

CORPORATION OF THE TOWNSHIP OF ESQUIMALT

DEVELOPMENT PERMIT

NO. DP000149

Owner: Artemis Hartt
Nadia Hartt

Lands: PID 031-193-285
Lot A Section 2 Esquimalt District Plan EPP95842

Address: 1160 Craigflower Road, Esquimalt, BC

Conditions:

1. This Development Permit is issued subject to compliance with all of the bylaws of the Municipality applicable thereto, except as specifically varied or supplemented by this permit, for the purpose of:
 - the protection of the natural environment, as governed by Development Permit Area No. 1: Natural Environment;
 - authorizing the form and character of the proposed development, as governed by Development Permit Area No. 3: Enhanced Design Control Residential;
 - energy conservation and greenhouse gas reduction, as governed by Development Permit Area No. 7: Energy Conservation & Greenhouse Gas Reduction; and
 - water conservation, as governed by Development Permit Area No. 8: Water Conservation.
2. Approval of this Development Permit is issued in accordance with the architectural plan and landscape plan by Zebra Design, both stamped "Received October 9, 2020", attached hereto as Schedule 'A'.
3. This Development Permit is issued in accordance with the landscaping estimate provided by David Hunt, Zenith Developments, stamped "Received November 24, 2020", attached hereto as Schedule 'B'. Security, in an amount representing 120% of the estimate (120% of \$8225.00 = \$9870.00) must be deposited with the Township of Esquimalt before this permit can be issued.
4. The lands shall be developed in accordance with the terms, conditions and provisions of this Permit.

5. The terms, conditions and covenants contained herein shall enure to the benefit of and be binding upon the Owners, their executors, heirs or administrators, successors and assigns as the case may be or their successors to title in the lands.
6. This Development Permit is not a Building Permit.
7. This Permit lapses two (2) years after the date it is issued if the holder of the Permit does not substantially start any construction with respect to which the Permit was issued.
8. For the purposes of this Development Permit, the holder of the Permit shall be the owner(s) of the lands.

APPROVED BY MUNICIPAL COUNCIL RESOLUTION ON THE ____
DAY OF _____, 2021.

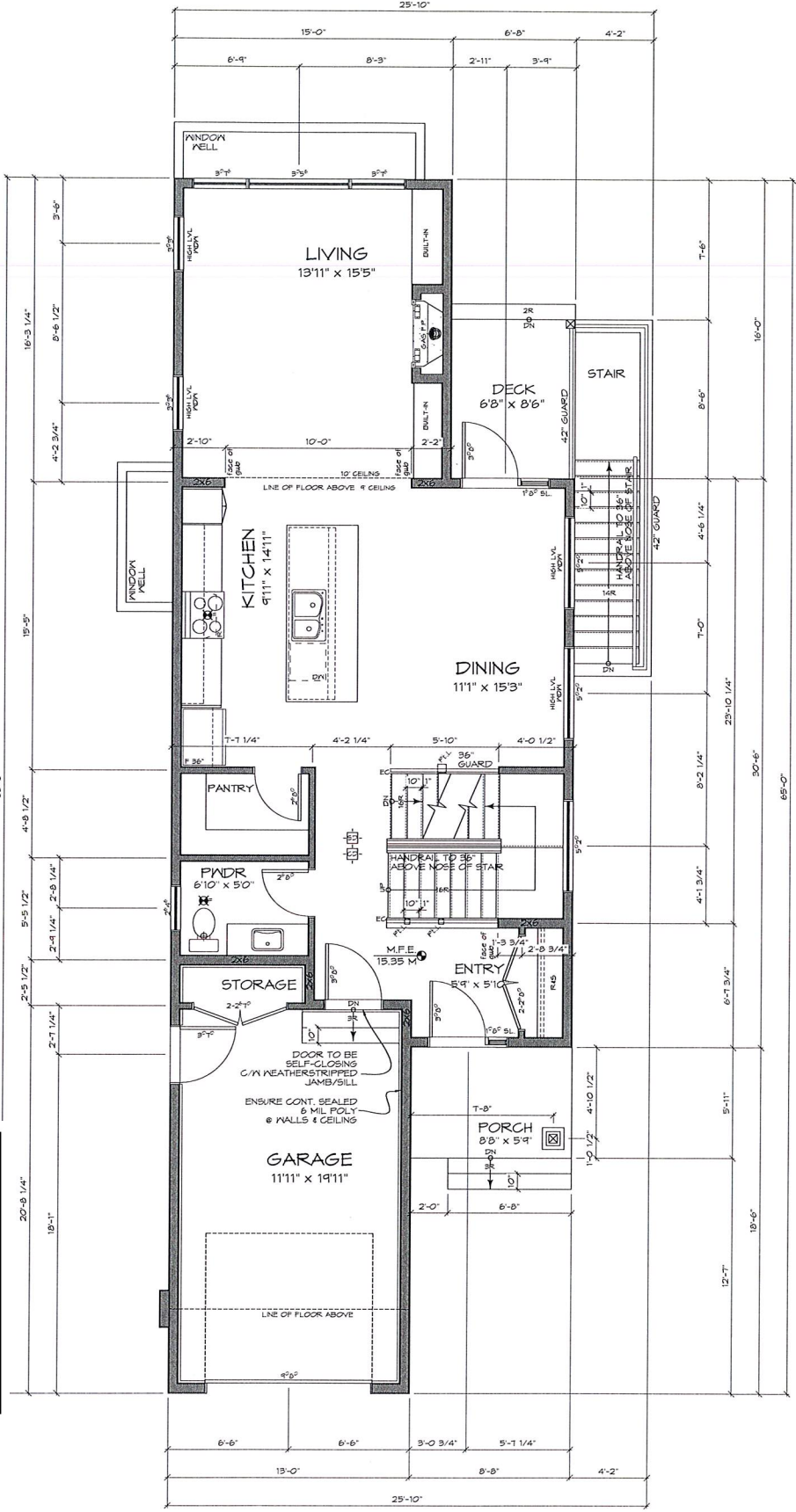
ISSUED BY THE DIRECTOR OF DEVELOPMENT SERVICES THIS ____
DAY OF _____, 2021.

Director of Development Services

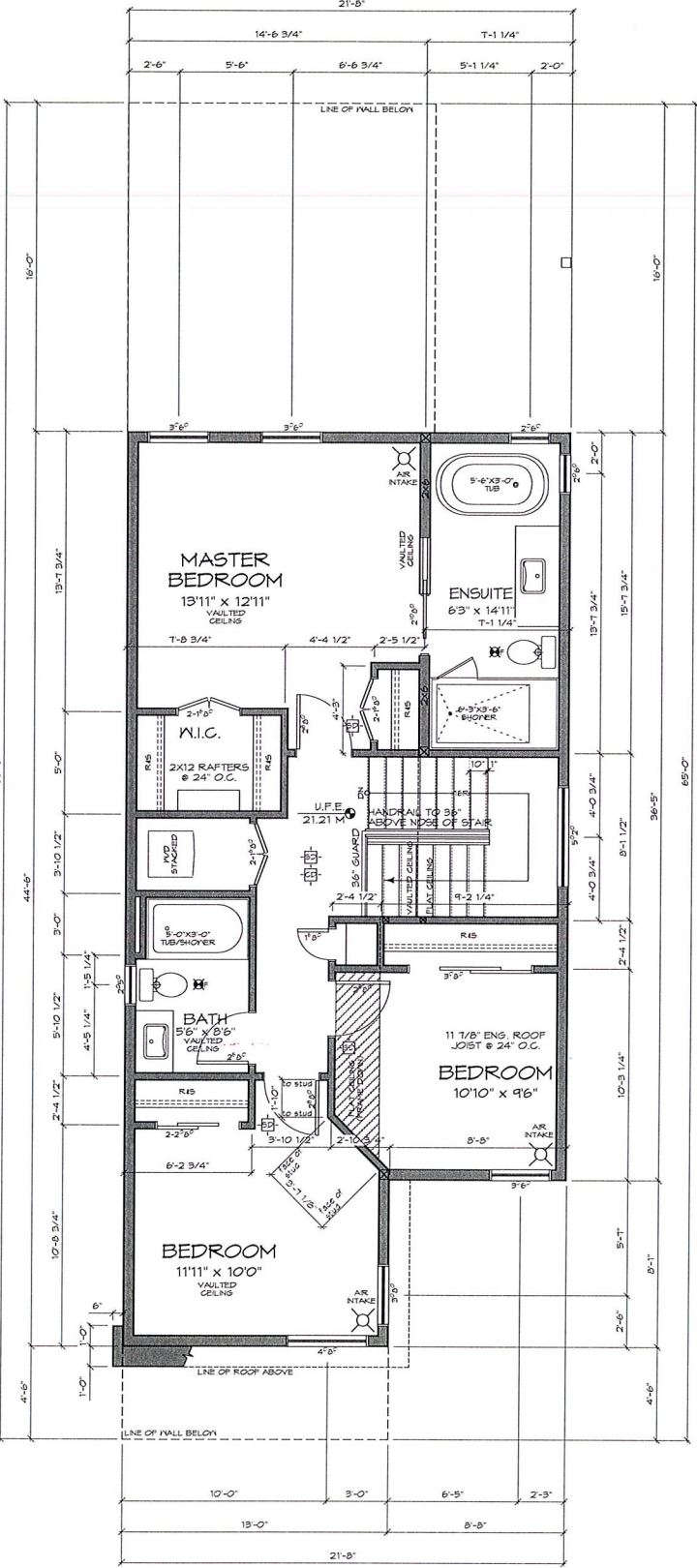
Corporate Officer
Corporation of the Township
of Esquimalt

THIS IS SCHEDULE 'A' OF
DEVELOPMENT PERMIT
NO. DP000149

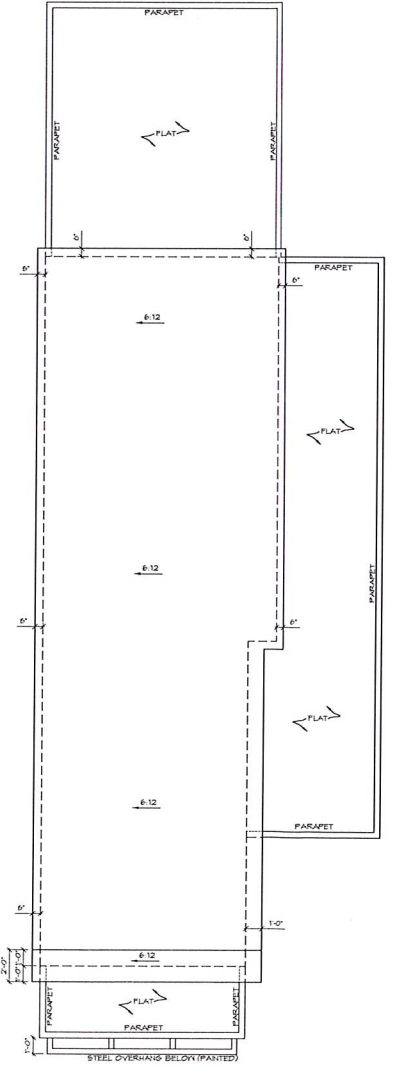
CORPORATE OFFICER



1 Main Floor Plan
DP3 Scale 1/4" = 1'-0"



2 Second Floor Plan
DP3 Scale 1/4" = 1'-0"



3 Roof Plan
DP3 Scale 3/16" = 1'-0"



WALL TYPE LEGEND	
M1	
M2	
M3	
M4	
M5	
M6	
M7	
M8	
SYMBOL LEGEND	
	SMOKE DETECTOR/ALARM
	CO DETECTOR/ALARM
	INTERCONNECTED ON ALL FLOORS
	CENTRE-LINE
	FAN
	POINT LOAD ABOVE
	COLUMN
	ENGINEERED CONNECTION
	FLOOR DRAIN
	AIR-INTAKE VENT
	FIRE RATED WALL

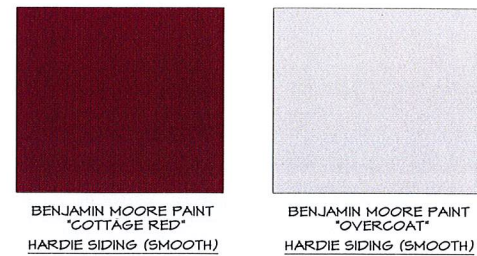
Issued for DP
October 7, 2020

ZEBRADESIGN

1161 NEWPORT AVE
Victoria, B.C. V8S 5E6
Phone: (250) 360-2144
Fax: (250) 360-2115

Drawn By: L. HORVAT
Date: DEC. 5, 2017
Scale: AS NOTED
Project:
SFD @ LOT A 1158
CRAIGFLOWER
ROAD
Title:
FLOOR PLANS
LOT A

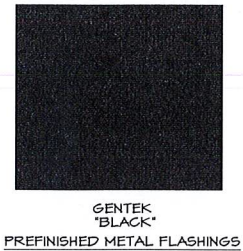
Revision: Sheet:
DP3
Proj.No. -



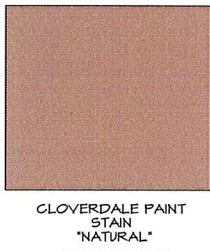
BENJAMIN MOORE PAINT
"COTTAGE RED"
HARDIE SIDING (SMOOTH)



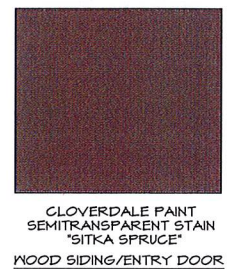
BENJAMIN MOORE PAINT
"OVERCOAT"
HARDIE SIDING (SMOOTH)



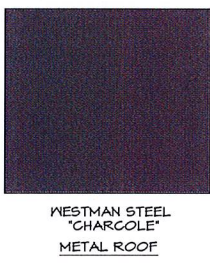
GENTEK
"BLACK"
PREFINISHED METAL FLASHINGS



CLOVERDALE PAINT
STAIN
"NATURAL"
WOOD ARBOUR



CLOVERDALE PAINT
SEMITRANSSPARENT STAIN
"SITKA SPRUCE"
WOOD SIDING/ENTRY DOOR



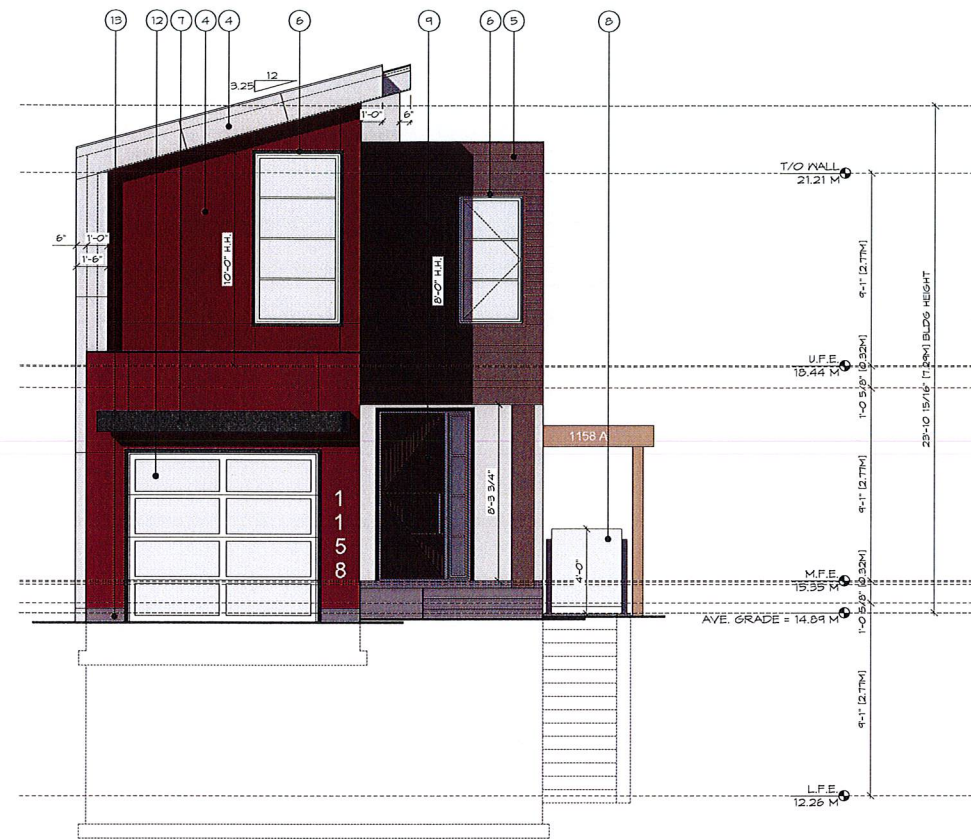
WESTMAN STEEL
"CHARCOLE"
METAL ROOF



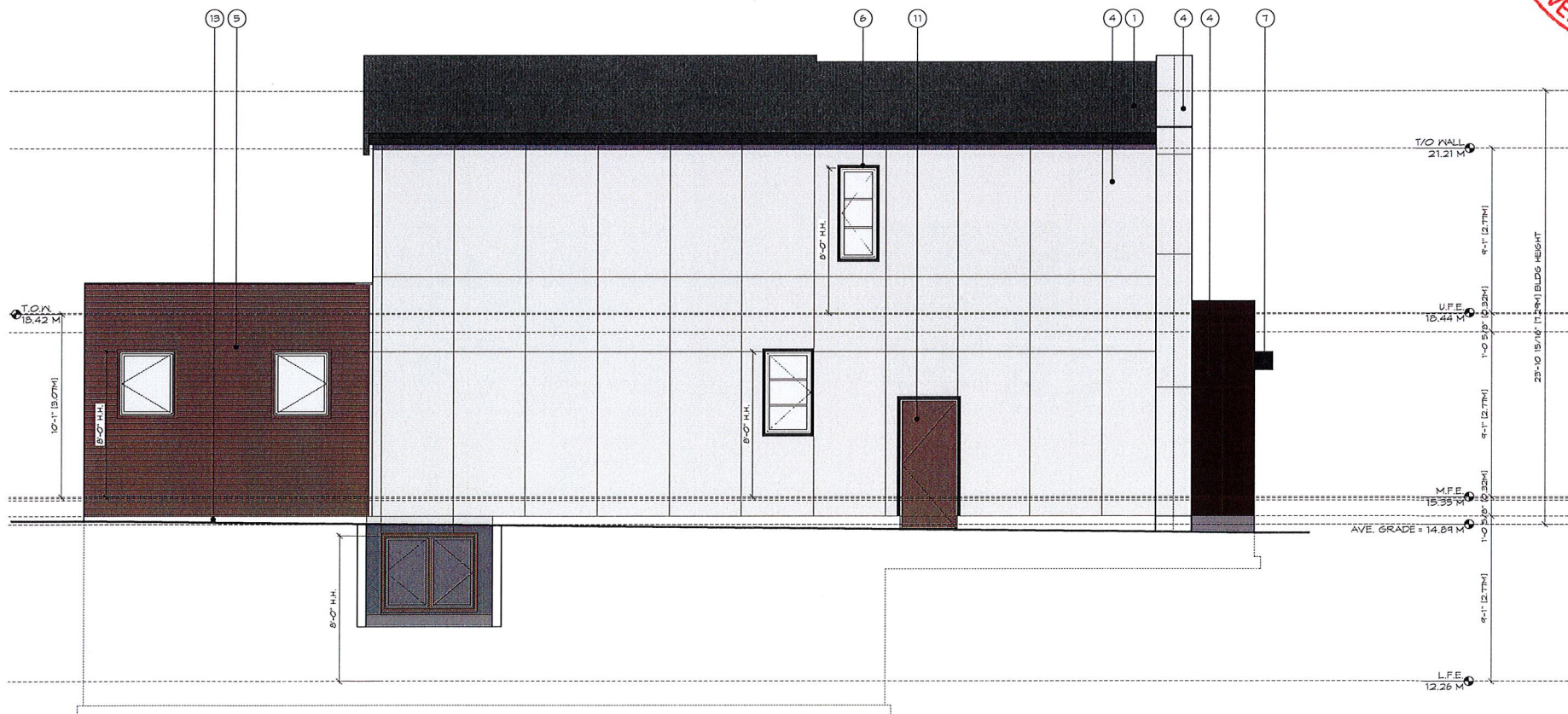
CLOVERDALE PAINT
"SILVER"
WINDOWS/GARAGE DOOR

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CORPORATE OFFICER



1 Front Elevation
DP4 Scale 1/4" = 1'-0"



2 Side Elevation (west)
DP4 Scale 1/4" = 1'-0"

FINISH SCHEDULE KEY	
1	FIBERGLASS SHINGLES
2	STANDING SEAM METAL ROOF-COLOUR AS SELECTED BY DESIGNER
3	PREFINISHED METAL GUTTER ON 2X8 FASCIA (PAINTED)
4	CEMENT BOARD PANEL C/W REVEALS (PAINTED) (COLOUR AS SELECTED BY DESIGNER)
5	HORIZONTAL WOOD (FIR) SIDING. T&G, 4" EXPOSURE (STAINED)
6	2" WINDOW/DOOR TRIM-FLASH OVER ALL WINDOWS/DOORS (TYP.). 2" CANTED SILL C/W CONT. DRIP EDGE. (PAINTED)
7	STEEL OVERHANG (PAINTED)
8	METAL/GLASS GUARD RAIL/GATE (HT. AS PER CODE)
9	WOOD DOOR WITH SIDELIGHT
10	WOOD DOOR WITH GLAZING AND SIDELIGHT
11	METAL INSULATED DOOR - PAINTED
12	METAL/GLASS GARAGE DOOR - PREFINISHED
13	EXPOSED FOUNDATION (MIN. 6" ABOVE GRADE)
14	2X10 FASCIA (PAINTED)

NOTES:
WINDOW OPERATION (I.E. DIRECTION OF SWING) SHALL BE PER OWNER'S DIRECTION AND CONFORM TO B.C.B.C. 2018 REQUIREMENTS FOR EGRESS.
FLASH OVER ALL MATERIAL TRANSITIONS, DOOR & WINDOW HEADS
NO COMBED-FACE TRIM
ALL COLOURS BY DESIGNER/OWNER



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October 7, 2020

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Drawn By: L. HORVAT

Date: DEC. 5, 2017

Scale: AS NOTED

Project:
SFD @ LOT A 1158
CRAIGFLOWER
ROAD

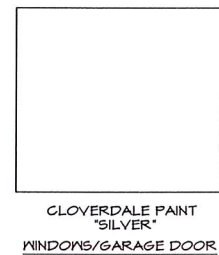
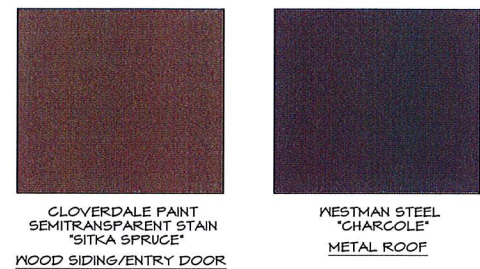
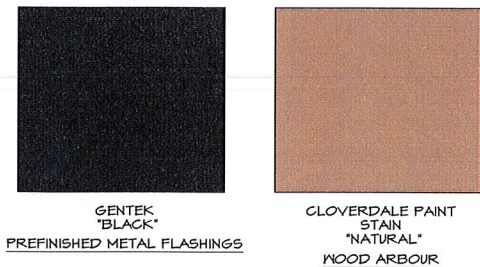
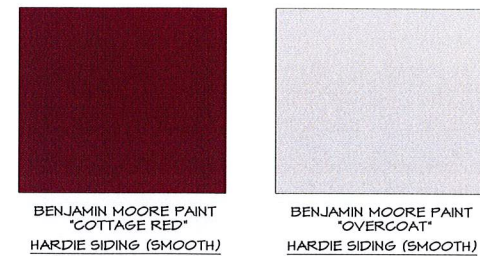
Title:
ELEVATIONS
LOT A

Revision: Sheet:

DP4

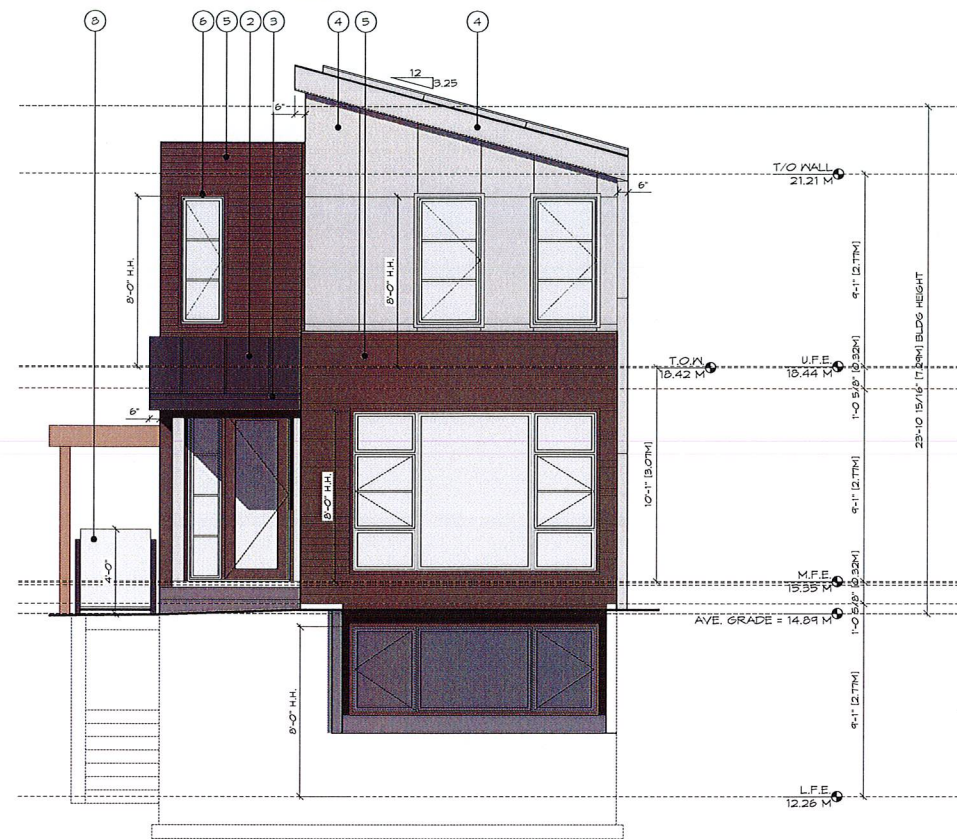
Proj.No. -

MAXIMUM GLAZING CALCULATION - SIDE ELEVATION (north)	
DISTANCE TO PROPERTY LINE	1.50 M (4.92')
EXPOSED BUILDING FACE AREA	111.72 M2 (1202.60 SF)
GLAZING AREA	2.94 M2 (31.63 SF)
PERCENTAGE	2.63% (ALLOWED 7.00%)



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1 Rear Elevation
Scale 1/4" = 1'-0"

FINISH SCHEDULE KEY

- 1 FIBERGLASS SHINGLES
- 2 STANDING SEAM METAL ROOF-COLOUR AS SELECTED BY DESIGNER
- 3 PREFINISHED METAL GUTTER ON 2X8 FASCIA (PAINTED)
- 4 CEMENT BOARD PANEL C/W REVEALS (PAINTED) (COLOUR AS SELECTED BY DESIGNER)
- 5 HORIZONTAL WOOD (FIR) SIDING, T&G, 4" EXPOSURE (STAINED)
- 6 2" WINDOW/DOOR TRIM-FLASH OVER ALL WINDOWS/DOORS (TYP.). 2" CANTED SILL C/W CONT. DRIP EDGE. (PAINTED)
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- 8 METAL/GLASS GUARD RAIL/GATE (HT. AS PER CODE)
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- 10 WOOD DOOR WITH GLAZING AND SIDELIGHT
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- 12 METAL/GLASS GARAGE DOOR - PREFINISHED
- 13 EXPOSED FOUNDATION (MIN. 8" ABOVE GRADE)
- 14 2X10 FASCIA (PAINTED)

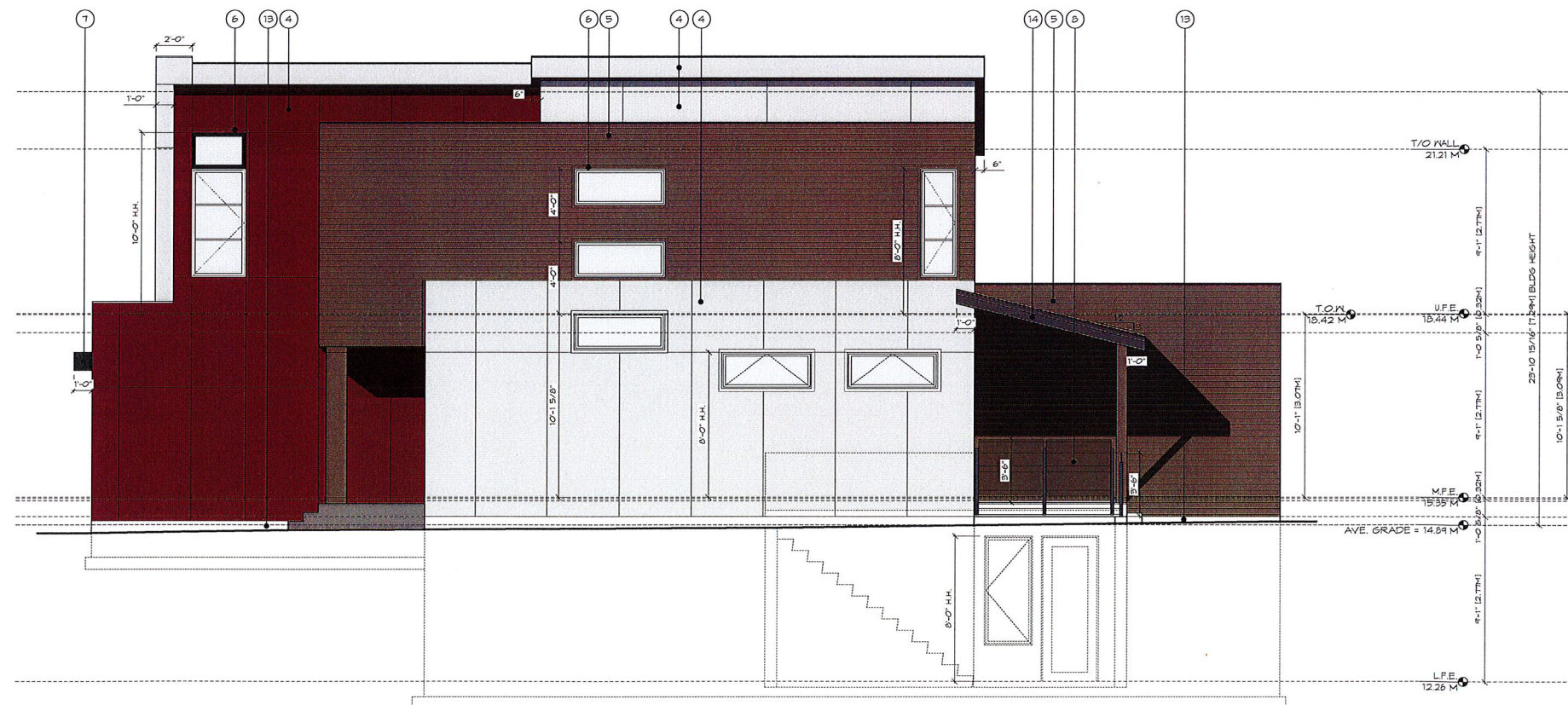
NOTES:

WINDOW OPERATION (I.E. DIRECTION OF SWING) SHALL BE PER OWNER'S DIRECTION AND CONFORM TO B.C.B.C. 2018 REQUIREMENTS FOR EGRESS.

FLASH OVER ALL MATERIAL TRANSITIONS, DOOR & WINDOW HEADS

NO COMBED-FACE TRIM

ALL COLOURS BY DESIGNER/OWNER



2 Side Elevation (east)
Scale 1/4" = 1'-0"

MAXIMUM GLAZING CALCULATION - SIDE ELEVATION (south)	
DISTANCE TO PROPERTY LINE	1.80 M (5.90')
EXPOSED BUILDING FACE AREA	68.59 M ² (738.38 SF)
GLAZING AREA	4.19 M ² (45.12 SF)
PERCENTAGE	6.10% (ALLOWED 9.20%)

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CRAIGFLOWER
ROAD

Title:
ELEVATIONS
LOT A

Revision: Sheet:

DP5

Proj.No. -

- CONTRACTOR TO VERIFY ALL DIMENSIONS AND DETAILS PRIOR TO COMMENCEMENT OF WORK AND SHALL NOTIFY DESIGNER OF ANY ERRORS OR DISCREPANCIES.
2. NOTED DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DRAWINGS.
3. EXTERIOR DIMENSIONING IS TO FACE OF CONCRETE/ SHEATHING. INTERIOR DIMENSIONING IS TO CENTRE-LINE OF PARTITION.
4. WHERE NOTED BY 'ENG.' OR 'ENGINEERED', ALL STRUCTURE SHALL BE ENGINEERED OR REENGINEERED. THIS INCLUDES THE FOLLOWING, BUT NOT LIMITED TO: SPANS, SHEAR WALLS, FOOTINGS AND FOUNDATION WALLS, BEAMS, JOISTS, LINTELS, COLUMNS AND CONNECTIONS. THIS APPLIES ALSO TO ITEMS NOTED AS 'ENGINEERED'. ENGINEERED DRAWINGS SHALL BE STAMPED WITH ENGINEER'S SEAL.
5. ALL WORK SHALL BE EQUAL IN ALL RESPECTS TO GOOD CONSTRUCTION PRACTICE, AND SHALL CONFORM TO CURRENT BUILDING CODES AND STANDARDS. THE 2018 COLUMBIA BUILDING CODE 2018 OR LOCAL BUILDING CODES AND BY-LAWS WHICH MAY TAKE PRECEDENCE.
6. IT IS THE RESPONSIBILITY OF THE OWNER/ CONTRACTOR TO HAVE SITE SOIL CONDITIONS INSPECTED AND ADVISE DESIGNER OF ANY SOIL CONDITIONS WHICH MAY REQUIRE SPECIAL FOUNDATION DESIGN. ALL FOOTINGS TO FIRM BEARING
7. PROVIDE ATTIC AND CRAWL SPACES WITH VENTILATION AND ACCESS IN ACCORDANCE WITH B.C.B.C., 2018 PART 9.
8. ALL ROOF FRAMING TO BE SPRUCE-PINE-FIR, UNLESS NOTED OTHERWISE OR ENGINEERED. ALL FRAMING IS TO BE IN ACCORDANCE WITH B.C.B.C., 2018 AND GOOD CONSTRUCTION PRACTICE.
9. PROVIDE MINIMUM OF 8' (2400mm) CLEARANCE FROM GRADE TO ROOF CLADDING MATERIALS. EXTERIOR FOUNDATION WALLS SHALL NOT BE LESS THAN 6' (1800mm) ABOVE ADJACENT GRADE.
10. ALL ROOF LINTELS TO CONFORM TO B.C.B.C., 2018 PART 9 WHERE SUPPORTING FLOOR OR ROOF LOADS.
11. INSTALL INTERCONNECTED SMOKE ALARMS IN ACCORDANCE WITH B.C.B.C., 2018 PART 9.10.19 - INSTALL INTERCONNECTED CO ALARMS IN ACCORDANCE WITH B.C.B.C., 2018 19.24.2.
12. ALL ROOF IN CONTACT WITH CONCRETE INCLUDING BILL FLATES MUST BE PRESURE TREATED OR SEPARATED WITH SILL GASKET OR OTHER APPROVED MATERIAL.
13. ALL NOTED 'ENGINEERED' COMPONENTS, SUCH AS ROOF TRUSSES, BEAMS, AND ENGINEERED FLOOR SYSTEMS, REQUIRE ENGINEERED DRAWING SUBMITTAL AND MUST BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S DETAILS AND SPECIFICATIONS.
14. SUPPLY AND INSTALL ALL WINDOW TYPES, INTERIOR CASINGS, AND MILLWORK TO OWNERS' APPROVAL. WINDOWS MUST MEET NEW CRITERION FOR AIRTIGHTNESS, WATER TIGHTNESS, RESISTANCE TO WIND LOAD AND GLASS-IN SECURITY. ALL WINDOWS TO COMPLY WITH MUNICIPAL REQUIREMENTS FOR U-F-VALUES. RATINGS FOR WINDOWS WITHIN 2 METRES OF GRADE. THE RELEVANT STANDARD REQUIRES THAT THE RATINGS BE CLEARLY LABELLED ON ALL WINDOW UNITS OR WINDOWS ARE TO BE ENGINEERED OR REENGINEERED. ALL LETTERS OF ASSURANCE, WINDOWS AND DOORS MUST COMPLY WITH MUNICIPAL REQUIREMENTS FOR U-VALUE.
15. INSTALL GRASPABLE HANDRAIL TO ALL INTERIOR STAIRS AT 34' (865mm) MIN. to 38' (965mm) MAX. ABOVE NOSING.
16. INSTALL GUARDRAIL TO ALL BALCONIES, DECKS, AND PORCHES GREATER THAN 2' (600mm) ABOVE ADJACENT GRADE OR LEVEL. INSTALL GUARDRAIL AT 42' (1010mm) WHERE DECK IS GREATER THAN 6' (1800mm) ABOVE ADJACENT SURFACE, OTHERWISE 36' (910mm) GUARDRAIL. GUARDRAILS TO BE ANCHORED INTO CANTILEVERED GLASS GUARDRAILS SHALL BE ANCHORED INTO GLAZING SHOE TO RESIST LATERAL LOADS PER B.C.B.C., 2018. OTHER GLAZED RAILINGS ASSEMBLIES (GLAZING AND SUPPORTS) TO BE ENGINEERED IN SEALED DOWELS, AND LETTERS OF ASSURANCE.
17. INSTALL WATERPROOF MEMBRANE ON BUILDING PAPER ON WATER-RESISTANT BOARD OR GYPSUM BOARD. FRAMING AS SUBSTRATE AROUND ALL WALL & CEILING AREAS OF STEAM/ SHOWER. INSTALL WATER-RESISTANT WALLBOARD AROUND ALL NET AREAS TO MIN 6'-0" (1.82m) HIGH.
18. PROVIDE HEATING, MECHANICAL VENTILATION, AND AIR CONDITIONING WHERE REQUIRED IN ACCORDANCE WITH CURRENT LOCAL BUILDING CODES AND BY-LAWS. MECHANICAL CONTRACTOR TO PROVIDE MECHANICAL CHECKLIST COMPLETE WITH FAN & DUCT SIZES PRIOR TO FINAL FRAMING INSPECTION.
19. PROVIDE ELECTRICAL ENGINEERING BY APPROVED AND QUALIFIED CONTRACTOR TO RECEPTS AND AFFLIANCE LOCATIONS TO BE APPROVED BY OWNER.
20. ANY ALTERNATIVE STRUCTURAL ENGINEERING TO BE APPROVED AND VERIFIED BY CERTIFIED STRUCTURAL ENGINEER. SUBMIT ENGINEERED DRAWINGS TO DESIGNER.
21. FIRE PROTECTION AND LIFE SAFETY PROVISIONS TO CONFORM TO THE REQUIREMENTS OF THE B.C.B.C., 2018 PART 9.

22. VERIFY EXISTING AND PROPOSED GRADES PRIOR TO SETTING OUT AND CUT, FILL, & COMPACT ACCORDING TO BUILDING ELEVATIONS.
23. ALL INTERIOR FINISHES, CASINGS, KINODON TYPES, AND MILLWORK TO OWNER'S APPROVAL
24. STAIR TREADS TO BE CONSTRUCTED OF PLYWOOD OR OTHER ENGINEERED PRODUCT, FASTENED WITH SCREWS AND SUB-FLOOR ADHESIVE.
25. ALL FLOOR SHEATHING MUST BE SECURED WITH 1 5/8" (40mm) GALVANIZED OR COATED FLOOR SCREWS ON 6" O.C. (150mm)
26. SOLID EAVE PROTECTION ON OVERHANG IS REQUIRED ON ALL SHAKE ROOFS.
27. TEMPORARY HEAT AND/OR FANS REQUIRED PRIOR TO DRYWALL INSTALLATION TO ASSIST IN THE DRYING OF INTERIOR FRAMEWORK.
28. MOISTURE CONTENT OF THE INTERIOR FRAME MUST NOT EXCEED 19% PRIOR TO APPLICATION OF VAPOR BARRIER AND DRYWALL.
29. TWO CONTINUOUS LAYERS OF 30MIN. BUILDING PAPER MUST BE APPLIED TO EXTERIOR SHEATHING EITHER SHUFFLED - OR INTERLAPPED WITH 2" (50mm) OVERLAP SEAMS HALFWALL TO THE 2ND MID-LINE OF THE BUILDING PAPER.
30. POSITIVE FLOOR FLASHINGS MUST BE INSTALLED ABOVE ALL KINODONS, DOORS, SILLS, VENTS, AND MATERIAL TRANSITIONS. ALL FLASHINGS MUST BE INSTALLED BEHIND BUILDING PAPER. KINODON MANUFACTURER SEALED END DAMS, ALL FLASHINGS MUST EXTEND A MINIMUM OF 1" (25mm) BEYOND BOUNDARY OF THE OPENING TO WHICH THEY ARE APPLIED.
31. BUILDING PAPER & FELT PEEL-STRIPPING, ONLY, TO CONTACT EXTERIOR SHEATHING. SELF-ADHERING MEMBRANES ARE NOT TO CONTACT ROOF SURFACES.
32. ALL RAINSCREEN CAVITIES TO BE VENTED TOP & BOTTOM WITH INSECT PROOF VENT STRIPS.
33. PROVIDE STEPPED FOOTINGS WHERE REQUIRED IN ACCORDANCE WITH EXISTING OR FUTURE GRADES. ALL FOOTINGS MUST REST ON SOLID UNDISTURBED BEARING AT AN ELEVATION BELOW FROST PENETRATION DEPTH ON COMPETENT BEARING.
34. 20 Mpa CONCRETE FOUNDATION WALL 8" (200mm) THICK MAY BE A MAXIMUM OF 4' (1.2 m) HIGH FROM GRADE TO 1/5 FLOOR. IF LaterALLY UNSUPPORTED AT THE TOP, REFER TO B.C.B.C. 2019, 4.4 - ALL OTHER CONCRETE WALLS TO BE ENGINEERED.
35. PLUMBING PERMIT REQUIRED FOR INSTALLATION OF PLUMBING SYSTEM AND DRAINAGE SYSTEM FOR BUILDING. ENSURE ALL FIXTURES CONFORM TO CURRENT APPROPRIATE CSA STANDARDS.
36. ALL DOOR AND WINDOW SIZES ARE APPROXIMATE AND MUST BE VERIFIED BY THE BUILDER/OWNER PRIOR TO ORDERING.
37. WHERE ALLOWED BY MUNICIPAL AUTHORITY HAVING JURISDICTION, APPROVED HOUSE WRAP (SUCH AS TYVEC® OR TYPAR®) MAY BE USED, IF APPLIED AS SPECIFIED BY THE MANUFACTURER.

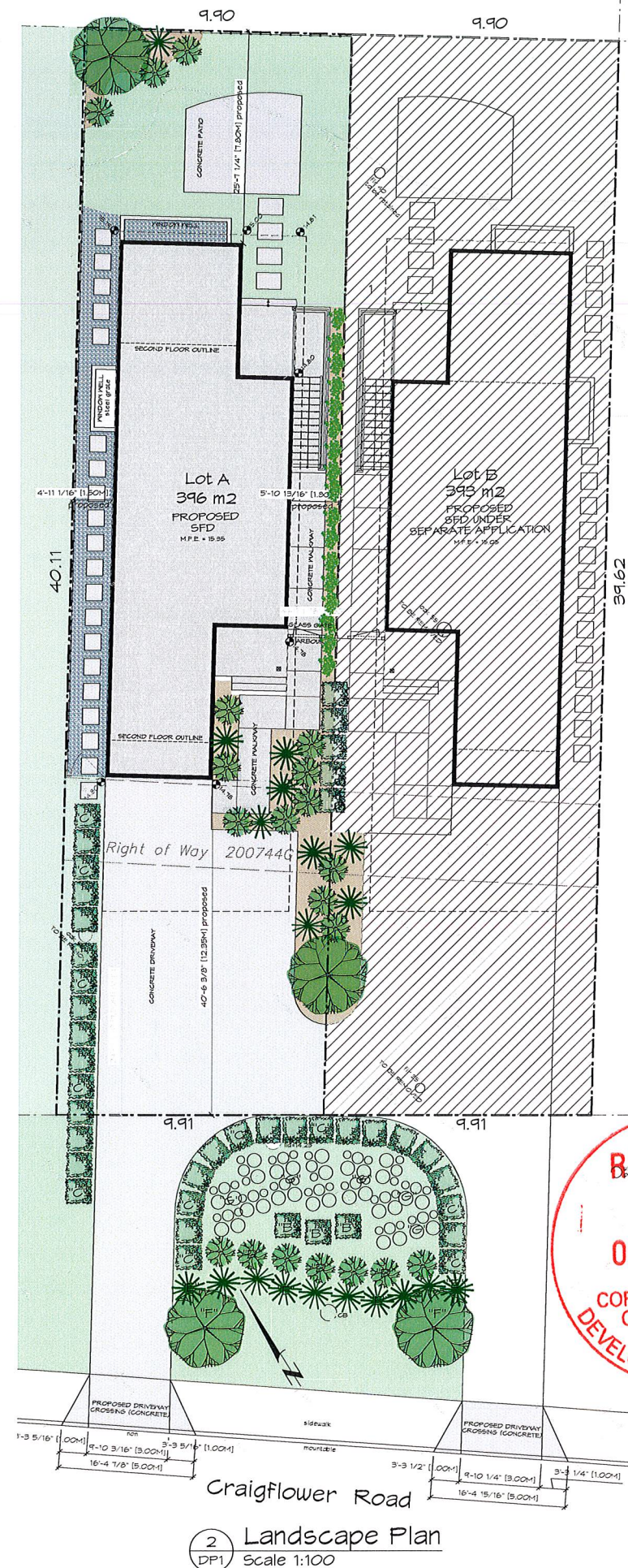
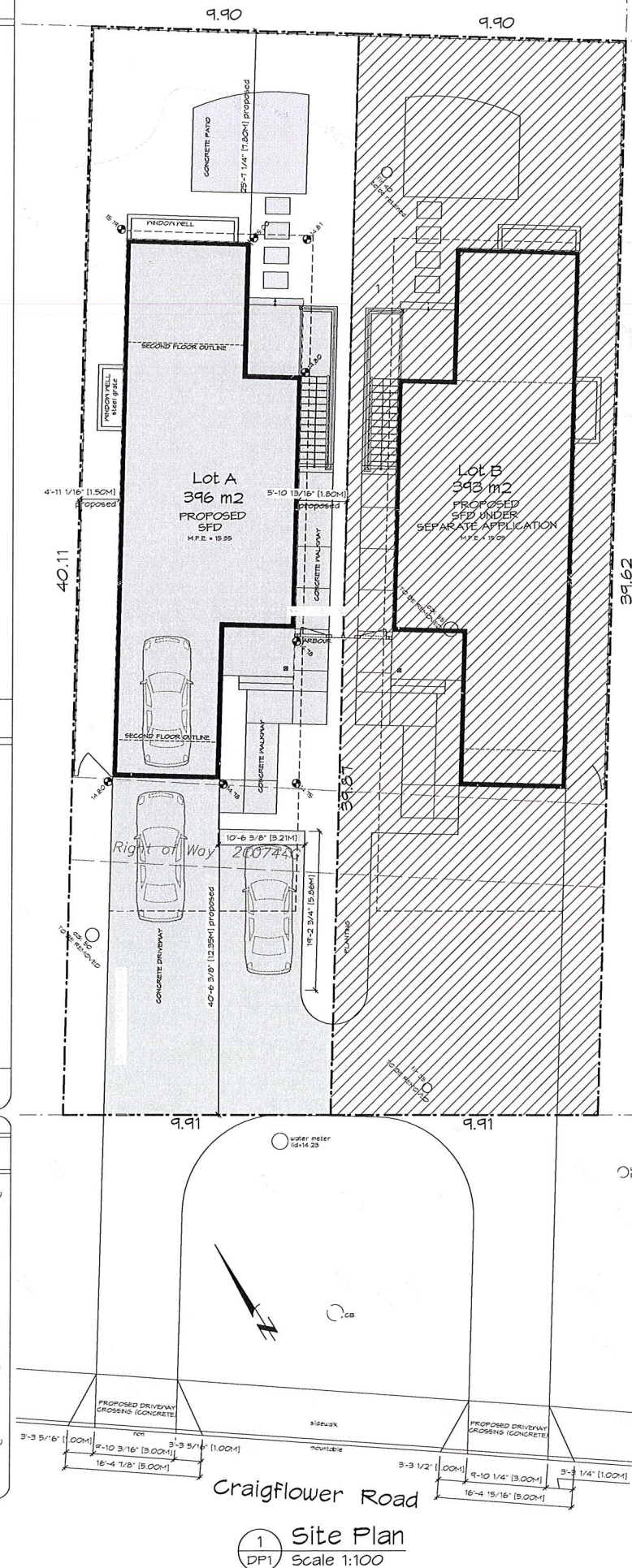
A/A ATTIC ACCESS - MIN 24"X36"
AFF ABOVE FINISHED FLOOR
B.F.E. BASEMENT FLOOR ELEVATION
BU BUILT-UP
CONT CONTINUOUS
DP DROPPED BEAM
EC ENGINEERED CONNECTION
REQUIRES STRUCTURAL ENGINEER
ENG. ENGINEERED
REQUIRES STRUCTURAL ENGINEERING
BY P. ENG C/M SEALED DRAININGS
FL FLOOR BEAM
H.H. HEAD HEIGHT
M.F.E. MAIN FLOOR ELEVATION
O.C. ON CENTRE
PRE-FIN PREFINISHED
P.L. POINT LOAD ABOVE
R4S ROD 4 SHELF
SPF SPRUCE/PINE/FIR #2
T4S TONGUE 4 GROOVE
T.O.S. TOP OF SLAB
U.F.E UPPER FLOOR ELEVATION
U.N.O. UNLESS NOTED OTHERWISE
V.O.S. VERIFY ON SITE

DESIGNER/DRAFTSMAN DOES NOT ASSUME LIABILITY
FOR ERRORS OR OMISSIONS ON THESE PLANS UNLESS
ADVISED IN WRITING BEFORE PROCEEDING WITH
CONSTRUCTION

DP1 SITE PLAN, LANDSCAPE PLAN & GENERAL NOTES
DP2 PLANS
DP3 PLANS
DP4 ELEVATIONS
DP5 ELEVATIONS

CORPORATE OFFICER

SITE DATA - PROPOSED LOT A @1155 CRAIGFLOWER ROAD		
LEGAL DESCRIPTION - LOT 1, SECTION 2, ESQUIMALT DISTRICT, PLAN 5166		
ZONING - CDD no. 119		
PROPOSED SFD	REQUIRED	PROPOSED
LOT AREA	950 M ²	956.04 M ² (4262.91 FT ²)
LOT WIDTH	45.0 M	47.5 M (32.647')
BETTERFACES		
FRONT	7.50 M	12.35 M (40.532')
REAR	7.50 M	7.01 M ² (25.62 FT ²)
SIDE (WEST)	1.50 M	1.50 M (4.92')
SIDE (EAST)	1.00 M	1.00 M (5.81')
SIDE COMBINED	3.30 M	3.30 M (10.83')
AVERAGE GRADE		14.04 M (46.05')
BUILDING HEIGHT	1.30 M	7.25 M (23.78')
FLOOR AREA		
UPPER FLOOR	76.51 M ²	64.11 M ² (691.21 FT ²)
HALL FLOOR	78.63 M ²	78.63 M ² (106.02 FT ²)
ATTACHED GARAGE	24.41 M ²	24.41 M ² (263.42 FT ²)
GARAGE ALLOWANCE	-24.41 M ²	-24.41 M ² (263.42 FT ²)
BASEMENT	67.42 M ²	67.42 M ² (725.11 FT ²)
BASEMENT EXEMPTION	CEILING LESS THAN 1.2M ABOVE GRADE	-67.42 M ² (-725.11 FT ²)
TOTAL FLOOR AREAS		
HALL AND UPPER FLOORS	148.54 M ²	142.81 M ² (1937.25 FT ²)
ALL FLOORS COMBINED	216.96 M ²	210.23 M ² (2263.00 FT ²)
FLOOR AREA RATIO	0.36	0.36
SITE COVERAGE	30.00%	29.31%
PARKING	2	2



TREES AND SHRUBS

EXISTING TREE NEW TREE NEW SHRUB GROUNDCOVER PLANTS

GROUND COVER

MULCH LAWN GRAVEL

HARD LANDSCAPING

PERMEABLE PAVERS BROOM FINISHED CONCRETE CONCRETE PAVERS

EXISTING SIDEWALK PAVING

FENCE

FOOD DISTANCE & HIGH

EGRESS

PRIMARY EGRESS SECONDARY EGRESS

NOTES:

- LANDSCAPS INDICATED IS CONCEPTUAL ONLY AND REQUIRES INSTALLATION BY A QUALIFIED CONTRACTOR.
- CONTRACTOR TO IDENTIFY UTILITIES PROVIDED THROUGH UNDERGROUND TUNNELS AND AVOID CONTACT WITH EXISTATIONS.
- ALL LANDSCAPING SHALL BE PERFORMED TO BSCL&A BEST PRACTICES STANDARDS.
- ALL EXISTING TREES TO REMAIN, UNLESS NOTED OTHERWISE.
- WOOD FENCE TO BE MAX HEIGHT OF:
1.20M (4'-0") BETWEEN FRONT PROPERTY LINE AND FRONT OF BUILDING
1.50M (5'-0") BETWEEN FRONT OF BUILDING AND REAR PROPERTY LINE

SUGGESTED PLANTING LIST

TREES	BOTANICAL NAME	COMMON NAME	SIZE
	CORNUS VENIS	FLOWERING DOGWOOD	2.5H FT. BB
	CAMELIA JAPONICA SPECIES	EVERGREEN CAMELIA	3 CM HT. BB
	PAEONIA OFFICIALIS CULTIVAR	GOLK TREE	2.5H FT. BB
"T"	QUERCUS GARRIANA	QURRY OAK	3 CM HT. BB
	PADUS SYLVATICA DAVENCI	RED OBLISK	5 CM CALIFER
SHRUBS	BOTANICAL NAME	COMMON NAME	SIZE
	AMELITUS INEBO COMPACTA	STRANBERY TREE	#1
	BETERNIS THUNDERGILL ATROPURPUREA	BARKBERRY	#1
	BUXUS HOOGENTPULLA	DWARF BOXWOOD	#1
	CAMELIA JAPONICA	RED CAMELIA	#1
	COTYLS LADANIFERA	CRIMSON ROSE	#1
	CNEANTHOUS GLORIOSUS INCARCARE	PROSTRATE MOUNTAIN LILAC	#1
	ERICA CARNEA SPENSPODOW	WHITE HEATHER	#1
	ERICA X DANIELISS PURITY	PINK HEATH	#1
	ERCALLIONA NEPPORT DWARF	DWARF ESCALLONIA	#1
	HEBE "PATIYS PUBLIC"	HEBE	#1
	LAVANDULA ANGUSTIFOLIA HEDGE	HEDGE LAVENDER	#1
	RIBES SANGUINEUM KING EDWARD	PINK FLOWERING CURRENT	#1
	HYDRANGEONERIN	WHITE HYDRANGEONERIN	#1
	SPIREA PRUNIFOLIA	EGGROUSE SPIREA	#1
	VIBURNUM DAVIDS	DAVIDS VIBURNUM	#1
	(SELECTION BY OWNER)	ORNAMENTAL GRASS	4 HEIGHT MN.
"X"	NYCANTID	OLIVER STRIFE	4 HEIGHT MN.
"N"	NANDINA DOMESTICA	SUELT STREAM	2 HEIGHT MN.
"O"	OLEARIA NANATI	DASHY BUSH	4 HEIGHT MN.
"Z"	PERSEA	GOUGEONE	2 HEIGHT MN.
"E"	SITFA TENUSIANA	MAGNON FEATHER GRASS	2 HEIGHT MN.
GRAND COVER	BOTANICAL NAME	COMMON NAME	SIZE
	PARTENOCEBUS QUINDUPOLA	VERON CRABFER	#1
	THYMUS PINK RUFFLE	CREATING TIME	SPR. BOOMER

ZEBRADESIGN

1161 NEWPORT AVE
Victoria, B.C. V8S 5E6
Phone: (250) 360-2144
Fax: (250) 360-2115

Drawn By: L. HORVAT

Date: DEC. 5, 2017

Scale: AS NOTED

Project:
SFD @ LOT A 1158
CRAIGFLOWER
ROAD

Title:
SITE PLAN,
LANDSCAPE PLAN
AND SITE DATA

Revision:	Sheet:
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DP1

Proj.No. -	
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From: [KATHY HUNT](#)
To: [info](#)
Subject: Lot A 1158 Craigflower Rd. Proposed landscape budget
Date: Tuesday, November 24, 2020 8:42:23 AM

Soft Landscaping as per Zebra Design October 7, 2020 Sheet DP1

Related work by others;

- off site work
- subgrades to BCSLA standards

By Zenith Developments - supply and installation of;

a] Topsoil

1. Garden beds @ 18' depth - 24 yards @ \$35.00 per yard - \$840.00
2. Lawns @ 6" - 12 yards @ \$35.00 per yard - \$420.00
3. Delivery and installation - \$1,800.00

b] Plant material

1. 1.5 - 5cm caliper canopy tree @ \$425.00 installed (each house share cost of 1 tree in driveway on property line.)
2. Shrubs - \$2,600.00 installed
3. Ground cover - \$400.00 installed

c] Bark mulch 3 yards @ \$100.00 installed - \$300.00

d] Seeded lawns - 70 square yards @ \$12.00 per square yard installed - \$840.00

e. Gravel 6 yards @ \$100.00 per yard installed - \$600.00

Total proposed budget as outlined - \$8,225.00 plus GST

Prepared by David Hunt

Zenith Developments

www.zenithdevelopments.co

250-884-7924

THIS IS SCHEDULE 'B' OF
DEVELOPMENT PERMIT
NO. DP000149

CORPORATE OFFICER

