

CORPORATION OF THE TOWNSHIP OF ESQUIMALT

DEVELOPMENT PERMIT

NO. DP000148

Owner: Artemis Hartt
Nadia Hartt

Lands: PID 031-193-293
Lot B Section 2 Esquimalt District Plan EPP95842

Address: 1158 Craigflower Road, Esquimalt, BC

Conditions:

1. This Development Permit is issued subject to compliance with all of the bylaws of the Municipality applicable thereto, except as specifically varied or supplemented by this permit, for the purpose of:
 - the protection of the natural environment, as governed by Development Permit Area No. 1: Natural Environment;
 - authorizing the form and character of the proposed development, as governed by Development Permit Area No. 3: Enhanced Design Control Residential;
 - energy conservation and greenhouse gas reduction, as governed by Development Permit Area No. 7: Energy Conservation & Greenhouse Gas Reduction; and
 - water conservation, as governed by Development Permit Area No. 8: Water Conservation.
2. Approval of this Development Permit is issued in accordance with the architectural plan and landscape plan by Zebra Design, both stamped "Received October 9, 2020", attached hereto as Schedule 'A'.
3. This Development Permit is issued in accordance with the landscaping estimate provided by David Hunt, Zenith Developments, stamped "Received November 24, 2020", attached hereto as Schedule 'B'. Security, in an amount representing 120% of the estimate (120% of \$8225.00 = \$9870.00) must be deposited with the Township of Esquimalt before this permit can be issued.
4. The lands shall be developed in accordance with the terms, conditions and provisions of this Permit.

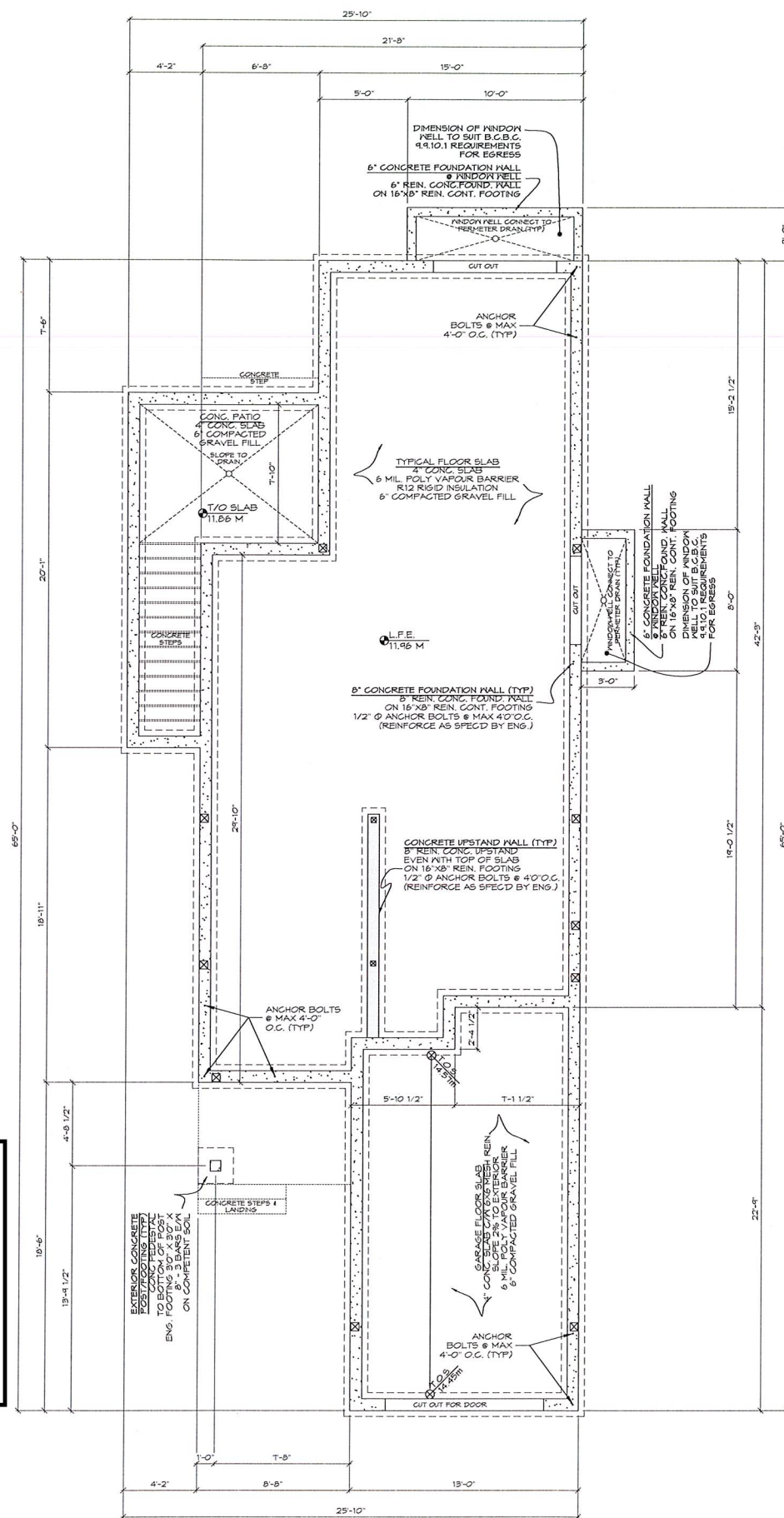
5. The terms, conditions and covenants contained herein shall enure to the benefit of and be binding upon the Owners, their executors, heirs or administrators, successors and assigns as the case may be or their successors to title in the lands.
6. This Development Permit is not a Building Permit.
7. This Permit lapses two (2) years after the date it is issued if the holder of the Permit does not substantially start any construction with respect to which the Permit was issued.
8. For the purposes of this Development Permit, the holder of the Permit shall be the owner(s) of the lands.

APPROVED BY MUNICIPAL COUNCIL RESOLUTION ON THE ____
DAY OF _____, 2021.

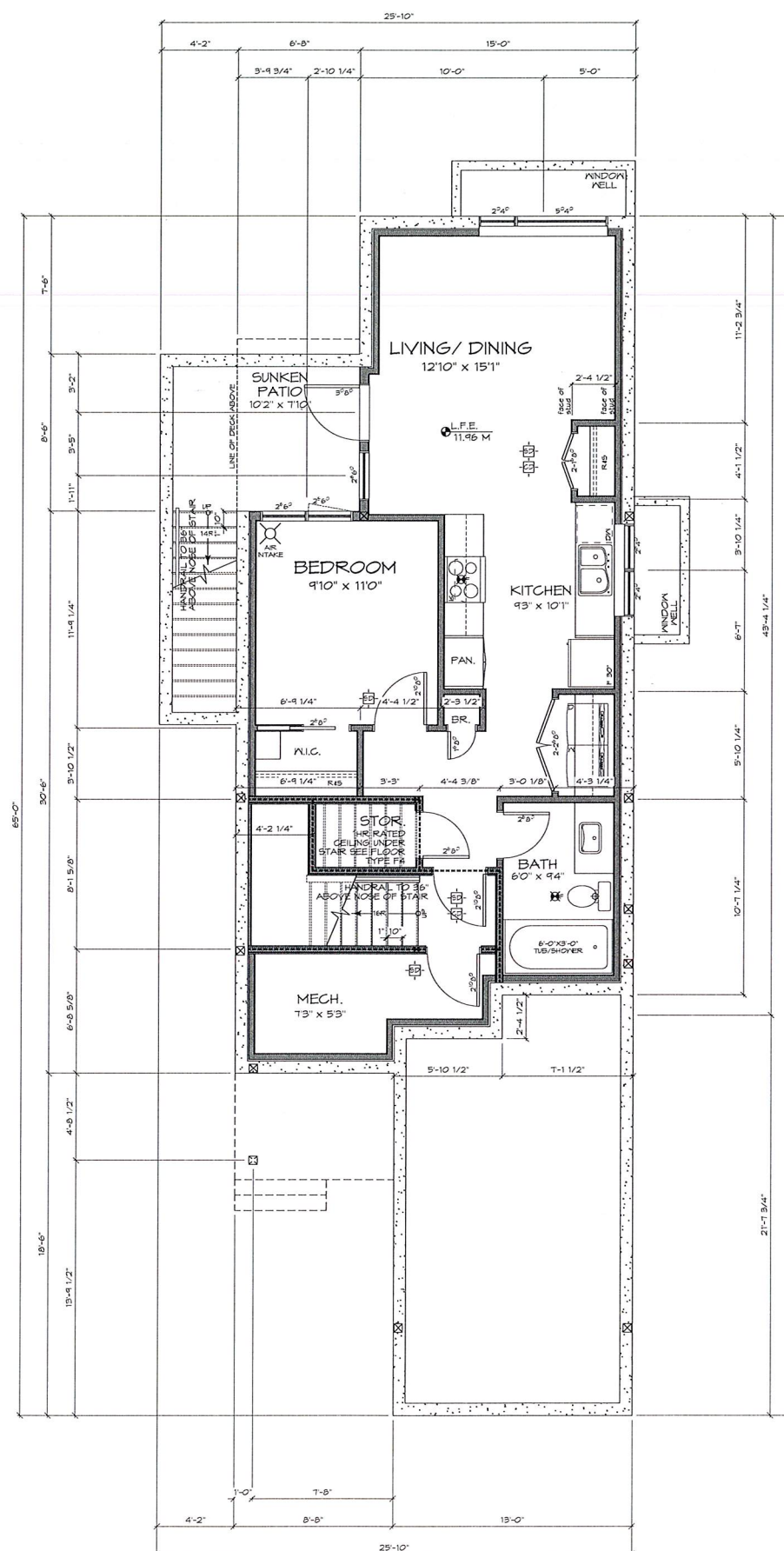
ISSUED BY THE DIRECTOR OF DEVELOPMENT SERVICES THIS ____
DAY OF _____, 2021.

Director of Development Services

Corporate Officer
Corporation of the Township
of Esquimalt



1 Foundation Plan
DP2 Scale 1/4" = 1'-0"



2 Lower Floor Plan
DP2 Scale 1/4" = 1'-0"

WALL TYPE LEGEND

W1	
W2	
W3	
W4	
W5	
W6	
W7	
W8	

SYMBOL LEGEND

	SMOKE DETECTOR/ALARM
	CO DETECTOR/ALARM
INTERCONNECTED ON ALL FLOORS	
	CENTRE-LINE
	FAN
	POINT LOAD ABOVE
	COLUMN
	ENGINEERED CONNECTION
	FLOOR DRAIN
	AIR-INTAKE
	FIRE RATED WALL



Issued for DP
October 7, 2020



1161 NEWPORT AVE
Victoria, B.C. V8S 5E6
Phone: (250) 360-2144
Fax: (250) 360-2115

Drawn By: L. HORVAT

Date: DEC. 5, 2017

Scale: AS NOTED

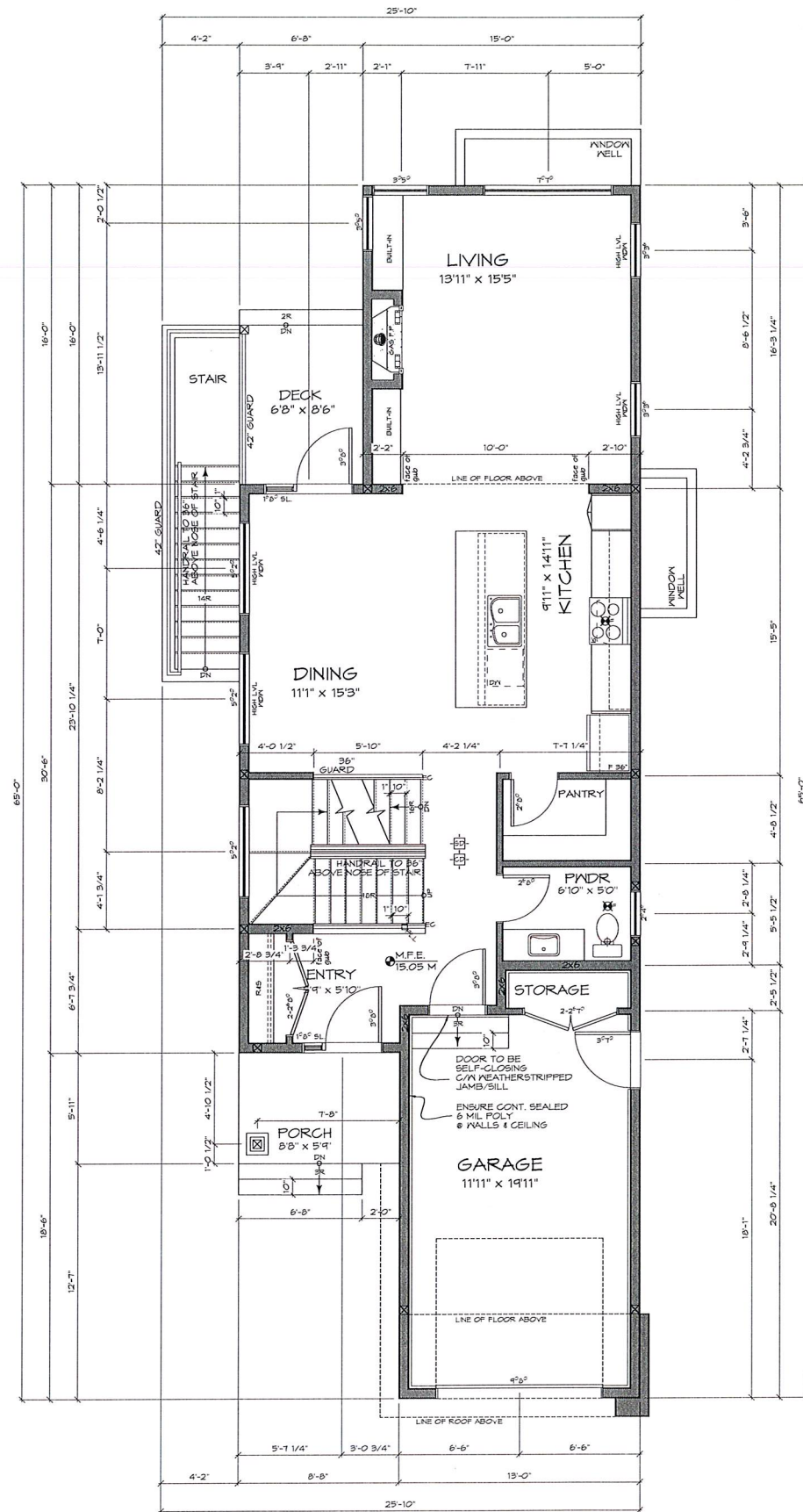
Project:
SFD @ LOT B 1158
CRAIGFLOWER
ROAD

Title:
FLOOR PLANS
LOT B

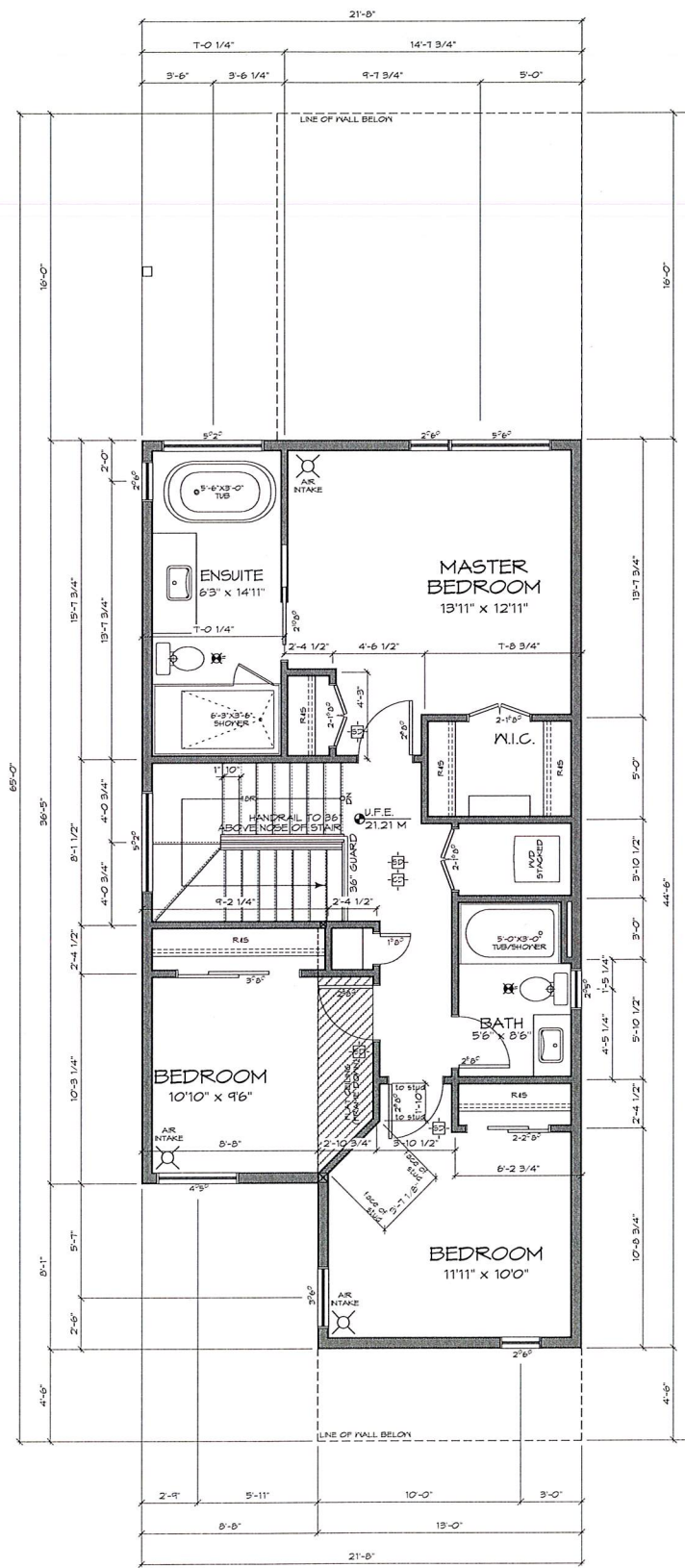
Revision:	Sheet:
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DP2

Proj.No. -



1 Main Floor Plan
DP3 Scale 1/4" = 1'-0"



2 Second Floor Plan
DP3 Scale 1/4" = 1'-0"

THIS IS SCHEDULE 'A' OF
DEVELOPMENT PERMIT
NO. DP000148

CORPORATE OFFICER

WALL TYPE LEGEND	
W1	[Symbol]
W2	[Symbol]
W3	[Symbol]
W4	[Symbol]
W5	[Symbol]
W6	[Symbol]
W7	[Symbol]
W8	[Symbol]
SYMBOL LEGEND	
[Symbol]	SMOKE DETECTOR/ALARM
[Symbol]	CO DETECTOR/ALARM
[Symbol]	INTERCONNECTED ON ALL FLOORS
[Symbol]	CENTRE-LINE
[Symbol]	FAN
[Symbol]	POINT LOAD ABOVE
[Symbol]	COLUMN
[Symbol]	ENGINEERED CONNECTION
[Symbol]	FLOOR DRAIN
[Symbol]	AIR-INTAKE VENT
[Symbol]	FIRE RATED WALL



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ZEBRADESIGN

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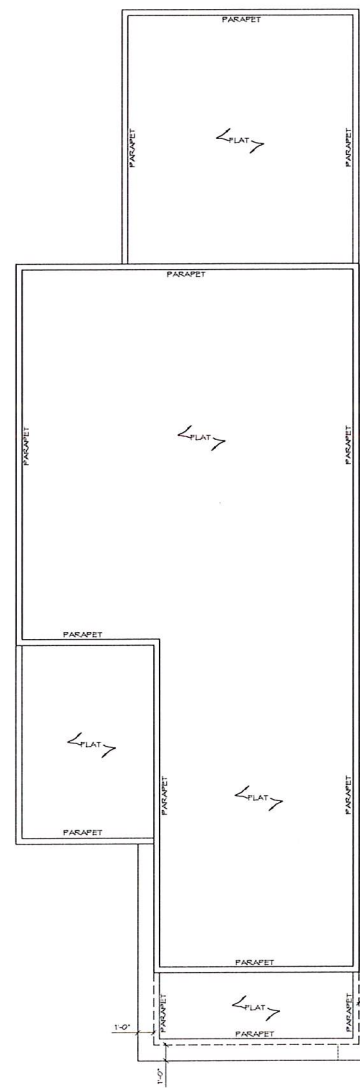
Project:
SFD @ LOT B 1158
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ROAD

Title:
FLOOR PLANS
LOT B

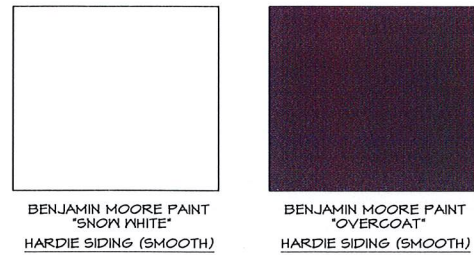
Revision: Sheet:

DP3

Proj.No. -



3 Roof Plan
DP3 Scale 3/16" = 1'-0"

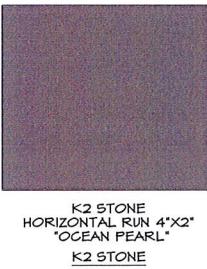


BENJAMIN MOORE PAINT
"SNOW WHITE"
HARDIE SIDING (SMOOTH)

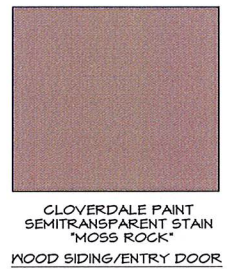
BENJAMIN MOORE PAINT
"OVERCOAT"
HARDIE SIDING (SMOOTH)



GENTEK
"BLACK"
PREFINISHED METAL FLASHINGS



K2 STONE
HORIZONTAL RUN 4"x2"
"OCEAN PEARL"
K2 STONE



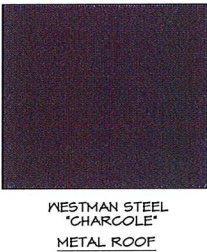
CLOVERDALE PAINT
SEMITRANSSPARENT STAIN
"MOSS ROCK"
WOOD SIDING/ENTRY DOOR



CLOVERDALE PAINT
STAIN
"NATURAL"
WOOD ARBOUR



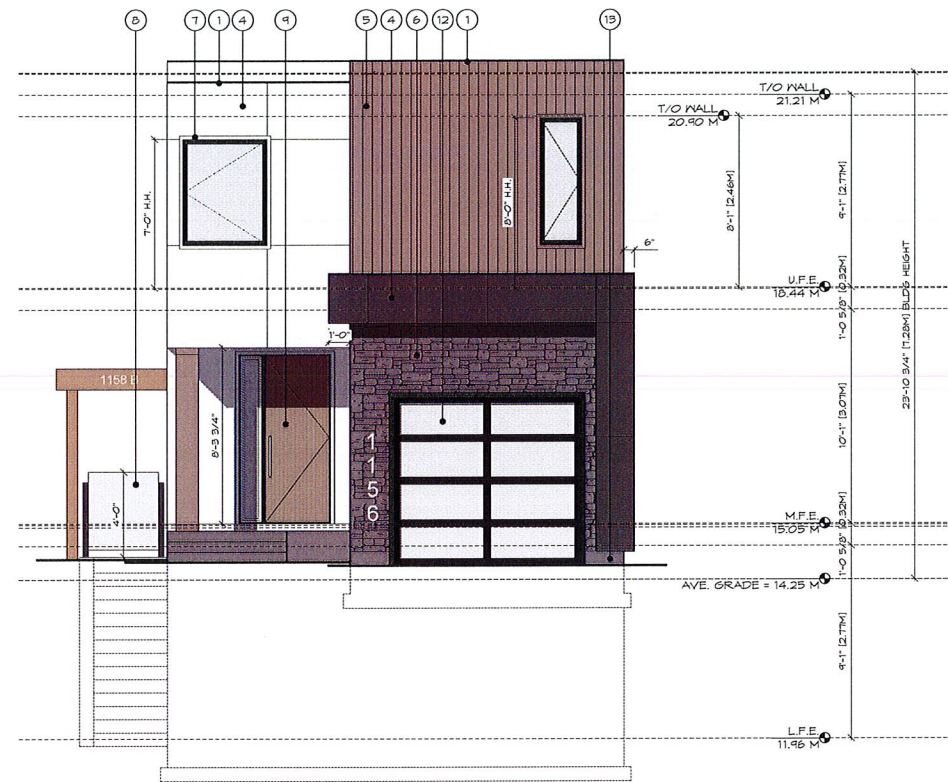
CLOVERDALE PAINT
"ANTHRACITE"
WINDOWS/GARAGE DOOR



WESTMAN STEEL
"CHARCOAL"
METAL ROOF

THIS IS SCHEDULE 'A' OF
DEVELOPMENT PERMIT
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CORPORATE OFFICER



1 Front Elevation
DP4 Scale 1/4" = 1'-0"

FINISH SCHEDULE KEY

- 1 PREFINISHED METAL CAP FLASHING
- 2 2X10 FASCIA C/W 1X4 ACCENT TRIM (PAINTED)
- 3 PREFINISHED METAL GUTTER ON 2X8 FASCIA (PAINTED)
- 4 CEMENT BOARD PANEL C/W REVEALS (PAINTED)
(COLOUR AS SELECTED BY DESIGNER)
- 5 VERTICAL WOOD (FIR) SIDING. T&G, 6" EXPOSURE
(STAINED)
- 6 NATURAL STONE (AS SELECTED BY DESIGNER)
- 7 2" WINDOW/DOOR TRIM-FLASH OVER ALL
WINDOWS/DOORS (TYP.). 2" CANTED SILL C/W CONT.
DRIP EDGE. (PAINTED)
- 8 METAL/GLASS GUARD RAIL/GATE (HT. AS PER CODE)
- 9 WOOD DOOR WITH SIDELIGHT
- 10 WOOD DOOR WITH GLAZING AND SIDELIGHT
- 11 METAL INSULATED DOOR - PAINTED
- 12 METAL/GLASS GARAGE DOOR - PREFINISHED
- 13 EXPOSED FOUNDATION (MIN. 8" ABOVE GRADE)
- 14 STANDING SEAM METAL ROOF-COLOUR AS
SELECTED BY DESIGNER

NOTES:

WINDOW OPERATION (I.E. DIRECTION OF SWING) SHALL
BE PER OWNER'S DIRECTION AND CONFORM TO B.C.B.C.
2018 REQUIREMENTS FOR EGRESS.

FLASH OVER ALL MATERIAL TRANSITIONS, DOOR &
WINDOW HEADS

NO COMBED-FACE TRIM

ALL COLOURS BY DESIGNER/OWNER

RECEIVED

OCT 09 2020

CORP. OF TOWNSHIP
OF ESQUIMALT
DEVELOPMENT SERVICES

Issued for DP
October 7, 2020

ZEBRADESIGN

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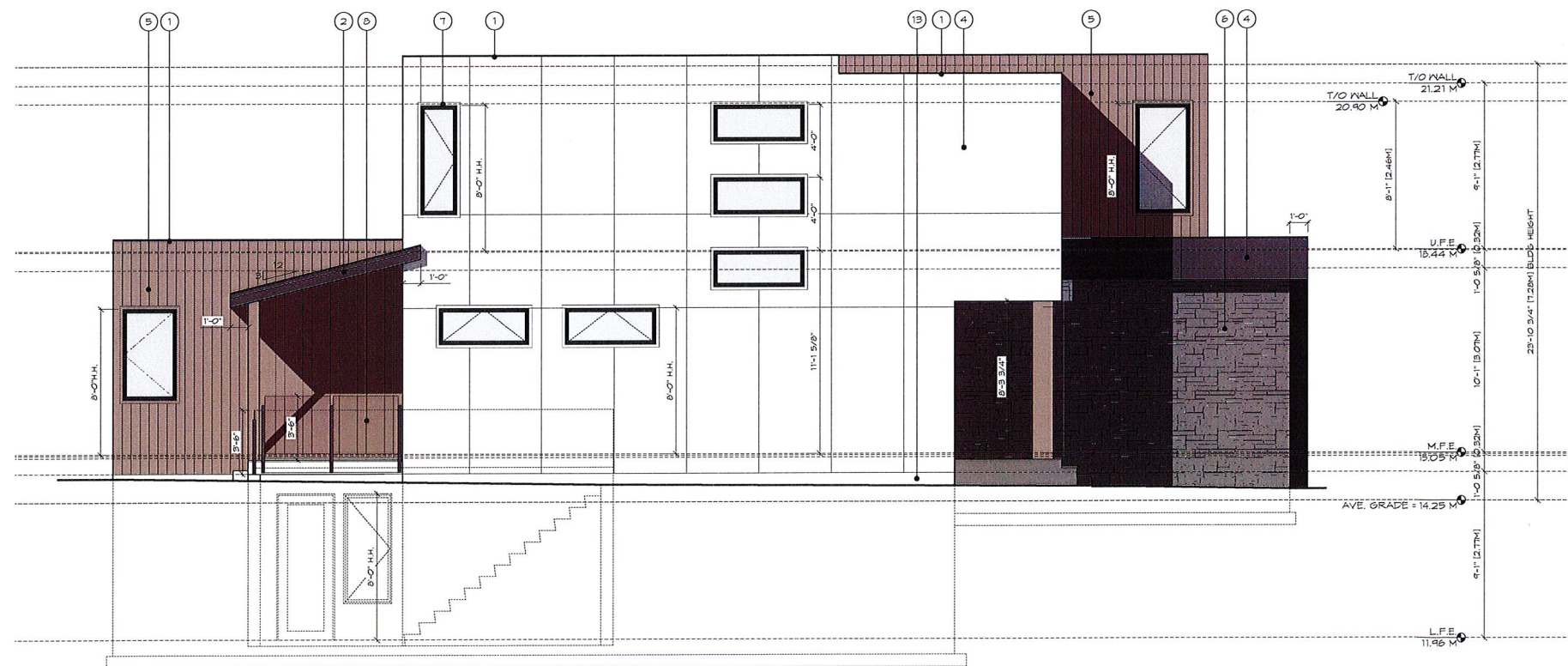
Project:
SFD @ LOT B 1158
CRAIGFLOWER
ROAD

Title:
ELEVATIONS
LOT B

Revision: Sheet:

DP4

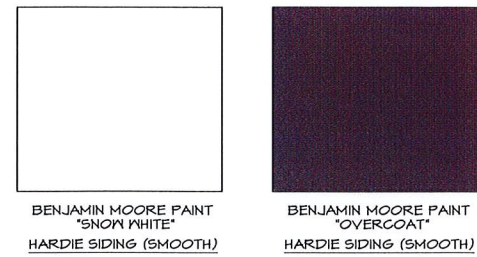
Proj.No. -



2 Side Elevation (west)
DP4 Scale 1/4" = 1'-0"

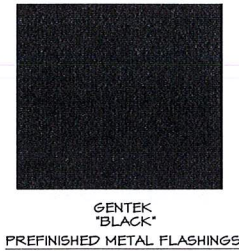
MAXIMUM GLAZING CALCULATION - SIDE ELEVATION (west)

DISTANCE TO PROPERTY LINE	1.80 M (5.90')
EXPOSED BUILDING FACE AREA	72.12 M2 (776.38 SF)
GLAZING AREA	4.19 M2 (45.12 SF)
PERCENTAGE	5.81% (ALLOWED 7.60%)



BENJAMIN MOORE PAINT
"SNOW WHITE"
HARDIE SIDING (SMOOTH)

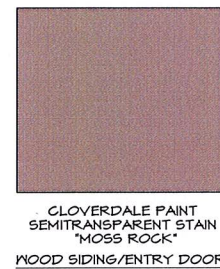
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GENTEK
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PREFINISHED METAL FLASHINGS



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HORIZONTAL RUN 4"X2"
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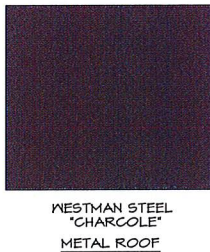
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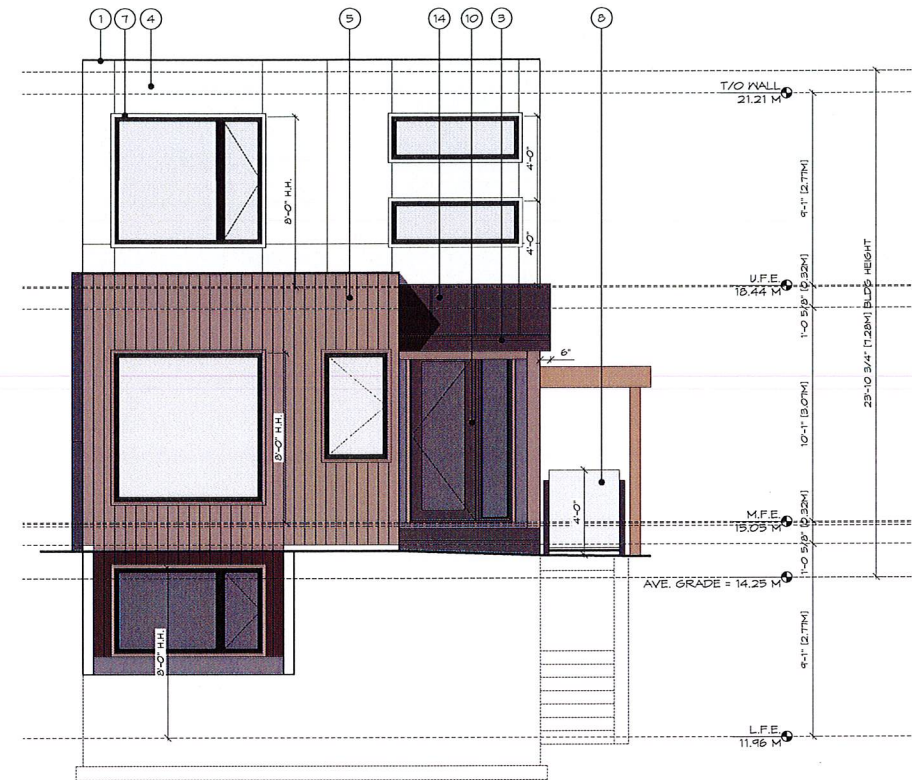
CLOVERDALE PAINT
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WOOD ARBOUR



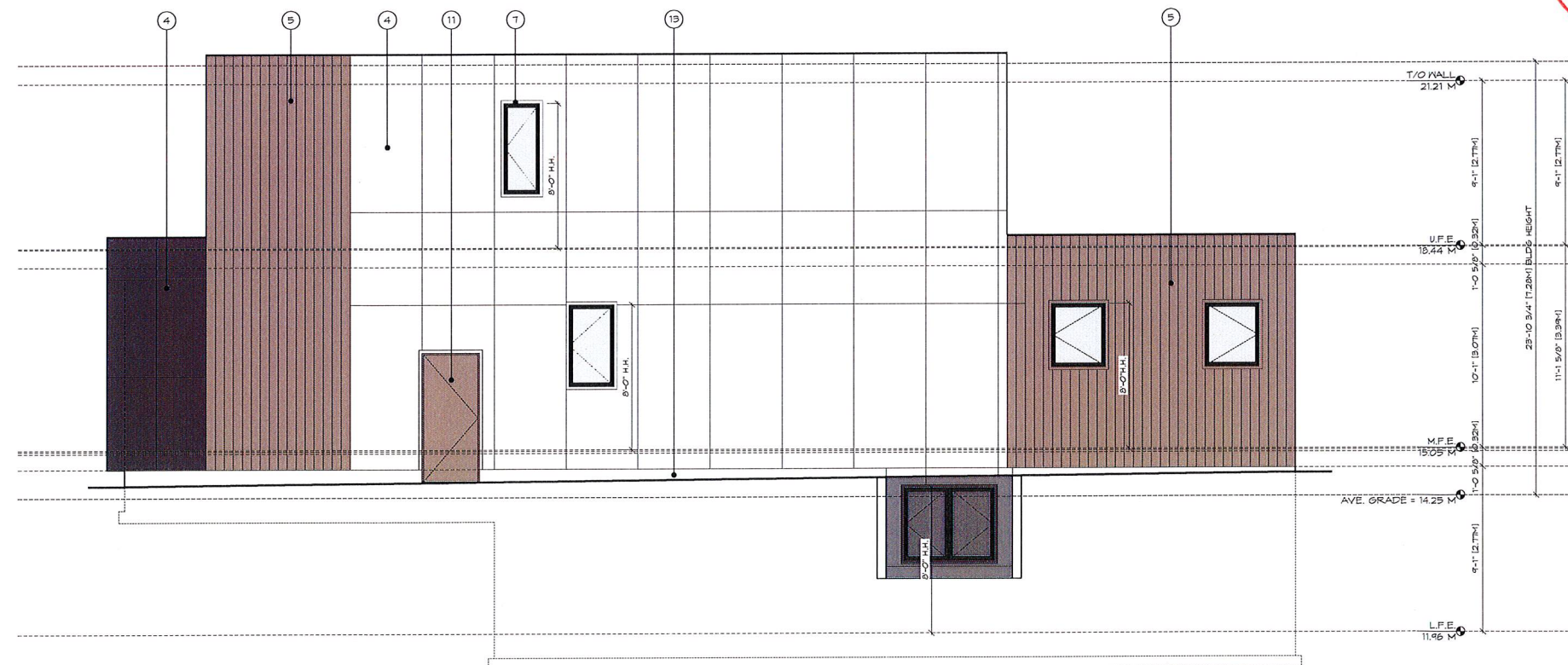
CLOVERDALE PAINT
"ANTHRACITE"
WINDOWS/GARAGE DOOR



WESTMAN STEEL
"CHARCOLE"
METAL ROOF



1 Rear Elevation
DP5 Scale 1/4" = 1'-0"



2 Side Elevation (east)
DP5 Scale 1/4" = 1'-0"

MAXIMUM GLAZING CALCULATION - SIDE ELEVATION (east)	
DISTANCE TO PROPERTY LINE	1.50 M (4.92')
EXPOSED BUILDING FACE AREA	117.78 M2 (1267.85 SF)
GLAZING AREA	2.94 M2 (31.69 SF)
PERCENTAGE	2.49% (ALLOWED 7.00%)

FINISH SCHEDULE KEY	
1	PREFINISHED METAL CAP FLASHING
2	2X10 FASCIA C/W 1X4 ACCENT TRIM (PAINTED)
3	PREFINISHED METAL GUTTER ON 2X8 FASCIA (PAINTED)
4	CEMENT BOARD PANEL C/W REVEALS (PAINTED) (COLOUR AS SELECTED BY DESIGNER)
5	VERTICAL WOOD (FIR) SIDING. T&G, 6" EXPOSURE (STAINED)
6	NATURAL STONE (AS SELECTED BY DESIGNER)
7	2" WINDOW/DOOR TRIM-FLASH OVER ALL WINDOWS/DOORS (TYP.). 2" CANTED SILL C/W CONT. DRIP EDGE. (PAINTED)
8	METAL/GLASS GUARD RAIL/GATE (HT. AS PER CODE)
9	WOOD DOOR WITH SIDELIGHT
10	WOOD DOOR WITH GLAZING AND SIDELIGHT
11	METAL INSULATED DOOR - PAINTED
12	METAL/GLASS GARAGE DOOR - PREFINISHED
13	EXPOSED FOUNDATION (MIN. 8" ABOVE GRADE)
14	STANDING SEAM METAL ROOF-COLOUR AS SELECTED BY DESIGNER
NOTES:	
WINDOW OPERATION (I.E. DIRECTION OF SWING) SHALL BE PER OWNER'S DIRECTION AND CONFORM TO B.C.B.C. 2018 REQUIREMENTS FOR EGRESS.	
FLASH OVER ALL MATERIAL TRANSITIONS, DOOR & WINDOW HEADS	
NO COMBED-FACE TRIM	
ALL COLOURS BY DESIGNER/OWNER	



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Date: DEC. 5, 2017

Scale: AS NOTED

Project:
SFD @ LOT B 1158
CRAIGFLOWER
ROAD

Title:
ELEVATIONS
LOT B

Revision: Sheet:

DP5

Proj.No. -

GENERAL NOTES

- CONTRACTOR TO VERIFY ALL DIMENSIONS AND DETAILS PRIOR TO COMMENCEMENT OF WORK AND SHALL NOTIFY DESIGNER OF ANY ERRORS OR DISCREPANCIES.
- NOTED DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DRAWINGS.
- EXTERIOR DIMENSIONING IS TO FACE OF CONCRETE/STRENGTH. INTERIOR DIMENSIONING IS TO CENTRE-LINE OF PARTITION.
- WHERE NOTED BY "ENG." OR "ENGINEERED", ALL STRUCTURE SHALL BE ENGINEERED BY CERTIFIED STRUCTURAL ENGINEER, INCLUDING, BUT NOT LIMITED TO, SPANS, SHEAR WALLS, FOOTINGS AND FOUNDATION WALLS, BEAMS, JOISTS, LINTELS, COLUMNS AND CONNECTIONS. THIS APPLIES ALSO TO ITEMS NOTED AS "ENGINEERED". ENGINEERED DRAWINGS SHALL BE STAMPED WITH ENGINEER'S SEAL.
- ALL WORK SHALL BE EQUAL IN ALL RESPECTS TO GOOD CONSTRUCTION PRACTICE, AND SHALL CONFORM TO CURRENT RESIDENTIAL STANDARDS AND THE BRITISH COLUMBIA BUILDING CODE, 2018 OR LOCAL BUILDING CODES AND BY-LAWS WHICH MAY TAKE PRECEDENCE.
- IT IS THE RESPONSIBILITY OF THE OWNER/CONTRACTOR TO HAVE SITE SOIL CONDITIONS INSPECTED, AND ADVISE DESIGNER OF ANY SOIL CONDITIONS WHICH MAY REQUIRE SPECIAL FOUNDATION DESIGN. ALL FOOTINGS TO FIRM BEARING.
- PROVIDE ATTIC AND CRAWL SPACES WITH VENTILATION AND ACCESS IN ACCORDANCE WITH B.C.B.C. 2018 PART 4.
- ALL WOOD FRAMING TO BE SPRUCE-PINE-FIR, UNLESS NOTED OTHERWISE OR ENGINEERED. ALL FRAMING IS TO BE IN ACCORDANCE WITH B.C.B.C. 2018 AND GOOD CONSTRUCTION PRACTICE.
- PROVIDE MINIMUM OF 6" (150mm) CLEARANCE FROM GRADE TO FLOOR CLADDING MATERIALS. EXTERIOR FOUNDATION WALLS SHALL NOT BE LESS THAN 6" (150mm) ABOVE ADJACENT GRADE.
- ALL WOOD LINTELS TO CONFORM TO B.C.B.C. 2018 PART 4 WHERE SUPPORTING FLOOR OR ROOF LOADS.
- INSTALL INTERCONNECTED SMOKE ALARMS IN ACCORDANCE WITH B.C.B.C. 2018 PART 4.10.18. - INSTALL INTERCONNECTED CO ALARMS IN ACCORDANCE WITH B.C.B.C. 2018 4.32.4.2.
- ALL WOOD IN CONTACT WITH CONCRETE INCLUDING SILL PLATES MUST BE PRESURE TREATED OR SEPARATED WITH SILL GASKET OR OTHER APPROVED MATERIAL.
- ALL NOTED "ENGINEERED" COMPONENTS, SUCH AS ROOF TRUSSES, BEAMS, AND ENGINEERED FLOOR SYSTEMS, REQUIRE ENGINEERED DRAWINGS SUBMITTAL AND MUST BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S DETAILS AND SPECIFICATIONS.
- SUPPLY AND INSTALL ALL WINDOW TYPES, INTERIOR CASINGS, AND MILLWORK TO OWNER'S APPROVAL. WINDOWS MUST MEET NEW CRITERION FOR AIR TIGHTNESS, WATER TIGHTNESS, RESISTANCE TO WIND LOAD AND BREAK-IN (REQUIRED). ALL WINDOWS TO COMPLY WITH MUNICIPAL REQUIREMENTS FOR WIND-RATINGS FOR ALL WINDOWS WITHIN 2 METRES OF GRADE. THE RELEVANT STANDARD REQUIREMENTS THAT THE RATINGS BE CLEARLY LABELLED ON ALL WINDOW UNITS OR WINDOWS ARE TO BE ENGINEERED WITH SEALED DRAWINGS AND LETTERS OF ASSURANCE. WINDOWS AND DOORS MUST COMPLY WITH MUNICIPAL REQUIREMENTS FOR U-VALUE.
- INSTALL GRASPABLE HANDRAIL TO ALL INTERIOR STAIRS AT 34" (865mm) MIN. TO 38" (965mm) MAX. ABOVE NOSING.
- INSTALL GUARDRAIL AT ALL BALCONIES, DECKS, AND PORCHES GREATER THAN 2' (600mm) ABOVE ADJACENT GRADE OR LEVEL. INSTALL GUARDRAIL AT 42" (1070mm) WHERE DECK IS GREATER THAN 6' (1800mm) ABOVE ADJACENT SURFACE. OTHERWISE 36" (915mm) GUARDRAIL. ALLOWED CANTILEVERED GLASS GUARDRAILS SHALL BE ANCHORED WITH GLAZING SHOCK TO RESIST LATERAL LOADS PER B.C.B.C. 2018. OTHER GLAZED RAILINGS ASSEMBLIES (GLAZING AND SUPPORTS) TO BE ENGINEERED WITH SEALED DWGS. AND LETTERS OF ASSURANCE.
- INSTALL WATERPROOF MEMBRANE ON BUILDING PAPER ON WATER-RESISTANT WALLBOARD (min. 5/8" - 150mm) FRAMING AS SUBSTRATE AROUND ALL WALL & CEILING AREAS OF STEAM/SHOWER. INSTALL WATER-RESISTANT WALLBOARD AROUND ALL NET AREAS TO MIN 5/8" (1.52mm) HIGH.
- PROVIDE HEATING, MECHANICAL VENTILATION, AND AIR CONDITIONING WHERE REQUIRED IN ACCORDANCE WITH CURRENT LOCAL BUILDING CODES AND BY-LAWS. MECHANICAL CONTRACTOR TO PROVIDE MECHANICAL CHECKLIST COMPLETE WITH FAN & DUCT SIZES PRIOR TO FINAL FRAMING INSPECTION.
- PROVIDE ELECTRICAL ENGINEERING BY APPROVED AND CERTIFIED CONTRACTOR. RECEPTACLES AND APPLIANCE LOCATIONS TO BE APPROVED BY OWNER.
- ANY ALTERNATIVE STRUCTURAL ENGINEERING TO BE APPROVED AND VERIFIED BY CERTIFIED STRUCTURAL ENGINEER. SUBMIT ENGINEERED DRAWINGS TO DESIGNER.
- FIRE PROTECTION AND LIFE SAFETY PROVISIONS TO CONFORM TO THE REQUIREMENTS OF THE B.C.B.C. 2018 PART 4.
- VERIFY EXISTING AND PROPOSED GRADES PRIOR TO SETTING OUT AND CUT, FILL, & COMPACT ACCORDING TO BUILDING ELEVATIONS.
- ALL INTERIOR FINISHES, CASINGS, WINDOW TYPES, AND MILLWORK TO OWNER'S APPROVAL.
- STAIR TREADS TO BE CONSTRUCTED OF PLYWOOD OR OTHER ENGINEERED PRODUCT, FASTENED WITH SCREWS AND SUB-FLOOR ADHESIVE.
- ALL FLOOR SHEATHING MUST BE SECURED WITH 1 5/8" (40mm) GALVANIZED OR COATED FLOOR SCREWS ON 6" O.C. (150mm).
- SOLID EAVE PROTECTION ON OVERHANG IS REQUIRED ON ALL SHAKE ROOFS.
- TEMPORARY HEAT AND/OR FANS REQUIRED PRIOR TO DRYWALL INSTALLATION TO ASSIST IN THE DRYING OF INTERIOR FRAMEWORK.
- MOISTURE CONTENT OF THE INTERIOR FRAME MUST NOT EXCEED 19% PRIOR TO APPLICATION OF VAPOR BARRIER AND DRYWALL.
- TWO CONTINUOUS LAYERS OF 30MIN. BUILDING PAPER MUST BE APPLIED TO EXTERIOR SHEATHING EITHER SHUFFLED - OR INSTALLED WITH 22" (550mm) OVERLAP BEAMS HALFLAPPED TO THE 2ND MID-LINE OF THE BUILDING PAPER.
- POSITIVE SLOPE FLASHINGS MUST BE INSTALLED ABOVE ALL WINDOWS, DOORS, SILLS, VENTS AND MATERIAL TRANSITIONS. ALL FLASHINGS MUST BE INSTALLED BEHIND BUILDING PAPER, WITH MECHANICALLY SEALED END DAMS. ALL FLASHINGS MUST EXTEND A MINIMUM OF 1" (25mm) BEYOND BOUNDARY OF THE OPENING TO WHICH THEY ARE APPLIED.
- BUILDING PAPER & FELT PRE-STRIPPING, ONLY TO CONTACT EXTERIOR SHEATHING. SELF-ADHERING MEMBRANES ARE NOT TO CONTACT WOOD SURFACES.
- ALL RAINSCREEN CAVITIES TO BE VENTED TOP & BOTTOM WITH INSECT PROOF VENT STRIPS.
- PROVIDE STEPPED FOOTINGS WHERE REQUIRED IN ACCORDANCE WITH EXISTING OR FUTURE GRADES. ALL FOOTINGS MUST REST ON SOLID UNDISTURBED BEARING AT AN ELEVATION BELOW FROST PENETRATION DEPTH ON COMPETENT BEARING.
- 20 MPa CONCRETE FOUNDATION WALL 8" (200mm) THICK MAY BE A MAXIMUM OF 4' (1.2 m) HIGH FROM GRADE TO 1/2 FLOOR IF LATERALLY UNSUPPORTED AT THE TOP. REFER TO B.C.B.C. 2018, 4.15.4. - ALL OTHER CONCRETE WALLS TO BE ENGINEERED.
- PLUMBING PERMIT REQUIRED FOR INSTALLATION OF PLUMBING SYSTEM AND DRAINAGE SYSTEM FOR BUILDING. ENSURE ALL FIXTURES CONFORM TO CURRENT APPROPRIATE CSA STANDARDS.
- ALL DOOR AND WINDOW SIZES ARE APPROXIMATE AND MUST BE VERIFIED BY THE BUILDER/OWNER PRIOR TO ORDERING.
- WHERE ALLOWED BY MUNICIPAL AUTHORITY HAVING JURISDICTION, APPROVED HOUSE WRAP, SUCH AS TYVEG® OR TYFAR® MAY BE USED, IF APPLIED AS SPECIFIED BY THE MANUFACTURER.

ABBREVIATIONS

A/A ATTIC ACCESS - MIN 24"x36"
AFF ABOVE FINISHED FLOOR
B.F.E. BASEMENT FLOOR ELEVATION
BU BUILT-UP
CONT CONTINUOUS
DP DROPPED BEAM
EG ENGINEERED CONNECTION
REQUIRES STRUCTURAL ENGINEER
ENG. ENGINEERED
REQUIRES STRUCTURAL ENGINEERING
BY P. ENG. C/W SEALED DRAWINGS
FL FLUSH BEAM
H.H. HEAD HEIGHT
M.F.E. MAIN FLOOR ELEVATION
O.C. ON CENTRE
PRE-FIN PREFINISHED
P.L. POINT LOAD ABOVE
R15 ROD & SHELF
SFF SPRUCE/PINE/FIR #2
T6 TONGUE & GROOVE
T.O.S. TOP OF SLAB
U.F.E. UPPER FLOOR ELEVATION
U.N.O. UNLESS NOTED OTHERWISE
V.O.S. VERIFY ON SITE

DESIGNER/DRAFTSPERSON DOES NOT ASSUME LIABILITY FOR ERRORS OR OMISSIONS ON THESE PLANS UNLESS ADVISED IN WRITING BEFORE PROCEEDING WITH CONSTRUCTION.

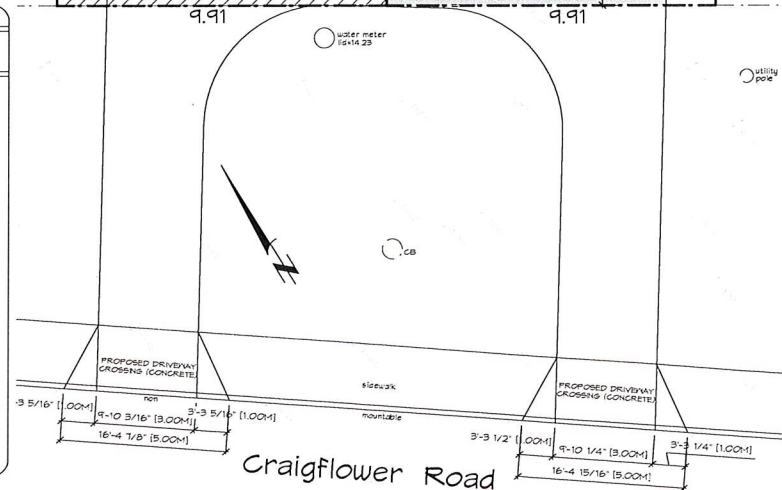
DRAWING LIST

- DP1 SITE PLAN, LANDSCAPE PLAN & GENERAL NOTES
DP2 PLANS
DP3 PLANS
DP4 ELEVATIONS
DP5 ELEVATIONS

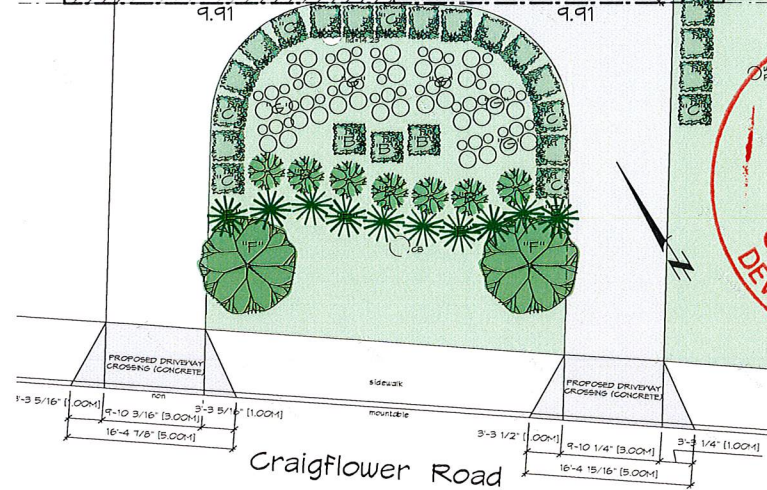
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CORPORATE OFFICER

SITE DATA - PROPOSED LOT B @ 1158 CRAIGFLOWER ROAD			
LEGAL DESCRIPTION - LOT 1, SECTION 2, ESQUIMALT DISTRICT, PLAN 5766			
ZONING - CDD NO. 118			
PROPOSED SFD	REQUIRED	PROPOSED	
LOT AREA	393 M ²	393 M ²	(4236.75 FT ²)
LOT WIDTH	9.50 M	9.91 M	(3251')
SETBACKS			
FRONT	1.50 M	12.03 M	(39.47')
REAR	1.50 M	7.81 M	(25.62 FT)
SIDE (WEST)	1.50 M	1.50 M	(4.92')
SIDE (EAST)	1.50 M	1.50 M	(4.92')
SIDE CORNER	3.30 M	3.30 M	(10.83')
AVERAGE GRADE		14.25 M	(46.75')
BUILDING HEIGHT	1.30 M	7.28 M	(23.88')
FLOOR AREA			
UPPER FLOOR	16.51 M ²	64.78 M ²	(171.21 FT ²)
MAIN FLOOR	19.02 M ²	73.02 M ²	(176.02 FT ²)
ATTACHED GARAGE	24.41 M ²	24.41 M ²	(263.42 FT ²)
GARAGE ALLOWANCE	-24.41 M ²	-24.41 M ²	(-263.42 FT ²)
BASEMENT	61.42 M ²	61.42 M ²	(125.71 FT ²)
BASEMENT EXEMPTION		-61.42 M ²	(-125.71 FT ²)
TOTAL FLOOR AREAS			
MAIN AND UPPER FLOORS	14.54 M ²	14.29 M ²	(1591.24 FT ²)
ALL FLOORS COMBINED	210.28 M ²	210.28 M ²	(2263.00 FT ²)
FLOOR AREA RATIO	0.36	0.36	
SITE COVERAGE	30.00%	24.44%	
PARKING	2	2	



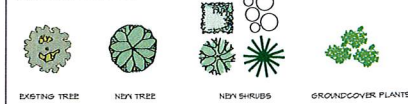
1 Site Plan
DP1 Scale 1:100



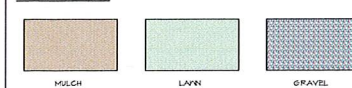
2 Landscape Plan
DP1 Scale 1:100

LANDSCAPE PLAN LEGEND

TREES AND SHRUBS



GROUND COVER



HARD LANDSCAPING



FENCE



EGRESS



NOTE:

- LANDSCAPING INDICATED IS CONCEPTUAL ONLY AND REQUIRES INSTALLATION BY A QUALIFIED LANDSCAPING CONTRACTOR.
- CONTRACTOR TO IDENTIFY UTILITIES PROVIDED THROUGH EXISTING TRENCHES AND AVOID CONFLICT WITH EXISTING UTILITIES.
- ALL LANDSCAPING SHALL BE PERFORMED TO BSZA, BSLA STANDARDS.
- ALL EXISTING TREES TO REMAIN, UNLESS NOTED OTHERWISE.
- WOOD FENCE TO BE MAX HEIGHT OF 1.20M (4'-0") BETWEEN FRONT PROPERTY LINE AND FRONT OF BUILDING. 1.50M (4'-0") BETWEEN FRONT OF BUILDING AND REAR PROPERTY LINE.

SUGGESTED PLANTING LIST

TREES	BOTANICAL NAME	COMMON NAME	SIZE
"T"	CORNUS VIBICINIFOLIA	FLORING DOGWOOD	2.5M HT. B.B.
	CAMELIA JAPONICA SPECIMEN	EVERGREEN CAMELIA	3.0M HT. B.B.
	HYDRANGEA LYTICATA	CORK TREE	3.0M HT. B.B.
	QUERCUS GARWICKIANA	QUERCUS GARWICKIANA	3.0M HT. B.B.
"S"	ARCTOSTAPHYLOS UVA-URSI	SHRUBBERY TREE	2.5M HT. B.B.
	BENNETT'S THUNDERBOLT	BENNETT'S THUNDERBOLT	2.5M HT. B.B.
	BUXUS MICROPHYLLA	RED CAMELIA	2.5M HT. B.B.
	CAMELIA JAPONICA	CRIMSON ROCK ROSE	2.5M HT. B.B.
"G"	CESTIS LADANIFERA	PROSTRATE MOUNTAIN LILAC	1.5M HT. B.B.
	ERCA CARNEA SPRINGWOOD	WHITE HEATHER	1.5M HT. B.B.
	ERCA CARNEA SPRINGWOOD	PINK HEATHER	1.5M HT. B.B.
	ERCA CARNEA SPRINGWOOD	ERCA CARNEA SPRINGWOOD	1.5M HT. B.B.
"A"	ERCA CARNEA SPRINGWOOD	ERCA CARNEA SPRINGWOOD	1.5M HT. B.B.
	ERCA CARNEA SPRINGWOOD	ERCA CARNEA SPRINGWOOD	1.5M HT. B.B.
	ERCA CARNEA SPRINGWOOD	ERCA CARNEA SPRINGWOOD	1.5M HT. B.B.
	ERCA CARNEA SPRINGWOOD	ERCA CARNEA SPRINGWOOD	1.5M HT. B.B.
"P"	ERCA CARNEA SPRINGWOOD	ERCA CARNEA SPRINGWOOD	1.5M HT. B.B.
	ERCA CARNEA SPRINGWOOD	ERCA CARNEA SPRINGWOOD	1.5M HT. B.B.
	ERCA CARNEA SPRINGWOOD	ERCA CARNEA SPRINGWOOD	1.5M HT. B.B.
	ERCA CARNEA SPRINGWOOD	ERCA CARNEA SPRINGWOOD	1.5M HT. B.B.
"D"	ERCA CARNEA SPRINGWOOD	ERCA CARNEA SPRINGWOOD	1.5M HT. B.B.
	ERCA CARNEA SPRINGWOOD	ERCA CARNEA SPRINGWOOD	1.5M HT. B.B.
	ERCA CARNEA SPRINGWOOD	ERCA CARNEA SPRINGWOOD	1.5M HT. B.B.
	ERCA CARNEA SPRINGWOOD	ERCA CARNEA SPRINGWOOD	1.5M HT. B.B.
"E"	ERCA CARNEA SPRINGWOOD	ERCA CARNEA SPRINGWOOD	1.5M HT. B.B.
	ERCA CARNEA SPRINGWOOD	ERCA CARNEA SPRINGWOOD	1.5M HT. B.B.
	ERCA CARNEA SPRINGWOOD	ERCA CARNEA SPRINGWOOD	1.5M HT. B.B.
	ERCA CARNEA SPRINGWOOD	ERCA CARNEA SPRINGWOOD	1.5M HT. B.B.
"G"	ERCA CARNEA SPRINGWOOD	ERCA CARNEA SPRINGWOOD	1.5M HT. B.B.
	ERCA CARNEA SPRINGWOOD	ERCA CARNEA SPRINGWOOD	1.5M HT. B.B.
	ERCA CARNEA SPRINGWOOD	ERCA CARNEA SPRINGWOOD	1.5M HT. B.B.
	ERCA CARNEA SPRINGWOOD	ERCA CARNEA SPRINGWOOD	1.5M HT. B.B.

Issued for DP
October 7, 2020

ZEBRADESIGN

1161 NEWPORT AVE
Victoria, B.C. V8S 5E6
Phone: (250) 360-2144
Fax: (250) 360-2115

Drawn By: L. HORVAT

Date: DEC. 5, 2017

Scale: AS NOTED

Project:

SFD @ LOT B 1158
CRAIGFLOWER
ROAD

Title:
SITE PLAN,
LANDSCAPE PLAN
AND SITE DATA

Revision: Sheet:

DP1

Proj.No. -

From: [KATHY HUNT](#)
To: [info](#)
Subject: Lot B 1158 Craigflower Rd. Proposed landscape budget
Date: Tuesday, November 24, 2020 8:47:25 AM

Soft Landscaping as per Zebra Design October 7, 2020 Sheet DP1

Related work by others;

- off site work
- subgrades to BCSLA standards

By Zenith Developments - supply and installation of;

a] Topsoil

1. Garden beds @ 18' depth - 24 yards @ \$35.00 per yard - \$840.00
2. Lawns @ 6" - 12 yards @ \$35.00 per yard - \$420.00
3. Delivery and installation - \$1,800.00

b] Plant material

1. 1.5 - 5cm caliper canopy tree @ \$425.00 installed (each house share cost of 1 tree in driveway on property line.)
2. Shrubs - \$2,600.00 installed
3. Ground cover - \$400.00 installed

c] Bark mulch 3 yards @ \$100.00 installed - \$300.00

d] Seeded lawns - 70 square yards @ \$12.00 per square yard installed - \$840.00

e. Gravel 6 yards @ \$100.00 per yard installed - \$600.00

Total proposed budget as outlined - \$8,225.00 plus GST

Prepared by David Hunt
Zenith Developments
www.zenithdevelopments.co
250-884-7924

THIS IS SCHEDULE 'B' OF
DEVELOPMENT PERMIT
NO. DP000148

CORPORATE OFFICER

