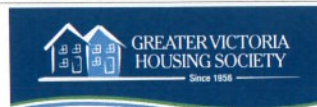


ELEVATION MATERIALS LEGEND

- 1a CEMENTITIOUS PLANKS - HARDIE PLANK 'MAIZE'
- 1b CEMENTITIOUS PLANKS - HARDIE PLANK 'BROWN BLAZE'
- 2 BRICK MASONRY - PACIFIC CLAY 'DARK IRON SPOT'
- 3a CEMENTITIOUS PANELS - HARDIE PANEL 'ARCTIC WHITE'
- 3b CEMENTITIOUS PANELS - HARDIE PANEL 'WEATHERED DOCK'
- 3c CEMENTITIOUS PANELS - HARDIE PANEL 'BROWN BLAZE'
- 3d CEMENTITIOUS PANELS - HARDIE PANEL 'CHARCOAL'
- 3e METAL FASCIA PANEL - 'CHARCOAL'
- 4 CURTAIN WALL - CHARCOAL
- 5 CHARCOAL VINYL FRAMED WINDOWS
- 6 SACK RUBBED CONCRETE FINISH
- 7 BIKE RACK
- 8 GLASS GUARDRAIL
- 9 HORIZONTAL LOUVER SHADE
- 10 VERTICAL SUNSHADE
- 11 BOX FRAME SHADE
- 12 WOOD PRIVACY SCREEN
- 13 GLAZED PRIVACY SCREEN
- 14 TRANSLUCENT GLASS
- 15 WOOD PERIMETER FENCE. REFER TO LANDSCAPE DWGS.
- 16 PAINTED STEEL PICKET GUARDRAIL
- 17 EXPOSED WOOD GLULAM COLUMN
- 18 MECHANICAL SCREEN
- 19 MECHANICAL LOUVRE



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ESQUIMALT RENTAL HOUSING
874 FLEMING STREET, ESQUIMALT, BC

BUILDING ELEVATIONS
scale As indicated date DEC 8, 2020

D10

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- ELEVATION MATERIALS LEGEND**
- 1a CEMENTITIOUS PLANKS - HARDIE PLANK 'MAIZE'
 - 1b CEMENTITIOUS PLANKS - HARDIE PLANK 'BROWN BLAZE'
 - 2 BRICK MASONRY - PACIFIC CLAY 'DARK IRON SPOT'
 - 3a CEMENTITIOUS PANELS - HARDIE PANEL 'ARCTIC WHITE'
 - 3b CEMENTITIOUS PANELS - HARDIE PANEL 'WEATHERED DOCK'
 - 3c CEMENTITIOUS PANELS - HARDIE PANEL 'BROWN BLAZE'
 - 3d CEMENTITIOUS PANELS - HARDIE PANEL 'CHARCOAL'
 - 3e METAL FASCIA PANEL - 'CHARCOAL'
 - 4 CURTAIN WALL - CHARCOAL
 - 5 CHARCOAL VINYL FRAMED WINDOWS
 - 6 SACK RUBBED CONCRETE FINISH
 - 7 BIKE RACK
 - 8 GLASS GUARDRAIL
 - 9 HORIZONTAL LOUVER SHADE
 - 10 VERTICAL SUNSHADE
 - 11 BOX FRAME SHADE
 - 12 WOOD PRIVACY SCREEN
 - 13 GLAZED PRIVACY SCREEN
 - 14 TRANSLUCENT GLASS
 - 15 WOOD PERIMETER FENCE. REFER TO LANDSCAPE DWGS.
 - 16 PAINTED STEEL PICKET GUARDRAIL
 - 17 EXPOSED WOOD GLULAM COLUMN
 - 18 MECHANICAL SCREEN
 - 19 MECHANICAL LOUVRE



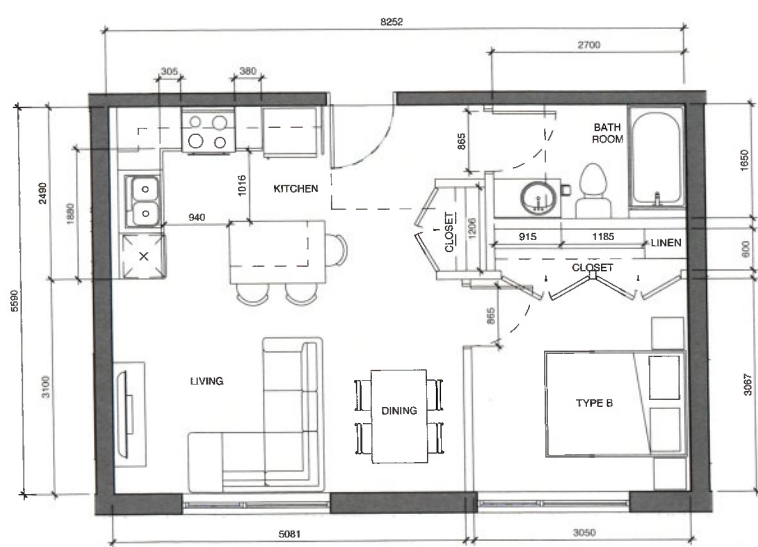
LOW HAMMOND ROWE ARCHITECTS



ESQUIMALT RENTAL HOUSING
874 FLEMING STREET, ESQUIMALT, BC

BUILDING ELEVATIONS
scale As indicated date DEC 8, 2020

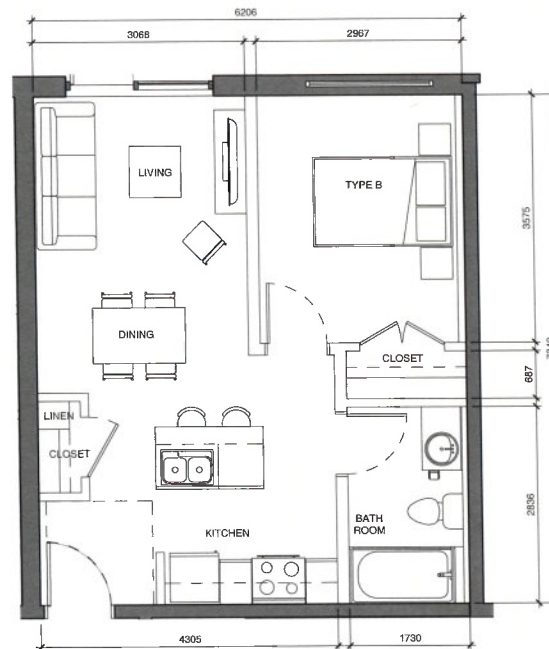
D11



SUITE TYPE B3 49.8 m² (535.8 sf)

1 : 50
BCH DESIGN GUIDELINES - 1 BEDROOM

SECTION	DESCRIPTION	BCH	PROVIDED	VALUE/ COMMENTS
5.2	Unit Area	49 m²	YES	49.4 m²
5.3.1.1	Suite Entry-Closet Min. Width	915 mm	YES	1205 mm
5.3.2.1	Living Room seating capacity	4 seats	YES	4 seats
5.3.2.2	Circulation spaces Min. Width	920 mm	YES	-
5.3.2.3	Interior Corridor Recornd. Width	1015 mm	YES	-
5.3.3.1	Dining Room seating capacity	4 seats	YES	4 seats
5.4.1.3	Door open full	110 degrees	NO	-
5.4.1.4	Access bed - foot and 2 sides	YES	YES	-
5.4.2	Bedroom type 1 B	YES	YES	-
	Type B: Min Area	9.30 m²	YES	9.30 m²
	Type B: Min Dimension	2800 mm	YES	350 mm
	Type B: Closet width	1500 mm	YES	2100 mm
5.5.1.1	Provide 2.3 sm of storage	YES	NO	1.5 m² in Parkade TBD
6.1.3	Counter Frontage Recornd.	2440 mm	YES	2480 mm
6.2.2.2	Lav. Countertop Min. Width	900 mm	YES	915 mm
6.2.2.3	Towel Bar Min. Width	600 mm	YES	-
6.2.3.1	3 Piece Bathroom	1	YES	YES
	Shower (914x1220mm)	YES	NO	815 x 1525 mm tub
	Water Closet	YES	YES	1
	Lav Basin with Vanity	YES	YES	1



SUITE TYPE B2 49.7 m² (535.4 sf)

1 : 50

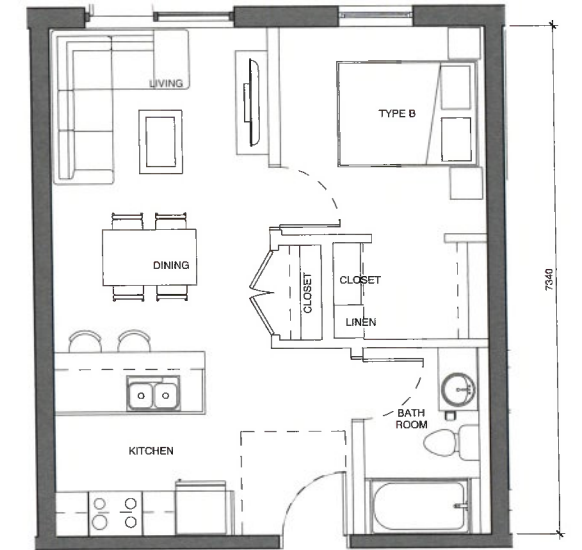
BCH DESIGN GUIDELINES - 1 BEDROOM

SECTION	DESCRIPTION	BCH	PROVIDED	VALUE/ COMMENTS
5.2	Unit Area	49 m²	YES	49.5 m²
5.3.1.1	Suite Entry-Closet Min. Width	915 mm	YES	915 mm
5.3.2.1	Living Room seating capacity	4 seats	YES	4 seats
5.3.2.2	Circulation spaces Min. Width	920 mm	YES	-
5.3.2.3	Interior Corridor Recornd. Width	1015 mm	YES	-
5.3.3.1	Dining Room seating capacity	4 seats	YES	4 seats
5.4.1.3	Door open full	110 degrees	NO	-
5.4.1.4	Access bed - foot and 2 sides	YES	YES	-
5.4.2	Bedroom type 1 Type B	YES	YES	-
	Type B: Min Area	9.30 m²	YES	10.05 m²
	Type B: Min Dimension	2800 mm	YES	2916 mm
	Type B: Closet width	1500 mm	YES	1730 mm
5.5.1.1	Provide 2.3 sm of storage	YES	NO	1.5 m² in Parkade TBD
5.5.1	Provide Linen Closet	YES	YES	Cosat Closet
6.1.3	Counter Frontage Recornd.	2440 mm	YES	2470 mm
6.2.2.2	Lav. Countertop Min. Width	900 mm	YES	915 mm
6.2.2.3	Towel Bar Min. Width	600 mm	YES	-
6.2.3.1	3 Piece Bathroom	1	YES	1
	Shower (914 x 1220mm)	NO	NO	815 x 1525 mm tub
	Water Closet	YES	YES	1
	Lav Basin with Vanity	YES	YES	1

NOTE:
UNIT AREA CALCULATED FROM THE CENTRE LINE OF DEMISING WALLS, CENTRE LINE OF CORRIDOR WALLS AND OUTSIDE FACE OF SHEATHING ON EXTERIOR WALLS.

BCH DESIGN GUIDELINES - 1 BEDROOM

SECTION	DESCRIPTION	BCH	PROVIDED	VALUE/ COMMENTS
5.2	Unit Area	49 m²	YES	49.5 m²
5.3.1.1	Suite Entry-Closet Min. Width	915 mm	YES	1370 mm
5.3.2.1	Living Room seating capacity	4 seats	YES	4.5 seats
5.3.2.2	Circulation spaces Min. Width	920 mm	YES	-
5.3.2.3	Interior Corridor Recornd. Width	1015 mm	YES	-
5.3.3.1	Dining Room seating capacity	4 seats	YES	4 seats
5.4.1.3	Door open full	110 degrees	NO	-
5.4.1.4	Access bed - foot and 2 sides	YES	YES	-
5.4.2	Bedroom type 1 Type B	YES	YES	-
	Type B: Min Area	9.30 m²	YES	9.30m²
	Type B: Min Dimension	2800 mm	YES	2988 mm
	Type B: Closet width	1500 mm	YES	1370 mm + 870 mm
5.5.1.1	Provide 2.3 sm of storage	YES	NO	1.5 m² in Parkade TBD
5.5.1	Provide Linen Closet	YES	YES	Bedroom Closet
6.1.3	Counter Frontage Recornd.	2440 mm	YES	3020 mm
6.2.2.2	Lav. Countertop Min. Width	900 mm	YES	915 mm
6.2.2.3	Towel Bar Min. Width	600 mm	YES	-
6.2.3.1	3 Piece Bathroom	1	YES	1
	Shower (914 x 1220mm)	NO	NO	815 x 1525 mm tub
	Water Closet	YES	YES	1
	Lav Basin with Vanity	YES	YES	1



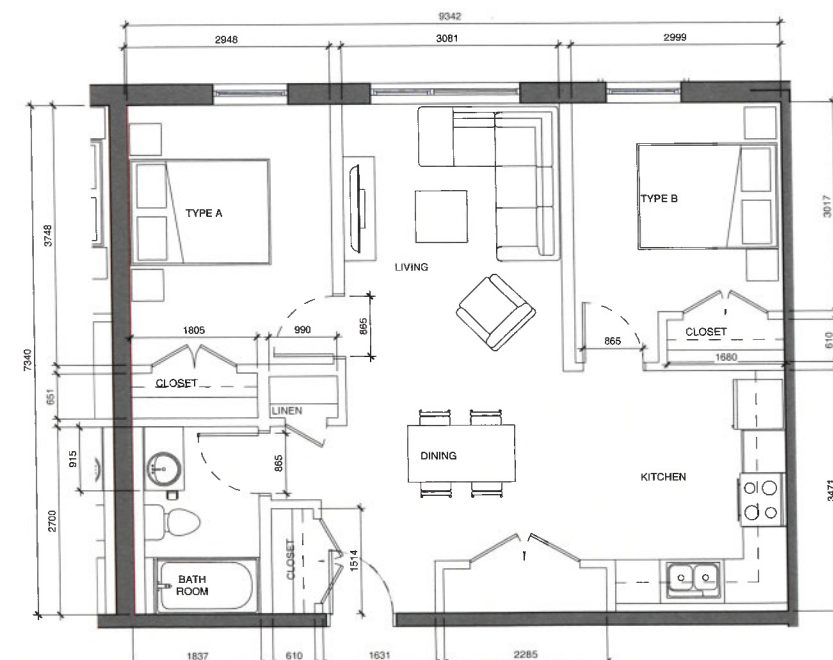
SUITE TYPE B1 50 m² (533 sf)

1 : 50

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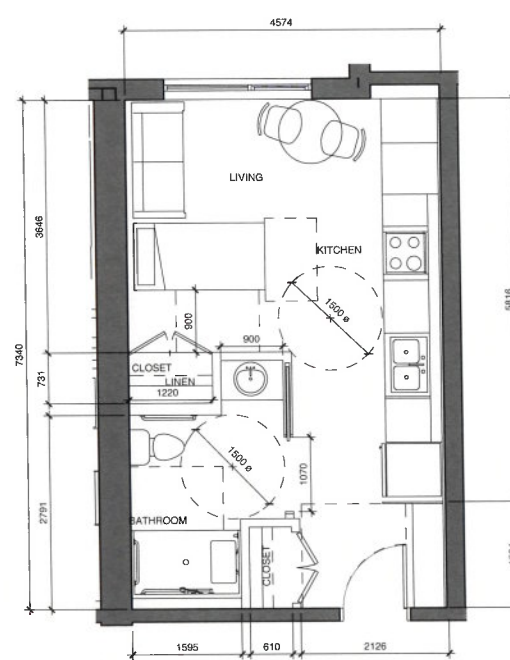


SUITE TYPE C 73 m² (786 sf) & 77.8 m² (837.6 sf)

1 : 50

BCH DESIGN GUIDELINES - 2 BEDROOM

SECTION	DESCRIPTION	BCH	PROVIDED	VALUE/ COMMENTS
5.2	Unit Area	73 m²	YES	73 m²
5.3.1.1	Suite Entry-Closet Min. Width	915 mm	YES	1520 mm
5.3.2.1	Living Room seating capacity	5 seats	YES	5 seats
5.3.2.2	Circulation spaces Min. Width	920 mm	YES	-
5.3.2.3	Interior Corridor Recornd. Width	1015 mm	YES	-
5.3.3.1	Dining Room seating capacity	4 seats	YES	4 seats
5.4.1.3	Door open full	110 degrees	NO	-
5.4.1.4	Access bed - foot and 2 sides	YES	YES	-
5.4.2	Bedroom type 1 A / 1 B	YES	YES	-
	Type A: Min Area	11.15 m²	YES	11.17m²
	Type A: Min Dimension	2800 mm	YES	2973 mm
	Type A: Closet width	1500 mm	YES	1805 mm
	Type B: Min Area	9.30 m²	YES	10.30 m²
	Type B: Min Dimension	2800 mm	YES	2999 mm
	Type B: Closet width	1500 mm	YES	1680 mm
5.5.1.1	Provide 2.3 sm of storage	YES	NO	1.2 m² in suite
5.5.1	Provide Linen Closet	YES	YES	-
6.1.3	Counter Frontage Recornd.	2440 mm	YES	3640 mm
6.2.2.2	Lav. Countertop Min. Width	900 mm	YES	915 mm
6.2.2.3	Towel Bar Min. Width	600 mm	YES	-
6.2.3.1	3 Piece Bathroom	1	YES	1
	Shower (914x1220mm) or ST tub	YES	YES	815 x 1525 mm tub
	Water Closet	YES	YES	1
	Lav Basin with Vanity	YES	YES	1

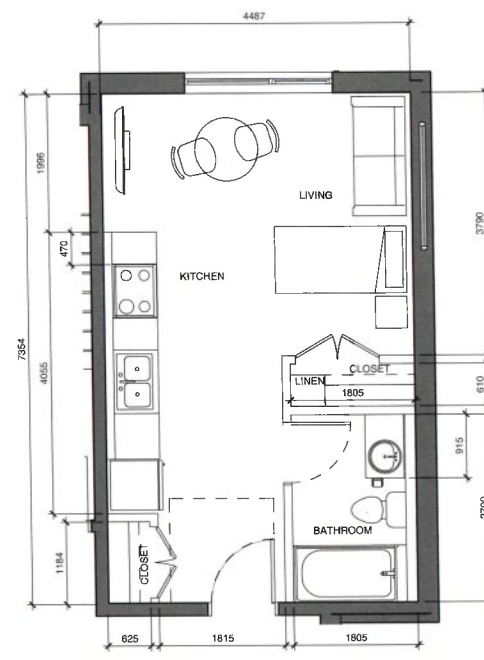


SUITE TYPE A3 (ACCESSIBLE) 36 m² (387.9 sf)

1 : 50

BCH DESIGN GUIDELINES - STUDIO

SECTION	DESCRIPTION	BCH	PROVIDED	VALUE/ COMMENTS
5.2	Unit Area	37 m²	YES	36.4 m²
5.3.1.1	Suite Entry-Closet Min. Width	915 mm	YES	1170 mm
5.3.2.1	Living Room seating capacity	2 seats	YES	2 seats
5.3.2.2	Circulation spaces Min. Width	915 mm	YES	-
5.3.2.3	Interior Corridor Recornd. Width	1067 mm	YES	-
5.3.3.1	Dining Room seating capacity	2 seats	YES	2 seats
5.4.1.3	Door open full	110 degrees	NO	-
5.4.1.4	Access bed - foot and 2 sides	YES	YES	-
5.4.2	Bedroom type	N/A	N/A	-
5.5.1.1	Provide 2.3 sm of storage	YES	NO	1.5 m² in Parkade TBD
5.5.1	Provide Linen Closet	YES	YES	-
6.1.3	Counter Frontage Recornd.	1860 mm	YES	2695 mm
6.2.2.2	Lav. Countertop Min. Width	900 mm	YES	915 mm
6.2.2.3	Towel Bar Min. Width	600 mm	YES	-
6.2.3.1	3 Piece Bathroom	1	YES	1
	Shower (914 x 1220mm)	YES	1	915 x 1525 mm
	Water Closet	YES	1	-
	Lav Basin with Vanity	YES	1	-
8.2.2.1	1500 mm turning radius	YES	YES	-
	Both sides of Entry Door	YES	YES	-
	Inside Bedroom	YES	YES	-
	Inside Bathroom	YES	YES	-
	Inside Kitchen	YES	YES	-

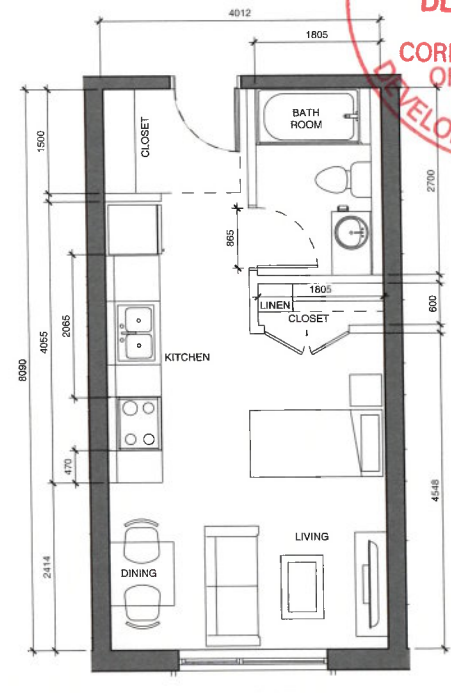


SUITE TYPE A2 (STUDIO 02) 36 m² (387.9 sf)

1 : 50

BCH DESIGN GUIDELINES - STUDIO

SECTION	DESCRIPTION	BCH	PROVIDED	VALUE/ COMMENTS
5.2	Unit Area	33 m²	YES	36 m²
5.3.1.1	Suite Entry-Closet Min. Width	915 mm	YES	1184 mm
5.3.2.1	Living Room seating capacity	2 seats	YES	2 seats
5.3.2.2	Circulation spaces Min. Width	920 mm	YES	-
5.3.2.3	Interior Corridor Recornd. Width	1015 mm	YES	-
5.3.3.1	Dining Room seating capacity	2 seats	YES	2 seats
5.4.1.3	Door open full	110 degrees	NO	-
5.4.1.4	Access bed - foot and 2 sides	YES	YES	-
5.4.2	Bedroom type	N/A	N/A	-
5.5.1.1	Provide 2.3 sm of storage	YES	NO	1.5 m² in Parkade TBD
5.5.1	Provide Linen Closet	YES	YES	-
6.1.3	Counter Frontage Recornd.	1860 mm	YES	2675 mm
6.2.2.2	Lav. Countertop Min. Width	900 mm	YES	915 mm
6.2.2.3	Towel Bar Min. Width	600 mm	YES	-
6.2.3.1	3 Piece Bathroom	1	YES	1
	Shower (914 x 1220mm)	NO	NO	815 x 1525 Bathub
	Water Closet	YES	YES	1
	Lav Basin with Vanity	YES	YES	1



SUITE TYPE A1 (STUDIO 01) 35.5 m² (382.3 sf)

1 : 50

BCH DESIGN GUIDELINES - STUDIO

SECTION	DESCRIPTION	BCH	PROVIDED	VALUE/ COMMENTS
5.2	Unit Area	33 m²	YES	35.5 m²
5.3.1.1	Suite Entry-Closet Min. Width	915 mm	YES	1305 mm
5.3.2.1	Living Room seating capacity	2 seats	YES	2 seats
5.3.2.2	Circulation spaces Min. Width	920 mm	YES	-
5.3.2.3	Interior Corridor Recornd. Width	1015 mm	YES	-
5.3.3.1	Dining Room seating capacity	2 seats	YES	2 seats
5.4.1.3	Door open full	110 degrees	NO	-
5.4.1.4	Access bed - foot and 2 sides	YES	YES	-
5.4.2	Bedroom type	N/A	N/A	-
5.5.1.1	Provide 2.3 sm of storage	YES	NO	1.5 m² in Parkade TBD
5.5.1	Provide Linen Closet	YES	YES	-
6.1.3	Counter Frontage Recornd.	1860 mm	YES	2654 mm
6.2.2.2	Lav. Countertop Min. Width	900 mm	YES	915 mm
6.2.2.3	Towel Bar Min. Width	600 mm	YES	-
6.2.3.1	3 Piece Bathroom	1	YES	1
	Shower (914 x 1220mm)	NO	NO	815 x 1525 Bathub
	Water Closet	YES	YES	1
	Lav Basin with Vanity	YES	YES	1



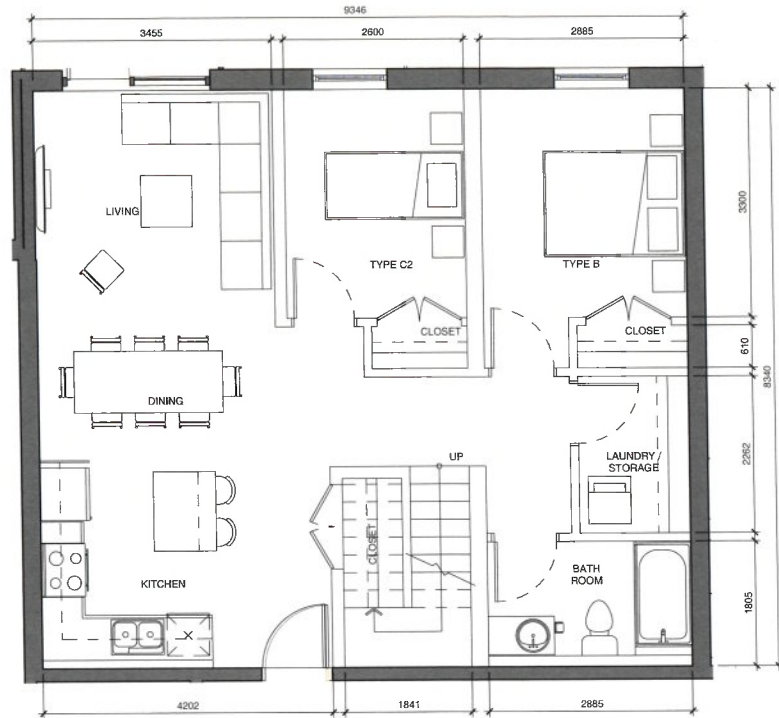
LOW HAMMOND ROWE ARCHITECTS



ESQUIMALT RENTAL HOUSING
874 FLEMING STREET, ESQUIMALT, BC

SUITE PLANS
scale As indicated date DEC 8, 2020

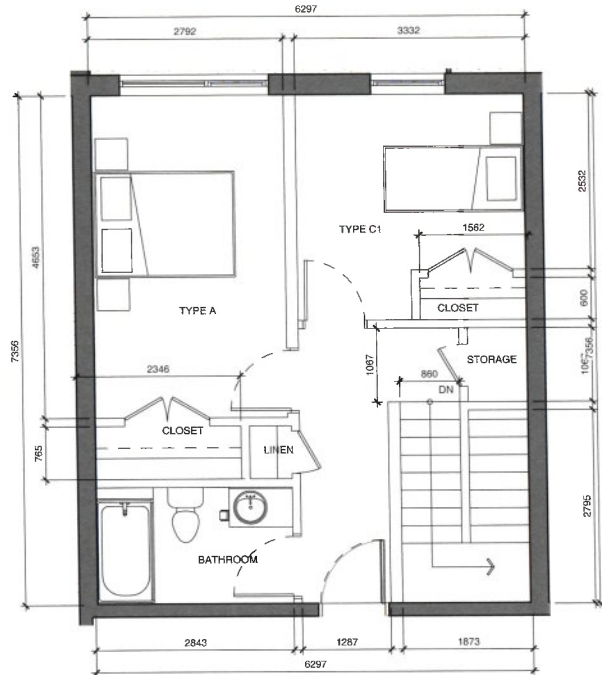
D12



SUITE TYPE E1 @ L1

128.9 m² (1387sf)

1 : 50



SUITE TYPE E1 @ L2

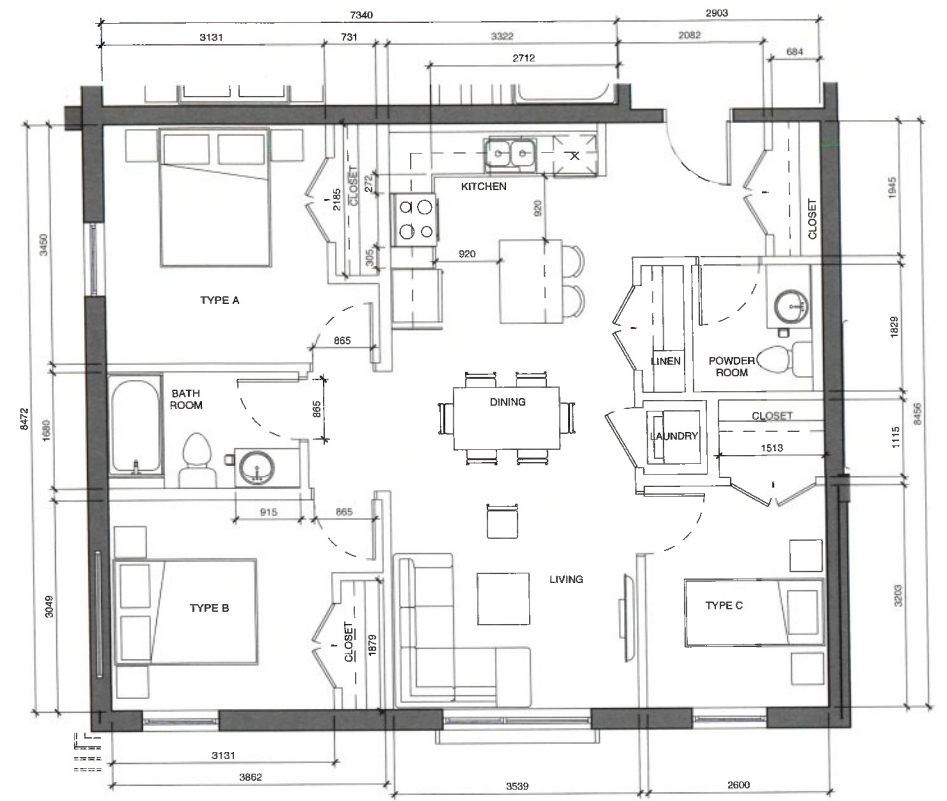
1 : 50

BCH DESIGN GUIDELINES - 4 BEDROOM

SECTION	DESCRIPTION	BCH	PROVIDED	VALUE/ COMMENTS
5.2	Unit Area	112 m ²	YES	128.7 m ²
5.3.1.1	Suite Entry-Closet Min. Width	915 mm	YES	1800 mm
5.3.2.1	Living Room seating capacity	7 seats	YES	7 seats
5.3.2.2	Circulation spaces Min. Width	920 mm	YES	-
5.3.2.3	Interior Corridor Recor. Width	1015 mm	YES	-
5.3.3.1	Dining Room seating capacity	8 seats	YES	8 seats
5.4.1.3	Door open full	110 degrees	NO	-
5.4.1.4	Access bed - foot and 2 sides	YES	YES	-
5.4.2	Bedroom type 1 A / 1 B / 2 C	YES	YES	-
	Type A: Min Area	11.15 m ²	YES	13.11 m ²
	Type A: Min Dimension	2800 mm	YES	2850 mm
	Type A: Closet width	1500 mm	YES	2120 mm
	Type B: Min Area	9.30 m ²	YES	10.50 m ²
	Type B: Min Dimension	2800 mm	YES	2850 mm
	Type B: Closet width	1500 mm	YES	1550 mm
	Type C1: Min Area	8.50 m ²	YES	9.52 m ²
	Type C1: Min Dimension	2600 mm	YES	2705 mm
	Type C1: Closet width	915 mm	YES	1555 mm
	Type C2: Min Area	8.50 m ²	YES	8.56 m ²
	Type C2: Min Dimension	2600 mm	YES	2600 mm
	Type C2: Closet width	915 mm	YES	1380 mm
	Provide 2.3 sm of storage	YES	YES	2.3 m ²
5.5.1.1	Provide Linen Closet	YES	YES	-
6.1.3	Counter Frontage Recor. Min. Width	2890 mm	YES	3590 mm
6.2.2.2	Lav. Countertop Min. Width	900 mm	YES	915 mm
6.2.2.3	Towel Bar Min. Width	600 mm	YES	-
6.2.3.1	3 Piece Bathroom	1	YES	YES
	Shower (914x1220mm) or ST tub	1	YES	815 x 1525 mm tub
	Water Closet	1	YES	1
	Lav Basin with Vanity	1	YES	1
6.2.5	Powder Room	1	YES	1
	Water Closet	1	YES	1
	Lav Basin with Vanity	1	YES	1

NOTE:

UNIT AREA CALCULATED FROM THE CENTRE LINE OF DEMISING WALLS, CENTRE LINE OF CORRIDOR WALLS AND OUTSIDE FACE OF SHEATHING ON EXTERIOR WALLS.



SUITE TYPE D

90.8 m² (977.6 sf)

1 : 50

BCH DESIGN GUIDELINES - 3 BEDROOM

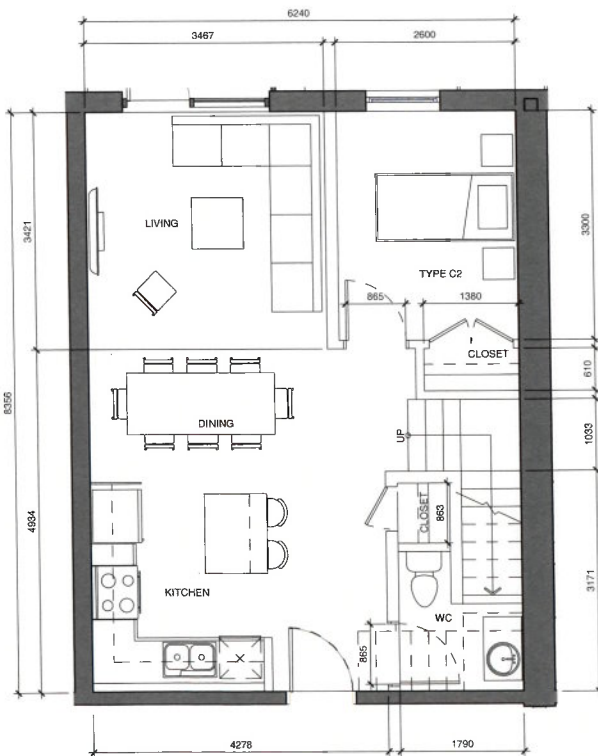
SECTION	DESCRIPTION	BCH	PROVIDED	VALUE/ COMMENTS
5.2	Unit Area	86 m ²	YES	94.4 m ²
5.3.1.1	Suite Entry-Closet Min. Width	915 mm	YES	1230 mm
5.3.2.1	Living Room seating capacity	6 seats	YES	6 seats
5.3.2.2	Circulation spaces Min. Width	920 mm	YES	-
5.3.2.3	Interior Corridor Recor. Width	1015 mm	YES	-
5.3.3.1	Dining Room seating capacity	6 seats	YES	6 seats
5.4.1.3	Door open full	110 degrees	NO	-
5.4.1.4	Access bed - foot and 2 sides	YES	YES	-
5.4.2	Bedroom type 1 A / 1 B / 1 C	YES	YES	-
	Type A: Min Area	11.15 m ²	YES	11.9 m ²
	Type A: Min Dimension	2800 mm	YES	3135 mm
	Type A: Closet width	1500 mm	YES	2185 mm
	Type B: Min Area	9.30 m ²	YES	10.5 m ²
	Type B: Min Dimension	2800 mm	YES	3100 mm
	Type B: Closet width	1500 mm	YES	1890 mm
	Type C: Min Area	8.50 m ²	YES	6.8 m ²
	Type C: Min Dimension	2600 mm	YES	2600 mm
	Type C: Closet width	915 mm	YES	1515 mm
	Provide 2.3 sm of storage	YES	NO	1.4 m ² in suite
5.5.1.1	Provide Linen Closet	YES	YES	-
6.1.3	Counter Frontage Recor. Min. Width	2890 mm	YES	4130 mm
6.2.2.2	Lav. Countertop Min. Width	900 mm	YES	915 mm
6.2.2.3	Towel Bar Min. Width	600 mm	YES	-
6.2.3.1	3 Piece Bathroom	1	YES	YES
	Shower (914x1220mm) or ST tub	1	YES	815 x 1525 mm tub
	Water Closet	1	YES	1
	Lav Basin with Vanity	1	YES	1
6.2.5	Powder Room	1	YES	1
	Water Closet	1	YES	1
	Lav Basin with Vanity	1	YES	1

BCH DESIGN GUIDELINES - 4 BEDROOM

SECTION	DESCRIPTION	BCH	PROVIDED	VALUE/ COMMENTS
5.2	Unit Area	112 m ²	YES	128.2 m ²
5.3.1.1	Suite Entry-Closet Min. Width	915 mm	YES	915 mm
5.3.2.1	Living Room seating capacity	7 seats	YES	7 seats
5.3.2.2	Circulation spaces Min. Width	920 mm	YES	-
5.3.2.3	Interior Corridor Recor. Width	1015 mm	YES	-
5.3.3.1	Dining Room seating capacity	8 seats	YES	8 seats
5.4.1.3	Door open full	110 degrees	NO	-
5.4.1.4	Access bed - foot and 2 sides	YES	YES	-
5.4.2	Bedroom type 1 A / 1 B / 2 C	YES	YES	-
	Type A: Min Area	11.15 m ²	YES	12.31 m ²
	Type A: Min Dimension	2800 mm	YES	3225 mm
	Type A: Closet width	1500 mm	YES	1500 mm
	Type B: Min Area	9.30 m ²	YES	11.66 m ²
	Type B: Min Dimension	2800 mm	YES	3067 mm
	Type B: Closet width	1500 mm	YES	1520 mm
	Type C1: Min Area	8.50 m ²	YES	10.55 m ²
	Type C1: Min Dimension	2600 mm	YES	2800 mm
	Type C1: Closet width	915 mm	YES	1500 mm
	Type C2: Min Area	8.50 m ²	YES	8.55 m ²
	Type C2: Min Dimension	2600 mm	YES	2625 mm
	Type C2: Closet width	915 mm	YES	105 mm
	Provide 2.3 sm of storage	YES	YES	4.8 m ²
5.5.1.1	Provide Linen Closet	YES	YES	-
6.1.3	Counter Frontage Recor. Min. Width	2890 mm	YES	3590 mm
6.2.2.2	Lav. Countertop Min. Width	900 mm	YES	915 mm
6.2.2.3	Towel Bar Min. Width	600 mm	YES	-
6.2.3.1	3 Piece Bathroom	1	YES	1
	Shower (914x1220mm) or ST tub	1	YES	815 x 1525 mm tub
	Water Closet	1	YES	1
	Lav Basin with Vanity	1	YES	1
6.2.5	Powder Room	1	YES	1
	Water Closet	1	YES	1
	Lav Basin with Vanity	1	YES	1



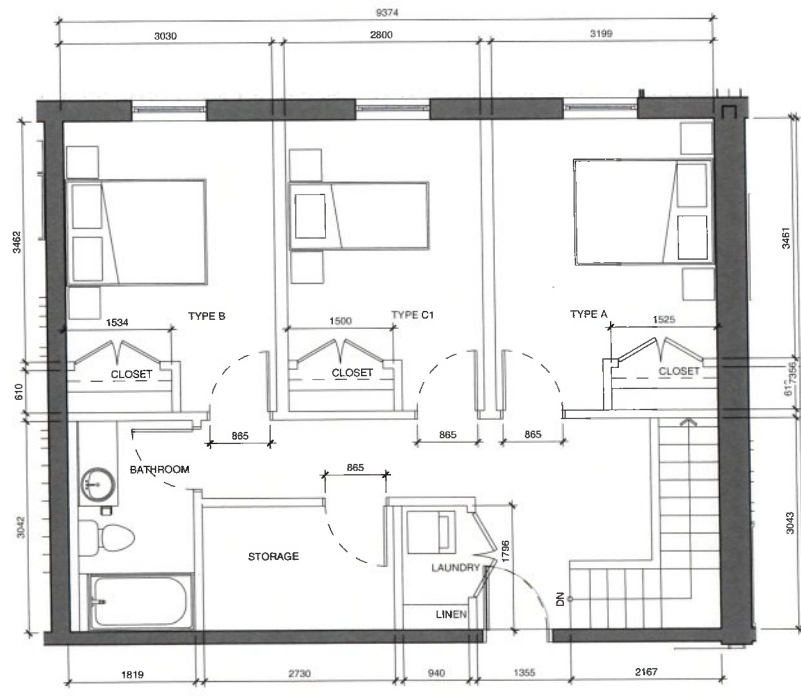
PRELIMINARY - NOT FOR CONSTRUCTION



SUITE TYPE E2 @ L1

128.9 m² (1387sf)

1 : 50



SUITE TYPE E2 @ L2

1 : 50



LOW HAMMOND ROWE ARCHITECTS

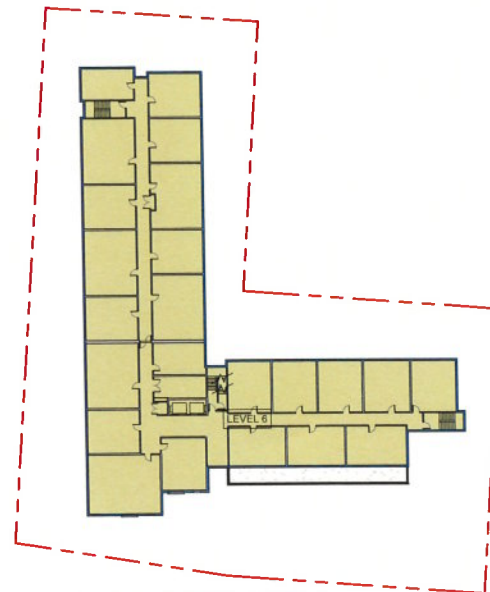


ESQUIMALT RENTAL HOUSING
874 FLEMING STREET, ESQUIMALT, BC

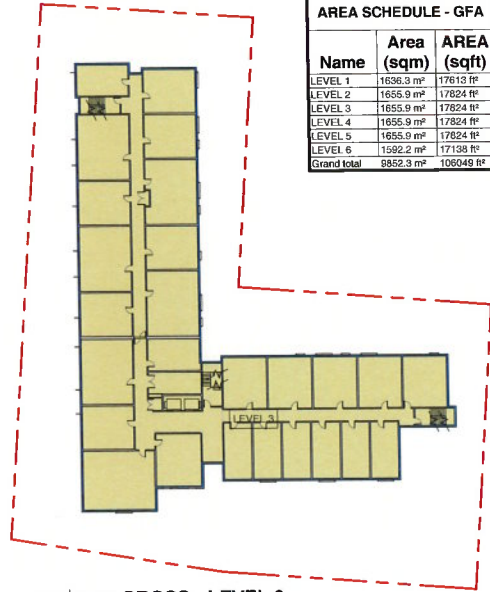
SUITE PLANS
scale As indicated date DEC 8, 2020

D13

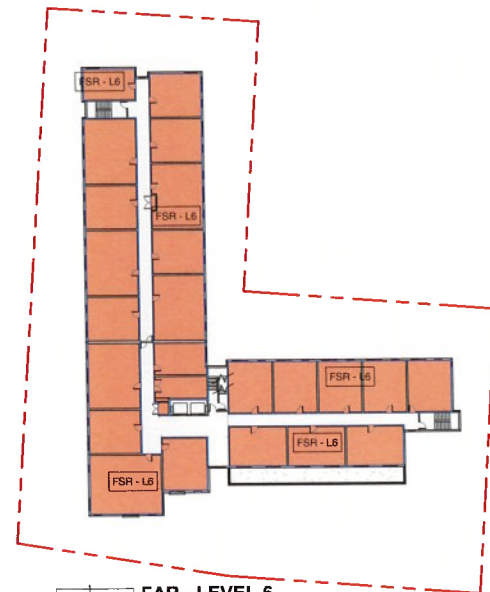
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12 A4.00 D14 1:500 GROSS - LEVEL 6



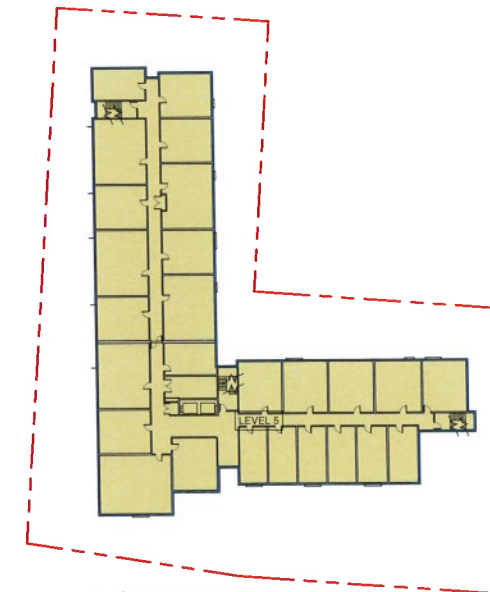
9 A4.00 D14 1:500 GROSS - LEVEL 3



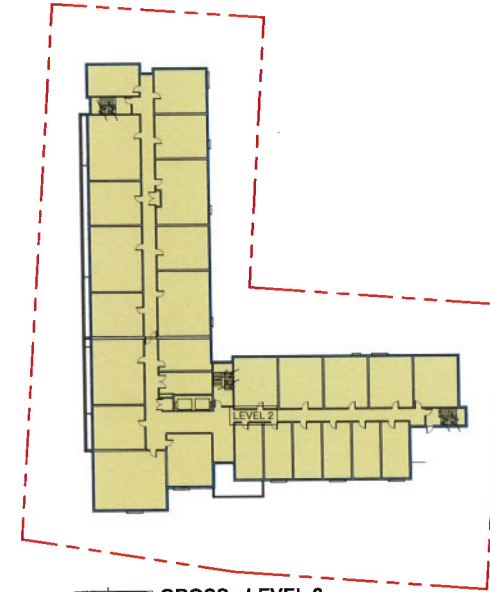
6 A4.00 D14 1:500 FAR - LEVEL 6



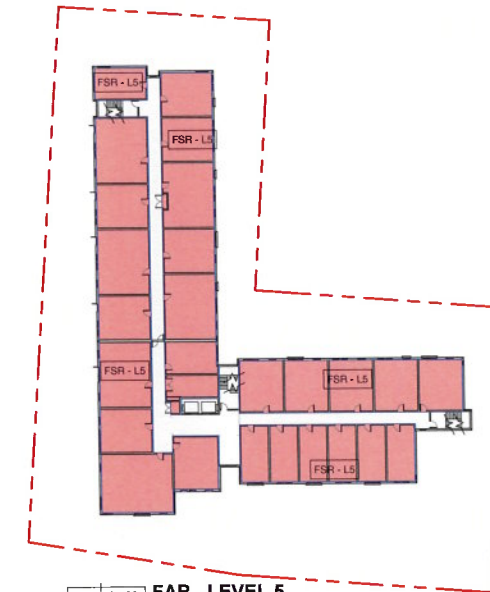
3 A4.00 D14 1:500 FAR - LEVEL 3



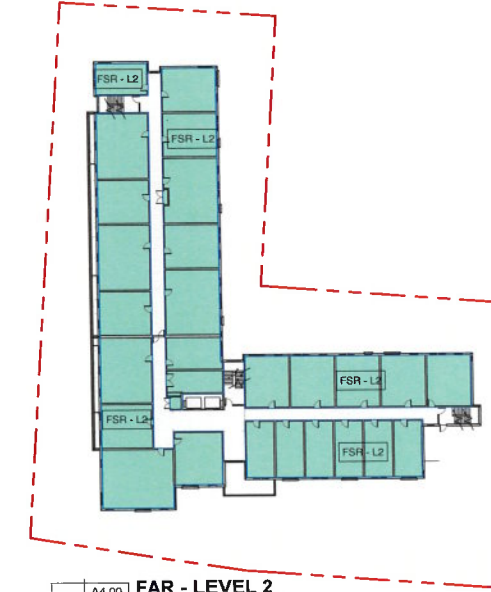
11 A4.00 D14 1:500 GROSS - LEVEL 5



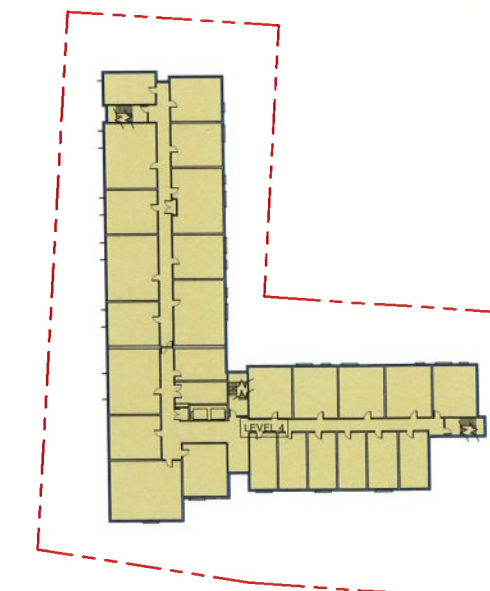
8 A4.00 D14 1:500 GROSS - LEVEL 2



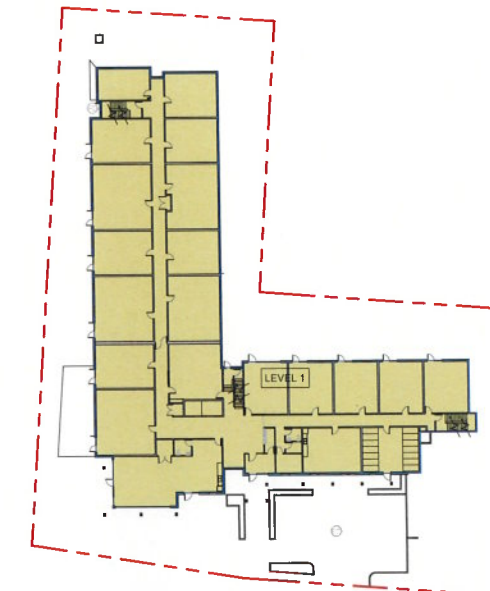
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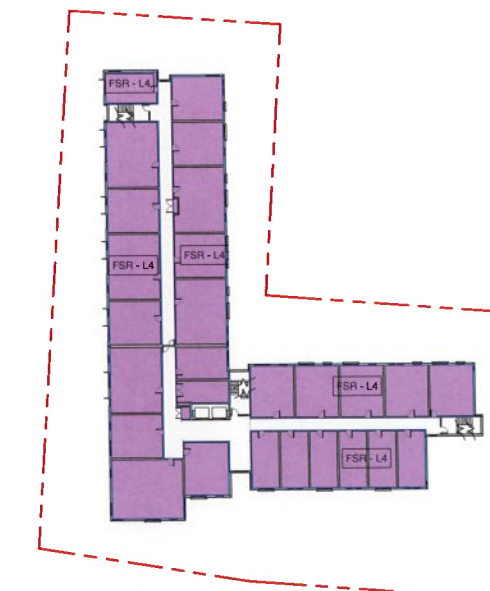
2 A4.00 D14 1:500 FAR - LEVEL 2



10 A4.00 D14 1:500 GROSS - LEVEL 4



7 A4.00 D14 1:500 GROSS - LEVEL 1



4 A4.00 D14 1:500 FAR - LEVEL 4



1 A4.00 D14 1:500 FAR - LEVEL 1

AREA SCHEDULE - GFA		
Name	Area (sqm)	AREA (sqft)
LEVEL 1	1636.3 m²	17613 ft²
LEVEL 2	1655.9 m²	17824 ft²
LEVEL 3	1655.9 m²	17824 ft²
LEVEL 4	1655.9 m²	17824 ft²
LEVEL 5	1655.9 m²	17824 ft²
LEVEL 6	1592.2 m²	17138 ft²
Grand total	9852.3 m²	106049 ft²

NOTE :
FAR IS CALCULATED FROM THE INSIDE FACE OF EXTERIOR WALL AND INCLUDES ALL INTERIOR STORAGE AND SERVICE ROOMS ABOVE GRADE, AND EXCLUDES STAIRS, ELEVATOR SHAFTS, CORRIDORS, LAUNDRY, AMENITY ROOMS AND WATER CLOSETS. EXCLUSIONS ARE MEASURED TO THE INSIDE FACE OF THE BOUNDING WALL.
GROSS AREA IS CALCULATED TO THE EXTERIOR FACE OF SHEATHING.

AREA SCHEDULE - FAR...		
Level	Area (sqm)	AREA (sqft)
LEVEL 1	3.7 m²	40 ft²
LEVEL 1	23 m²	247 ft²
LEVEL 1	34.7 m²	374 ft²
LEVEL 1	195.8 m²	2107 ft²
LEVEL 1	292.9 m²	3153 ft²
LEVEL 1	421.1 m²	4533 ft²
LEVEL 1	971.1 m²	10483 ft²
LEVEL 2	34.7 m²	374 ft²
LEVEL 2	209.5 m²	2255 ft²
LEVEL 2	244.2 m²	2629 ft²
LEVEL 2	380.5 m²	4081 ft²
LEVEL 2	505.5 m²	5441 ft²
LEVEL 2	1354.5 m²	14579 ft²
LEVEL 3	34.7 m²	374 ft²
LEVEL 3	209.5 m²	2255 ft²
LEVEL 3	244.2 m²	2629 ft²
LEVEL 3	380.1 m²	4076 ft²
LEVEL 3	505.5 m²	5441 ft²
LEVEL 3	1354.2 m²	14576 ft²
LEVEL 4	34.7 m²	374 ft²
LEVEL 4	209.5 m²	2255 ft²
LEVEL 4	244.2 m²	2629 ft²
LEVEL 4	380.1 m²	4076 ft²
LEVEL 4	505.5 m²	5441 ft²
LEVEL 4	1354 m²	14574 ft²
LEVEL 5	34.7 m²	374 ft²
LEVEL 5	209.5 m²	2255 ft²
LEVEL 5	244.2 m²	2629 ft²
LEVEL 5	380.1 m²	4076 ft²
LEVEL 5	505.5 m²	5441 ft²
LEVEL 5	1354.1 m²	14575 ft²
LEVEL 6	34.7 m²	374 ft²
LEVEL 6	146.6 m²	1578 ft²
LEVEL 6	244.2 m²	2629 ft²
LEVEL 6	360.5 m²	3880 ft²
LEVEL 6	505.5 m²	5441 ft²
LEVEL 6	1291.5 m²	13901 ft²
Grand total	7679.3 m²	82859 ft²

FAR : 7679.3 m² / 3909 m² = 1.96%

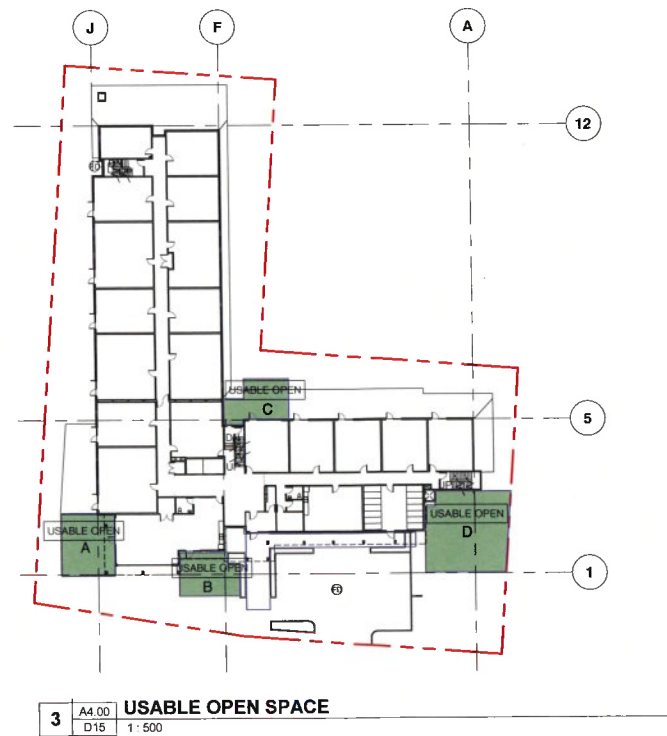
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DEC 18 2020
CORP. OF TOWNSHIP
OF ESQUIMALT
DEVELOPMENT SERVICES



USABLE OPEN SPACE
A. 68.84 m² (741.01 ft²)
B. 51.35 m² (552.73 ft²)
C. 48.63 m² (523.48 ft²)
D. 134.71 m² (1450.02 ft²)

TOTAL USABLE OPEN SPACE : A + B + C + D = 303.53m² (3267.17 ft²) / LOT AREA: 3909 m² (42076 ft²)
= USABLE OPEN SPACE: **7.76%**

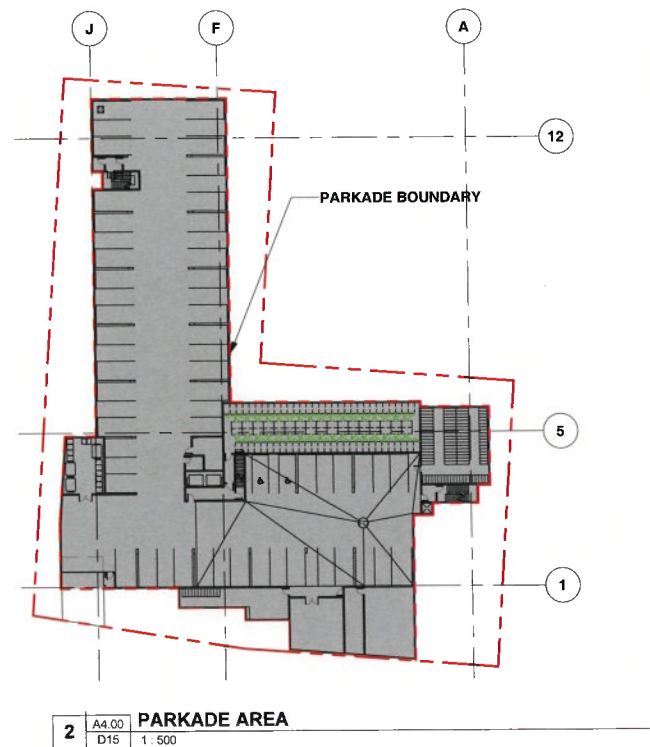
6% MINIMUM AS PER ZONING



AREA OF PARKADE
2568.53 m² (27647.43 ft²)

PARKADE PROJECTION: 2568.53 m² (27647.43 ft²) / LOT AREA: 3909 m² (42076 ft²)
= LOT COVERAGE: **66%**

P1 SITE COVERAGE = 70% MAX = 2736m² MAX



AREA OF BUILDING PROJECTION
1898 m²

BUILDING PROJECTION: 1898m² / LOT AREA: 3909 m² (42076 ft²)
= LOT COVERAGE: **48.55%**

SITE COVERAGE = 50% MAX = 1954.5m² MAX



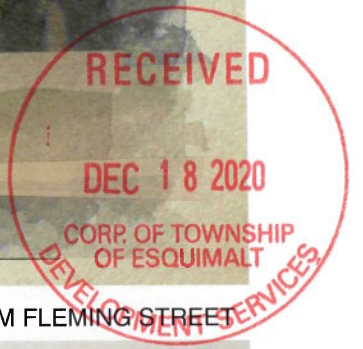
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AERIAL VIEW



VIEW FROM FLEMING STREET



ENTRANCE



FRONT AMENITY PATIO



REAR AMENITY PATIO



WEST AMENITY PATIO & PARKING ENTRY



VIEW FROM PUBLIC PATHWAY @ EAST

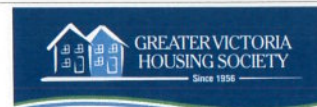


PATHWAY & SIDEYARD @ WEST

PRELIMINARY - NOT FOR CONSTRUCTION



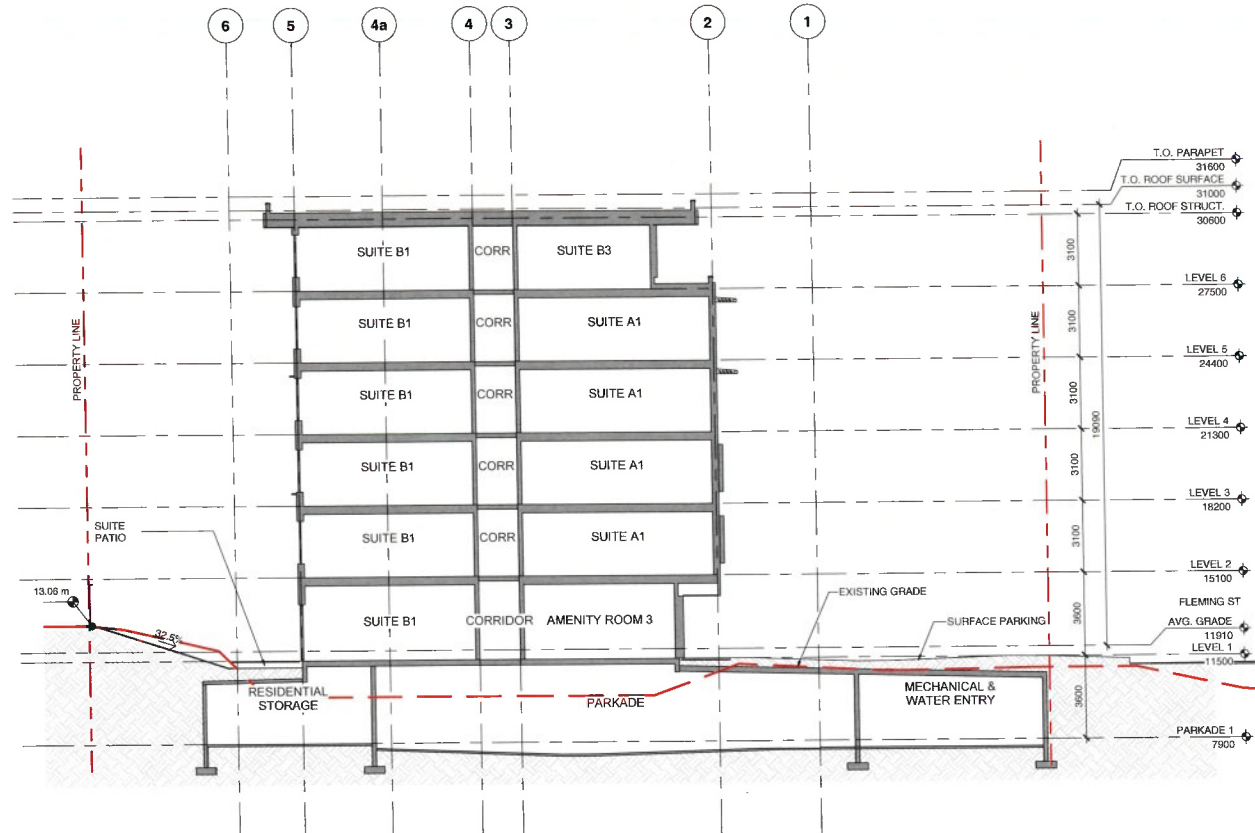
LOW HAMMOND ROWE ARCHITECTS



ESQUIMALT RENTAL HOUSING
874 FLEMING STREET, ESQUIMALT, BC

RENDERINGS
date DEC 8, 2020

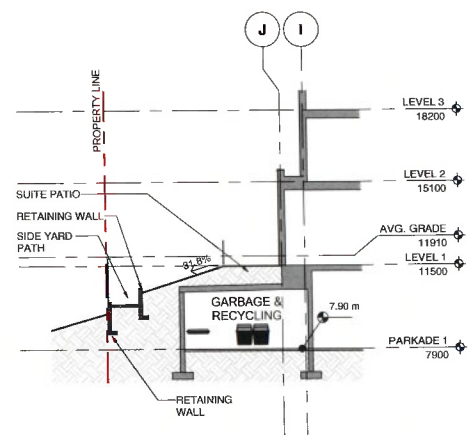
D16



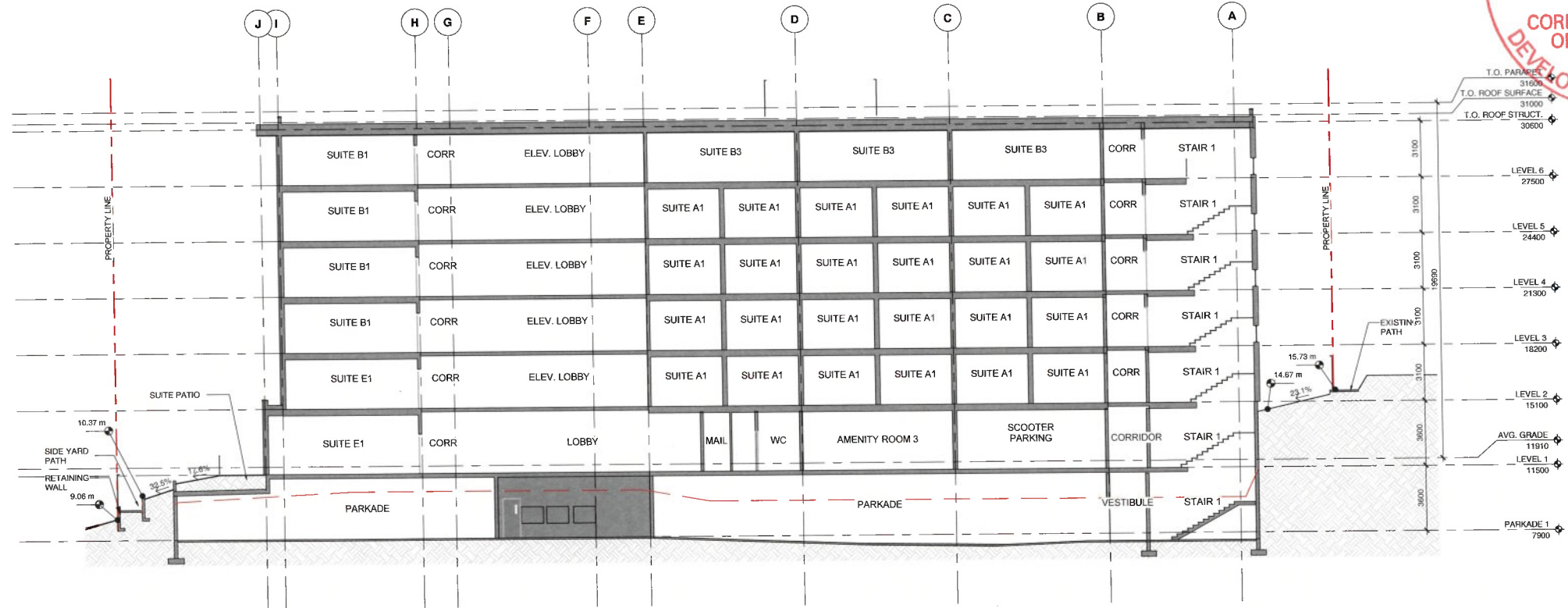
4 D17 NORTH SOUTH SECTION 01.
D17 1:150



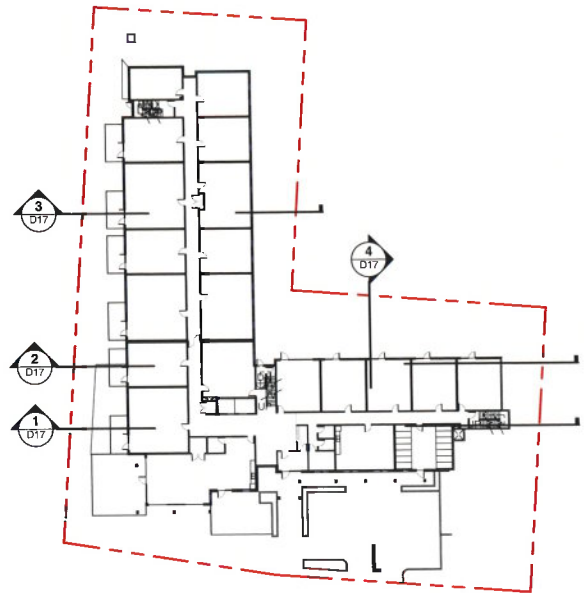
3 D17 EAST WEST SECTION 03.
D17 1:150



2 D17 EAST WEST SECTION 02.
D17 1:150



1 D17 EAST WEST SECTION 01.
D17 1:150



SECTION KEY PLAN

RECEIVED

DEC 18 2020

CORP. OF TOWNSHIP
OF ESQUIMALT

DEVELOPMENT SERVICES



LOW HAMMOND ROWE ARCHITECTS



ESQUIMALT RENTAL HOUSING
874 FLEMING STREET, ESQUIMALT, BC

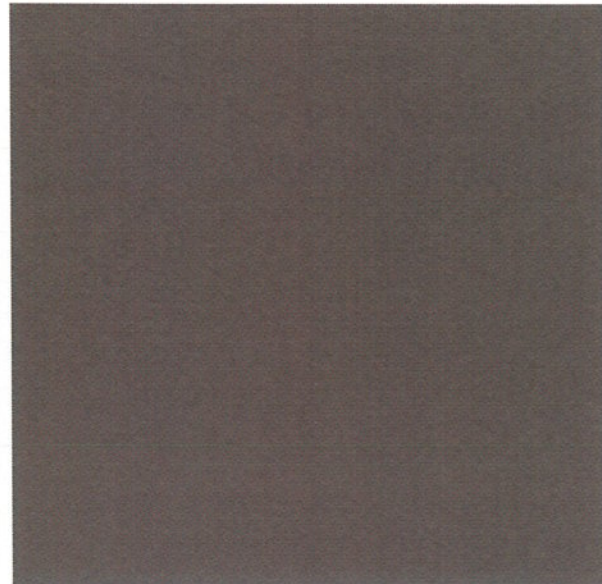
BUILDING SECTIONS
scale As indicated date DEC 8, 2020

D17

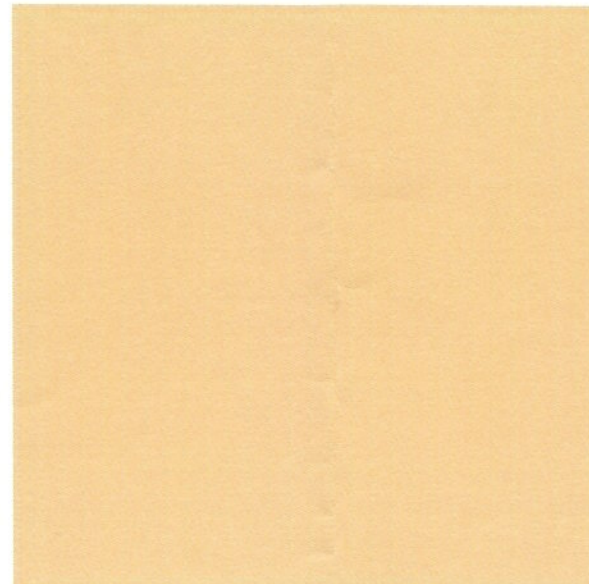




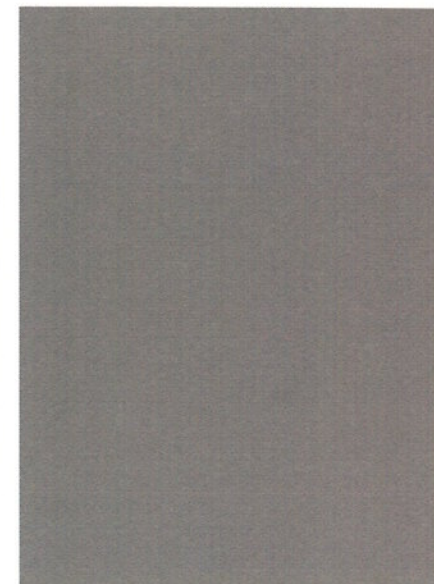
Brick
Pacific Clay - Dark Iron Spot



Hardie Plank 1
Brown Blaze



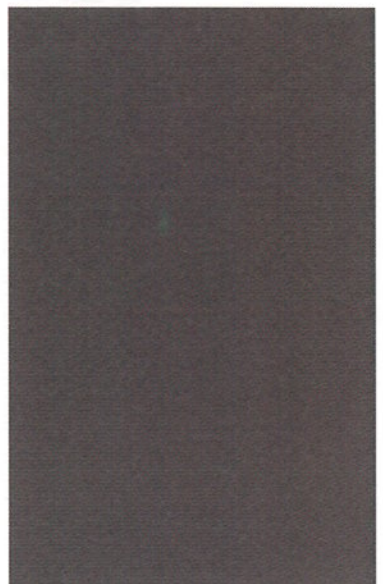
Hardie Plank 2
Maize



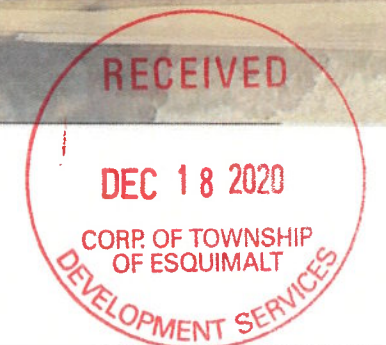
Accent Panels
Weathered Dock



Hardie Panel
Arctic White



Metal soffit





Recommended Nursery Stock

Trees				
ID	Quantity	Botanical Name	Common Name	Size
CeJa	4	Cercidiphyllum japonicum	Katsura Tree	6 cm cal.
MaGa	7	Magnolia Galaxy	Galaxy Magnolia	6 cm cal.
PINi	2	Pinus nigra	Black pine	6 cm cal.
PsMe	7	Pseudotsuga menziesii	Douglas Fir	3 m ht.
Large Shrubs				
ID	Quantity	Botanical Name	Common Name	Size
ChTe	15	Choisya ternata	Mexican Orange Blossom	# 5 pot
CoCo	3	Cotinus coggygria	Smoke Bush	# 7 pot
Medium Shrubs				
ID	Quantity	Botanical Name	Common Name	Size
CoSt	37	Cornus stolonifera	Redtwig Dogwood	# 5 pot
RiSe	27	Ribes sanguineum	Red Flowering Currant	# 5 pot
RoNu	43	Rosa nutkana	Nootka Rose	# 5 pot
RuSp	29	Rubus spectabilis	Salmonberry	# 5 pot
SaRu	144	Sarcococca ruscifolia	Sweet Box	# 5 pot

Small Shrubs

ID	Quantity	Botanical Name	Common Name	Size
GaSh	97	Gaultheria shallon	Salal	# 1 pot
MaNe	64	Mahonia nervosa	Low Oregon Grape	# 1 pot
PIJa	21	Pieris japonica 'Little Heath'	Pieris 'Little Heath'	# 1 pot
SkJa	81	Skimmia japonica	Skimmia	# 1 pot
SpDo	72	Spirea douglasii	Hardhack	# 1 pot

Perennials, Annuals and Ferns

ID	Quantity	Botanical Name	Common Name	Size
AsYo	86	Astilbe younique white	Dwarf Astilbe	# 1 pot
EcPu	84	Echinacea purpurea	Purple Coneflower	# 1 pot
MiSi	32	Miscanthus sinensis	Japanese Silver Grass	# 1 pot
PeAl	40	Pennisetum alopecuroides	Fountain Grass	# 1 pot
PoMu	111	Polystichum munitum	Sword Fern	# 1 pot
RuFu	71	Rudbeckia fulgida 'Goldsturm'	Goldsturm Black Eyed Susan	# 1 pot

Notes:

1. All work to be completed to current BCSLA Landscape Standards
2. All soft landscape to be irrigated with an automatic irrigation system

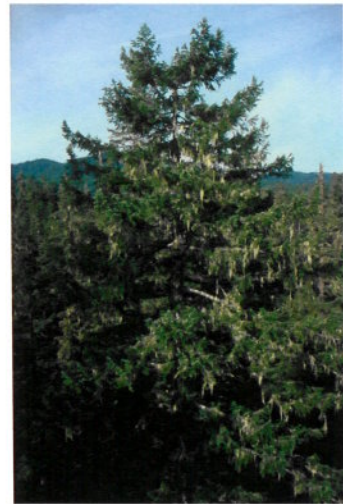
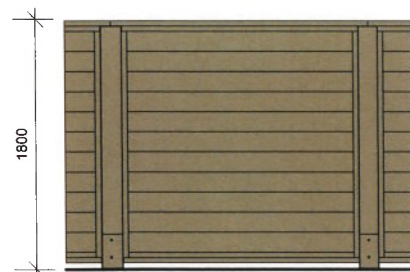


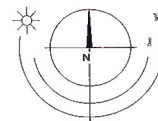
Image 1. Evergreen screen with Douglas fir



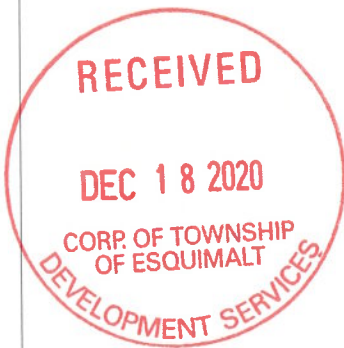
Image 2. Galaxy Magnolia Tree



1800mm ht. Wood Privacy Fence 1:25



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E.	Dec 8, '20	DP Submission
D.	Nov 12, '20	BCH DD Submission
C.	Nov 1, '19	BCH SD Review
B.	Sep 6, '19	Revised for DP
A.	Aug 19, '19	Rezoning Submission

REVISIONS



#3-864 Queens Ave. Victoria B.C. V8T 1M5
Phone: (250) 588-0105 Fax: (250) 412-0696

PROJECT

874 Fleming St.
Esquimalt, B.C.

TITLE

Landscape Concept
Plan

SCALE

1:150

DRAWN

O.L.

CHECKED

B.W.

PROJECT No.

1907

DATE

Sept 6, 2019

1

of 1

SHEET

BC LAND SURVEYORS SITE PLAN OF:

Civic: 874 Fleming Street

Legal: Lot B, Section 10, Esquimalt District, Plan 25267

Scale - 1 : 400 Distances are in metres.



The intended print size is 11" by 17".

LEGEND

Elevations are to geodetic datum.

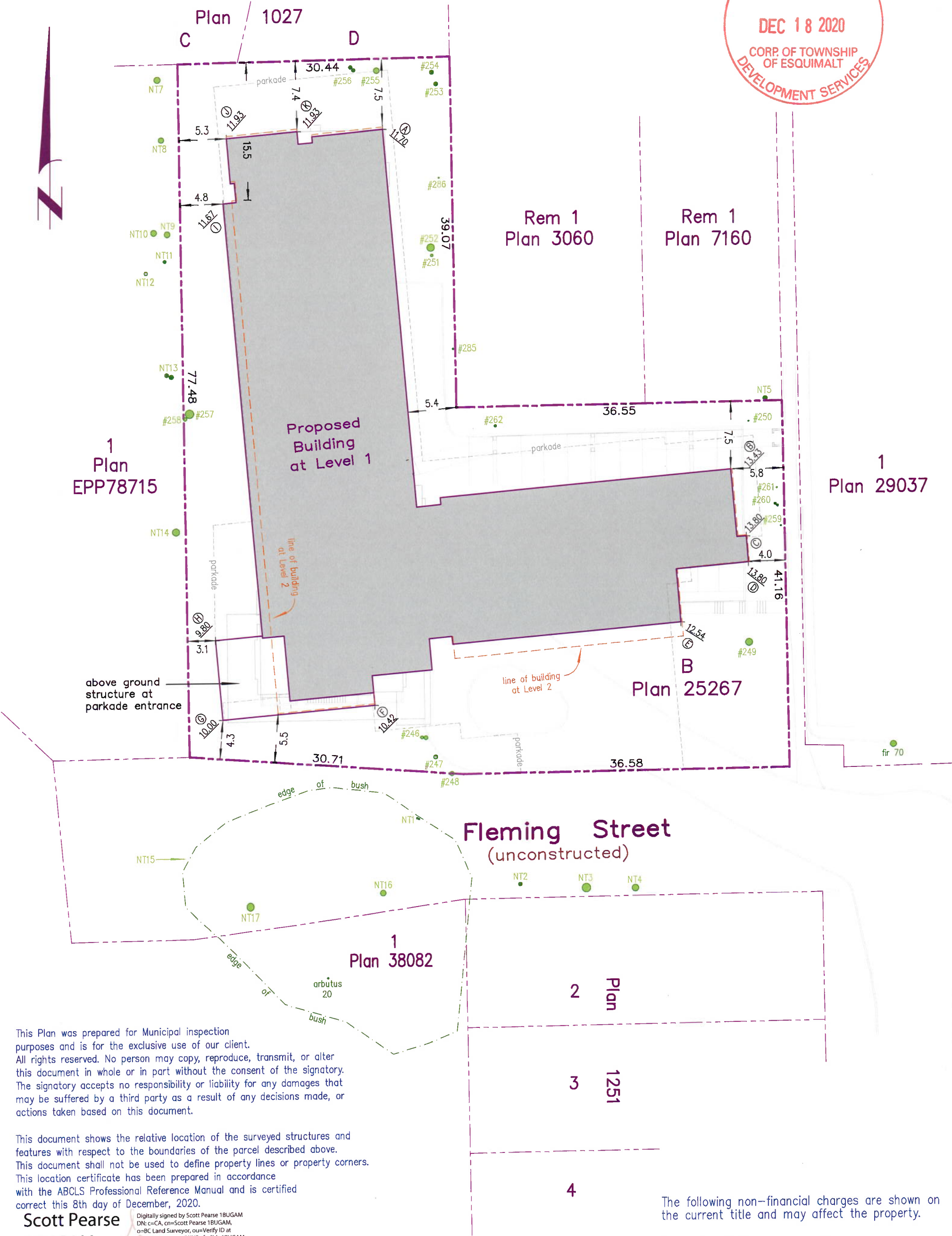
+ - denotes - existing elevation

#000 - denotes tree & tag number

For full tree details refer to Construction Impact Assessment & Tree Preservation Plan provided by Talbot Mackenzie & Associates dated June 26, 2019

Drawing	2826 BCLS Site04
File	12,826 - 23
POWELL & ASSOCIATES	
B C Land Surveyors	
250-2950 Douglas Street	
Victoria, BC V8T 4N4	
phone (250) 382-8855	

Lot Area = 3909m2



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This document shows the relative location of the surveyed structures and features with respect to the boundaries of the parcel described above. This document shall not be used to define property lines or property corners. This location certificate has been prepared in accordance with the ABCLS Professional Reference Manual and is certified correct this 8th day of December, 2020.

Scott Pearse
1BUGAM

Scott T. Pearse, B.C.L.S. ©

This document is not valid unless digitally signed and sealed.

The following non-financial charges are shown on the current title and may affect the property.

- M76301 - Undersurface Rights
- 106260G - Undersurface Rights
- A64775 - Restrictive Covenant