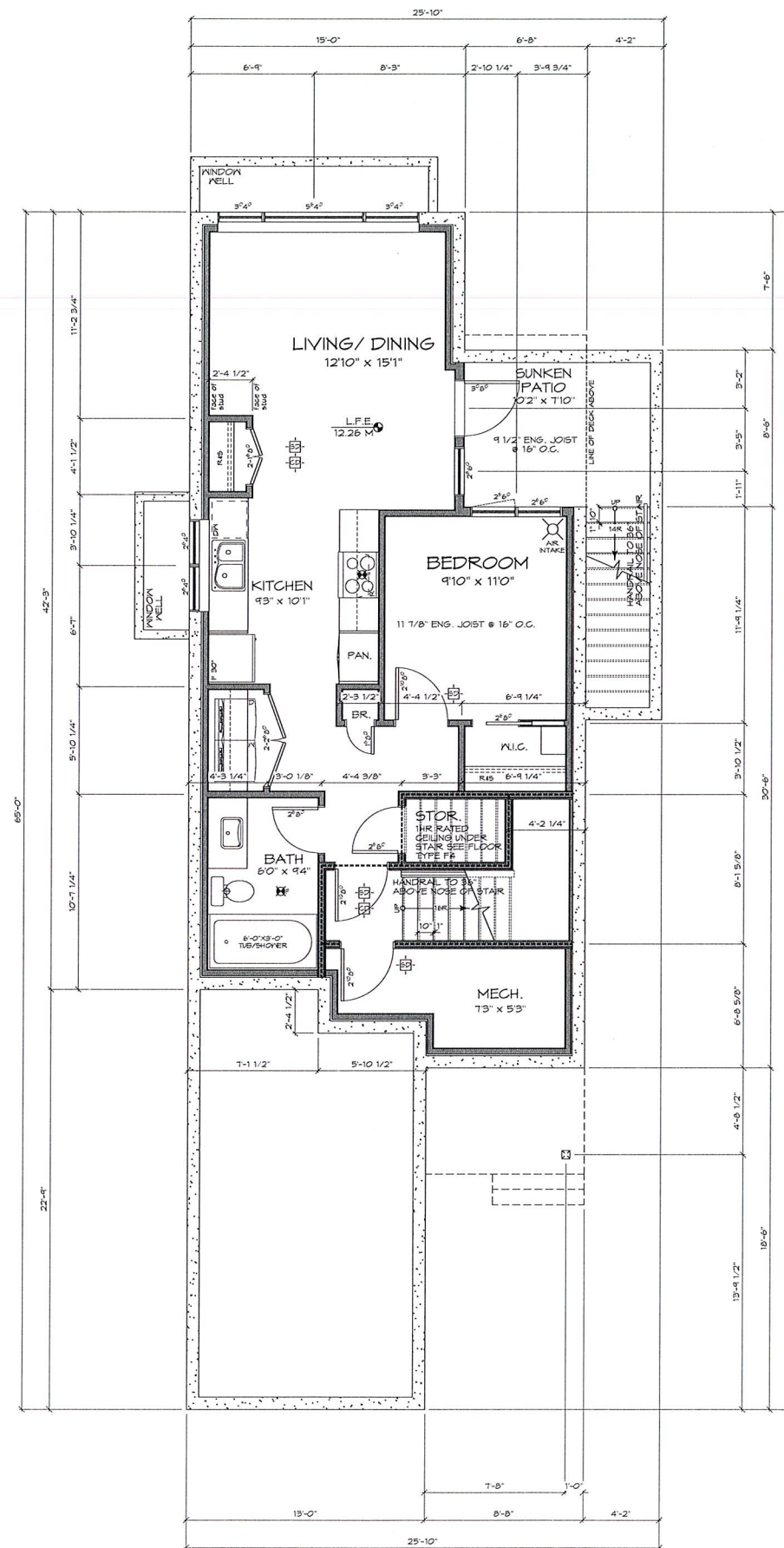


1 Foundation Plan
DP2 Scale 1/4" = 1'-0"

Scale 1/4" = 1'-0"



2 Lower Floor Plan
DP2 Scale 1/4" = 1'-0"

Scale $1/4" = 1'-0"$












WALL TYPE LEGEND

W1	
W2	
W3	
W4	
W5	
W6	
W7	
W8	

SYMBOL LEGEND

	SMOKE DETECTOR/ALARM
	CO DETECTOR/ALARM
	INTERCONNECTED ON ALL FLOORS
	CENTRE-LINE
	FAN
	POINT LOAD ABOVE
	COLUMN
	ENGINEERED CONNECTION
	FLOOR DRAIN
	AIR-INTAKE VENT
	FIRE RATED WALL

SYMBOL LEGEND

	SMOKE DETECTOR/ALARM
	CO DETECTOR/ALARM
	INTERCONNECTED ON ALL FLOORS
	CENTRE-LINE
	FAN
	POINT LOAD ABOVE
	COLUMN
	ENGINEERED CONNECTION
	FLOOR DRAIN
	AIR-INTAKE VENT
	FIRE RATED WALL



OCT 09 2020

**CORP. OF TOWNSHIP
OF ESQUIMALT
DEVELOPMENT SERVICES**

Issued for DP
October 7, 2020

ZEBRADESIGN

1161 NEWPORT AVE
Victoria, B.C. V8S 5E6
Phone: (250) 360-2144
Fax: (250) 360-2115

Drawn By: L. HORVAT

Date: DEC. 5, 2017

Scale: AS NOTED

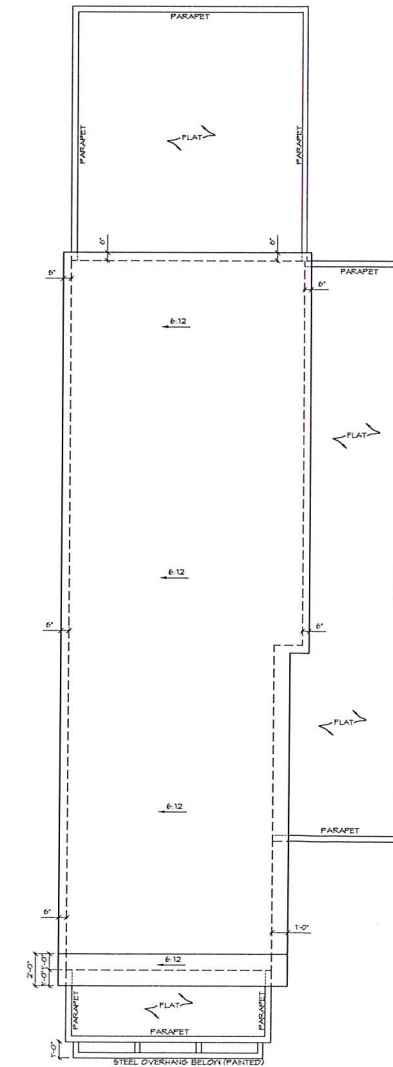
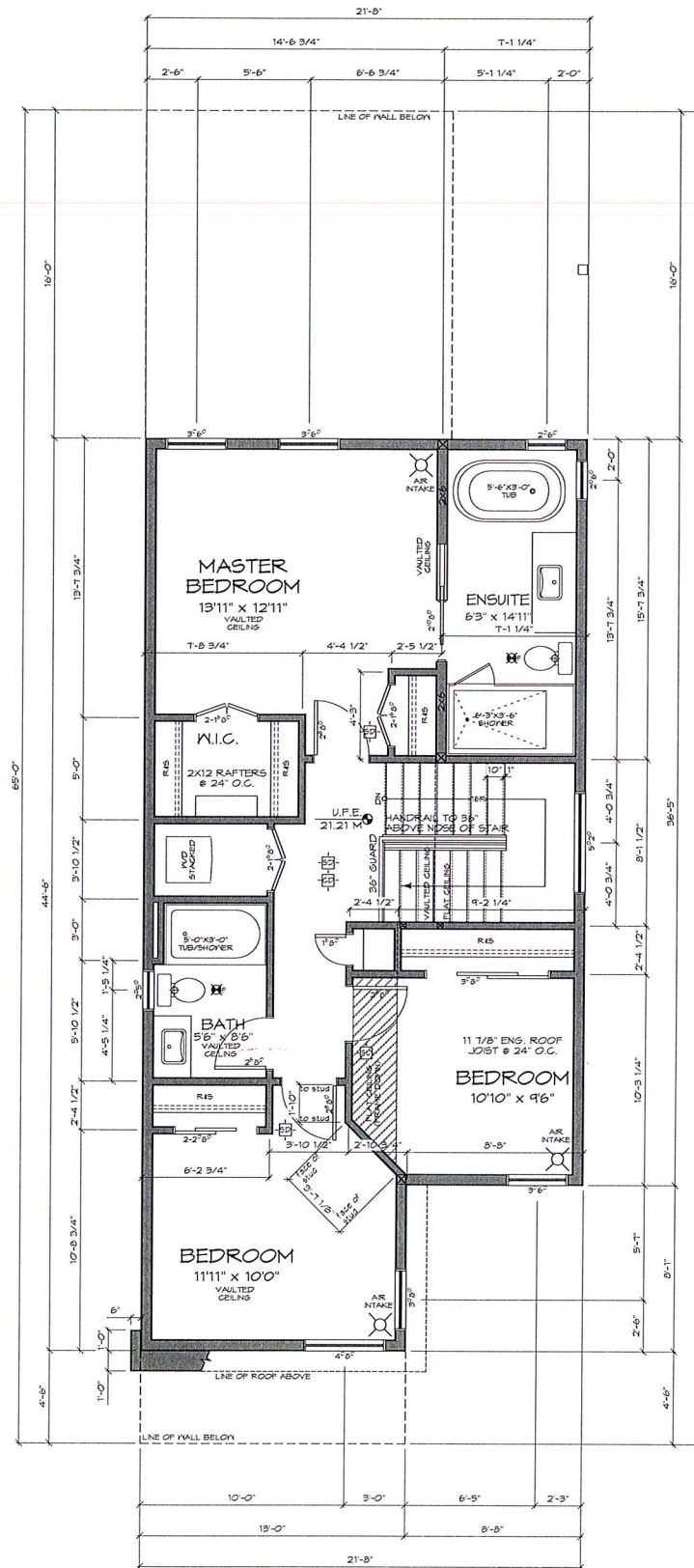
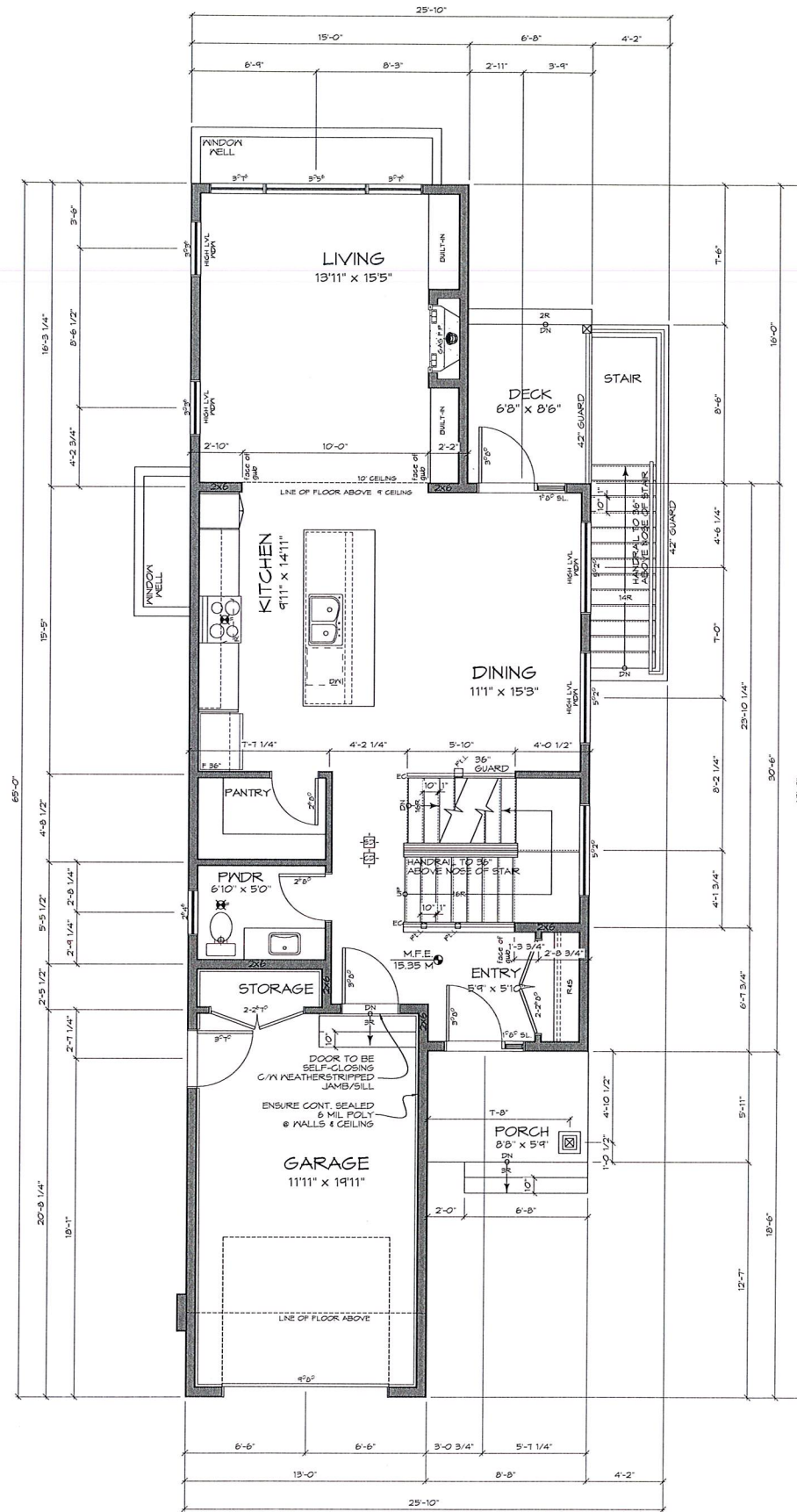
Project:
SFD @ LOT A 1158
CRAIGFLOWER
ROAD

Title:
FLOOR PLANS
LOT A

Revision:	Sheet:
-----------	--------

DP2

Proj.No.-



WALL TYPE LEGEND	
M1	---
M2	---
M3	---
M4	---
M5	---
M6	---
M7	---
M8	---
SYMBOL LEGEND	
+	SMOKE DETECTOR/ALARM
+	CO DETECTOR/ALARM
+	INTERCONNECTED ON ALL FLOORS
+	CENTRE-LINE
+	FAN
+	POINT LOAD ABOVE
+	COLUMN
+	ENGINEERED CONNECTION
+	FLOOR DRAIN
+	AIR-INTAKE VENT
---	FIRE RATED WALL

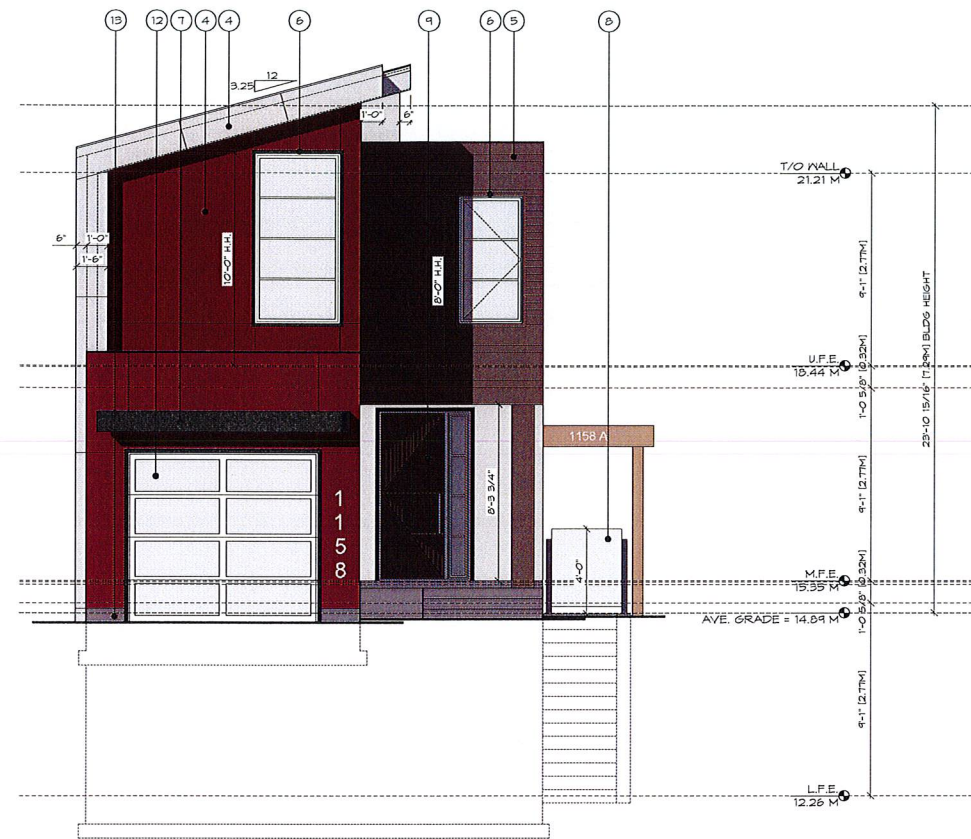
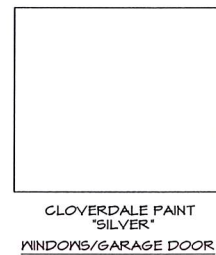
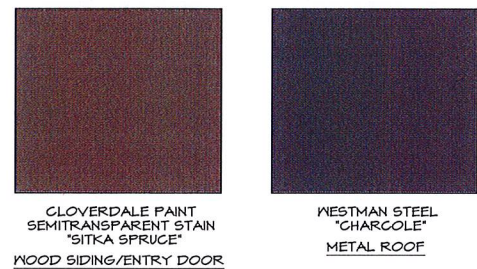
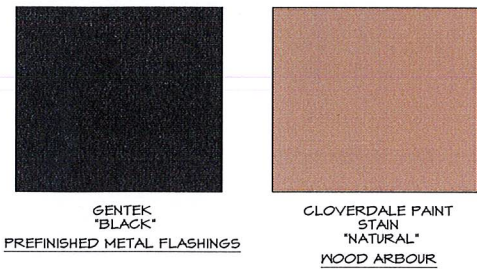
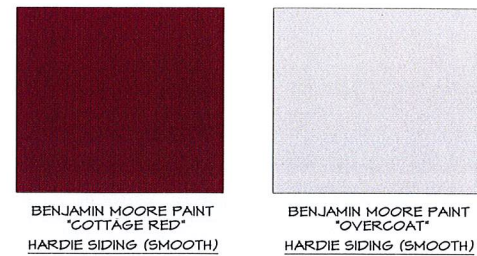
Issued for DP
 October 7, 2020

ZEBRADESIGN

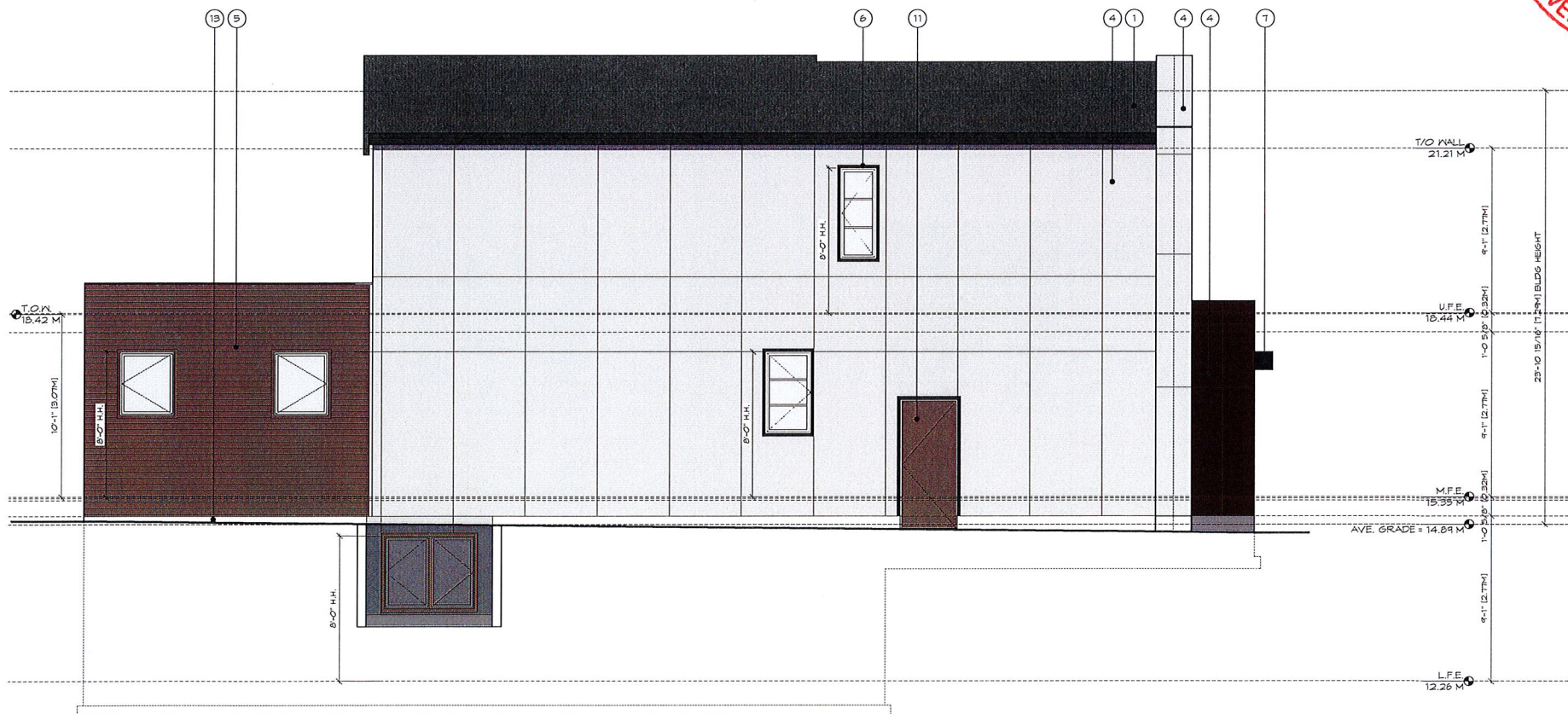
1161 NEWPORT AVE
 Victoria, B.C. V8S 5E6
 Phone: (250) 360-2144
 Fax: (250) 360-2115

Drawn By: L. HORVAT
 Date: DEC. 5, 2017
 Scale: AS NOTED
 Project:
 SFD @ LOT A 1158
 CRAIGFLOWER
 ROAD
 Title:
 FLOOR PLANS
 LOT A

Revision: Sheet:
DP3
 Proj.No. -



1 Front Elevation
DP4 Scale 1/4" = 1'-0"



2 Side Elevation (west)
DP4 Scale 1/4" = 1'-0"

- FINISH SCHEDULE KEY**
- FIBERGLASS SHINGLES
 - STANDING SEAM METAL ROOF-COLOUR AS SELECTED BY DESIGNER
 - PREFINISHED METAL GUTTER ON 2X8 FASCIA (PAINTED)
 - CEMENT BOARD PANEL C/W REVEALS (PAINTED) (COLOUR AS SELECTED BY DESIGNER)
 - HORIZONTAL WOOD (FIR) SIDING, T&G, 4" EXPOSURE (STAINED)
 - 2" WINDOW/DOOR TRIM-FLASH OVER ALL WINDOWS/DOORS (TYP.). 2" CANTED SILL C/W CONT. DRIP EDGE. (PAINTED)
 - STEEL OVERHANG (PAINTED)
 - METAL/GLASS GUARD RAIL/GATE (HT. AS PER CODE)
 - WOOD DOOR WITH SIDELIGHT
 - WOOD DOOR WITH GLAZING AND SIDELIGHT
 - METAL INSULATED DOOR - PAINTED
 - METAL/GLASS GARAGE DOOR - PREFINISHED
 - EXPOSED FOUNDATION (MIN. 6" ABOVE GRADE)
 - 2X10 FASCIA (PAINTED)
- NOTES:**
- WINDOW OPERATION (I.E. DIRECTION OF SWING) SHALL BE PER OWNER'S DIRECTION AND CONFORM TO B.C.B.C. 2018 REQUIREMENTS FOR EGRESS.
- FLASH OVER ALL MATERIAL TRANSITIONS, DOOR & WINDOW HEADS
- NO COMBED-FACE TRIM
- ALL COLOURS BY DESIGNER/OWNER



Issued for DP
October 7, 2020

ZEBRADESIGN

1161 NEWPORT AVE
Victoria, B.C. V8S 5E6
Phone: (250) 360-2144
Fax: (250) 360-2115

Drawn By: L. HORVAT

Date: DEC. 5, 2017

Scale: AS NOTED

Project:
SFD @ LOT A 1158
CRAIGFLOWER
ROAD

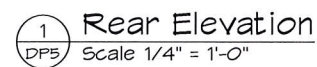
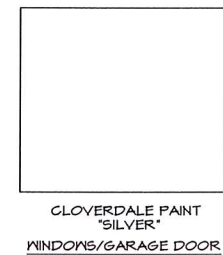
Title:
ELEVATIONS
LOT A

Revision: Sheet:

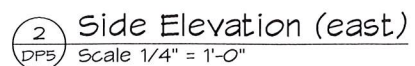
DP4

Proj.No. -

MAXIMUM GLAZING CALCULATION - SIDE ELEVATION (north)	
DISTANCE TO PROPERTY LINE	1.50 M (4.92')
EXPOSED BUILDING FACE AREA	111.72 M ² (1202.60 SF)
GLAZING AREA	2.94 M ² (31.63 SF)
PERCENTAGE	2.63% (ALLOWED 7.00%)



- ALL COLOURS BY DESIGNER/OWNER



Proj.No. -

GENERAL NOTES

- CONTRACTOR TO VERIFY ALL DIMENSIONS AND DETAILS PRIOR TO COMMENCEMENT OF WORK AND SHALL NOTIFY DESIGNER OF ANY ERRORS OR DISCREPANCIES.
- NOTED DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DRAWINGS.
- EXTERIOR DIMENSIONING IS TO FACE OF CONCRETE/HEATHING. INTERIOR DIMENSIONING IS TO CENTRE-LINE OF PARTITION.
- WHERE NOTED BY 'ENG.' OR 'ENGINEERED', ALL STRUCTURE SHALL BE ENGINEERED BY CERTIFIED STRUCTURAL ENGINEER, INCLUDING, BUT NOT LIMITED TO: SPANS, SHEAR WALLS, FOOTINGS AND FOUNDATION WALLS, BEAMS, JOISTS, LINTELS, COLLARS AND CONNECTIONS. THIS APPLIES ALSO TO ITEMS NOTED AS 'ENGINEERED'. ENGINEERED DRAWINGS SHALL BE STAMPED WITH ENGINEER'S SEAL.
- ALL WORK SHALL BE EQUAL IN ALL RESPECTS TO GOOD CONSTRUCTION PRACTICE, AND SHALL CONFORM TO CURRENT RESIDENTIAL STANDARDS AND THE BRITISH COLUMBIA BUILDING CODE 2018 OR LOCAL BUILDING CODES AND BY-LAWS WHICH MAY TAKE PRECEDENCE.
- IT IS THE RESPONSIBILITY OF THE OWNER/CONTRACTOR TO HAVE SITE SOIL CONDITIONS INSPECTED, AND ADVISE DESIGNER OF ANY SOIL CONDITIONS WHICH MAY REQUIRE SPECIAL FOUNDATION DESIGN. ALL FOOTINGS TO FIRM BEARING.
- PROVIDE ATTIC AND CRAWL SPACES WITH VENTILATION AND ACCESS IN ACCORDANCE WITH B.C.B.C. 2018 PART 9.
- ALL WOOD FRAMING TO BE SPRUCE-PINE-FIR, UNLESS NOTED OTHERWISE OR ENGINEERED. ALL FRAMING IS TO BE IN ACCORDANCE WITH B.C.B.C. 2018 AND GOOD CONSTRUCTION PRACTICE.
- PROVIDE MINIMUM OF 8" (200mm) CLEARANCE FROM GRADE TO NOOD GLADDING MATERIALS. EXTERIOR FOUNDATION WALLS SHALL NOT BE LESS THAN 6" (150mm) ABOVE ADJACENT GRADE.
- ALL WOOD LINTELS TO CONFORM TO B.C.B.C. 2018 PART 9 WHERE SUPPORTING FLOOR OR ROOF LOADS.
- INSTALL INTERCONNECTED SMOKE ALARMS IN ACCORDANCE WITH B.C.B.C. 2018 PART 9.1.1.1 - ALL INTERCONNECTED CO ALARMS IN ACCORDANCE WITH B.C.B.C. 2018 4.3.2.4.2.
- ALL WOOD IN CONTACT WITH CONCRETE INCLUDING SILL PLATES MUST BE PRESSURE TREATED OR SEPARATED WITH SILL GASKET OR OTHER APPROVED MATERIAL.
- ALL NOTED 'ENGINEERED' COMPONENTS, SUCH AS ROOF TRUSSES, BEAMS, AND ENGINEERED FLOOR SYSTEMS, REQUIRE ENGINEERED DRAWING SUBMITTAL AND MUST BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S DETAILS AND SPECIFICATIONS.
- SUPPLY AND INSTALL ALL WINDOW TYPES, INTERIOR CASINGS, AND MILLWORK TO OWNER'S APPROVAL. WINDOWS MUST MEET NEW CRITERION FOR AIR-TIGHTNESS, WATER-TIGHTNESS, RESISTANCE TO WIND LOAD AND BREAK-IN (security). ALL WINDOWS TO COMPLY WITH MUNICIPAL REQUIREMENTS FOR MAPS-RATINGS FOR ALL WINDOWS WITHIN 2 METRES OF GRADE. THE RELEVANT STANDARD REQUIRES THAT THE RATINGS BE CLEARLY LABELLED ON ALL WINDOW UNITS OR WINDOWS ARE TO BE ENGINEERED IN SEALED DRAWINGS AND LETTERS OF ASSURANCE. WINDOWS AND DOORS MUST COMPLY WITH MUNICIPAL REQUIREMENTS FOR U-VALUE.
- INSTALL GRASPABLE HANDRAIL TO ALL INTERIOR STAIRS AT 34" (865mm) MIN. TO 38" (965mm) MAX. ABOVE NOSING.
- INSTALL GUARDRAIL AT ALL BALCONES, DECKS, AND PORCHES GREATER THAN 2' (600mm) ABOVE ADJACENT GRADE OR LEVEL. INSTALL GUARDRAIL AT 42" (1070mm) WHERE DECK IS GREATER THAN 6' (1800mm) ABOVE ADJACENT SURFACE, OTHERWISE 36" (915mm) GUARDRAIL ALLOWED. CANTILEVERED GLASS GUARDRAILS SHALL BE ANCHORED WITH GLAZING SHOE TO RESIST LATERAL LOADS PER B.C.B.C. 2018. OTHER GLAZED RAILINGS ASSEMBLIES (GLAZING AND SUPPORTS) TO BE ENGINEERED IN SEALED DWGS. AND LETTERS OF ASSURANCE.
- INSTALL WATERPROOF MEMBRANE ON BUILDING PAPER ON WATER-RESISTANT WALLBOARD (min. 5' - 150mm) ON FRAMING AS SUBSTRATE AROUND ALL WALL & CEILING AREAS OF STEAM/SHOWER. INSTALL WATER-RESISTANT WALLBOARD AROUND ALL WET AREAS TO MIN 6'-0" (1.82m) HIGH.
- PROVIDE HEATING, MECHANICAL VENTILATION, AND AIR CONDITIONING WHERE REQUIRED IN ACCORDANCE WITH CURRENT LOCAL BUILDING BUILDING CODE AND BY-LAWS. MECHANICAL CONTRACTOR TO PROVIDE MECHANICAL CHECKLIST COMPLETE WITH FAN & DUCT SIZES PRIOR TO FINAL FRAMING INSPECTION.
- PROVIDE ELECTRICAL ENGINEERING BY APPROVED AND CERTIFIED CONTRACTOR. RECEPTACLES AND AFFLUENCE LOCATIONS TO BE APPROVED BY OWNER.
- ANY ALTERNATIVE STRUCTURAL ENGINEERING TO BE APPROVED AND VERIFIED BY CERTIFIED STRUCTURAL ENGINEER. SUBMIT ENGINEERED DRAWINGS TO DESIGNER.
- FIRE PROTECTION AND LIFE SAFETY PROVISIONS TO CONFORM TO THE REQUIREMENTS OF THE B.C.B.C. 2018 PART 9.
- VERIFY EXISTING AND PROPOSED GRADES PRIOR TO SETTING OUT AND CUT, FILL, & COMPACT ACCORDING TO BUILDING ELEVATIONS.
- ALL INTERIOR FINISHES, CASINGS, WINDOW TYPES, AND MILLWORK TO OWNER'S APPROVAL.
- STAIR TREADS TO BE CONSTRUCTED OF PLYWOOD OR OTHER ENGINEERED PRODUCT, FASTENED WITH SCREWS AND SUB-FLOOR ADHESIVE.
- ALL FLOOR SHEATHING MUST BE SECURED WITH 1 5/8" (40mm) GALVANIZED OR COATED FLOOR SCREWS ON 6" O.C. (150mm)
- SOLID EAVE PROTECTION ON OVERHANG IS REQUIRED ON ALL SHAKE ROOFS.
- TEMPORARY HEAT AND/OR FANS REQUIRED PRIOR TO DRYWALL INSTALLATION TO ASSIST IN THE DRYING OF INTERIOR FRAMEWORK.
- MOISTURE CONTENT OF THE INTERIOR FRAME MUST NOT EXCEED 19% PRIOR TO APPLICATION OF VAPOR BARRIER AND DRYWALL.
- TWO CONTINUOUS LAYERS OF 30MIN. BUILDING PAPER MUST BE APPLIED TO EXTERIOR SHEATHING EITHER SHUTTLED - OR INSTALLED WITH 22" (550mm) OVERLAP SEAMS HALF-LAPPED TO THE 2nd MID-LINE OF THE BUILDING PAPER.
- POSITIVE SLOPE FLASHINGS MUST BE INSTALLED ABOVE ALL WINDOWS, DOORS, SILLS, VENTS AND MATERIAL TRANSITIONS. ALL FLASHINGS MUST BE INSTALLED BEHIND BUILDING PAPER, WITH MECHANICALLY SEALED END DAMS. ALL FLASHINGS MUST EXTEND A MINIMUM OF 1" (25mm) BEYOND BOUNDARY OF THE OPENING TO WHICH THEY ARE APPLIED.
- BUILDING PAPER & FELT PRE-STRIPPING, ONLY, TO CONTACT EXTERIOR SHEATHING. SELF-ADHERING MEMBRANES ARE NOT TO CONTACT WOOD SURFACES.
- ALL RAINSCREEN CAVITIES TO BE VENTED TOP & BOTTOM WITH INSECT PROOF VENT STRIPS.
- PROVIDE STEPPED FOOTINGS WHERE REQUIRED IN ACCORDANCE WITH EXISTING OR FUTURE GRADES. ALL FOOTINGS MUST REST ON SOLID UNDISTURBED BEARING AT AN ELEVATION BELOW FROST PENETRATION DEPTH ON COMPETENT BEARING.
- 20 MPa CONCRETE FOUNDATION WALL 3" (200mm) THICK MAY BE A MAXIMUM OF 4' (1.2 m) HIGH FROM GRADE TO U/S FLOOR. ALL FOUNDATIONS UNBURIED AT THE TOP. REFER TO B.C.B.C. 2018, 4.15.4. ALL OTHER CONCRETE WALLS TO BE ENGINEERED.
- PLUMBING PERMIT REQUIRED FOR INSTALLATION OF PLUMBING SYSTEM AND DRAINAGE SYSTEM FOR BUILDING. ENSURE ALL FIXTURES CONFORM TO CURRENT APPROPRIATE CSA STANDARDS.
- ALL DOOR AND WINDOW SIZES ARE APPROXIMATE AND MUST BE VERIFIED BY THE BUILDER/OWNER PRIOR TO ORDERING.
- WHERE ALLOWED BY MUNICIPAL AUTHORITY HAVING JURISDICTION, APPROVED HOUSE WRAP, SUCH AS 'TYVEC' OR 'TYVEK' MAY BE USED, IF APPLIED AS SPECIFIED BY THE MANUFACTURER.

ABBREVIATIONS

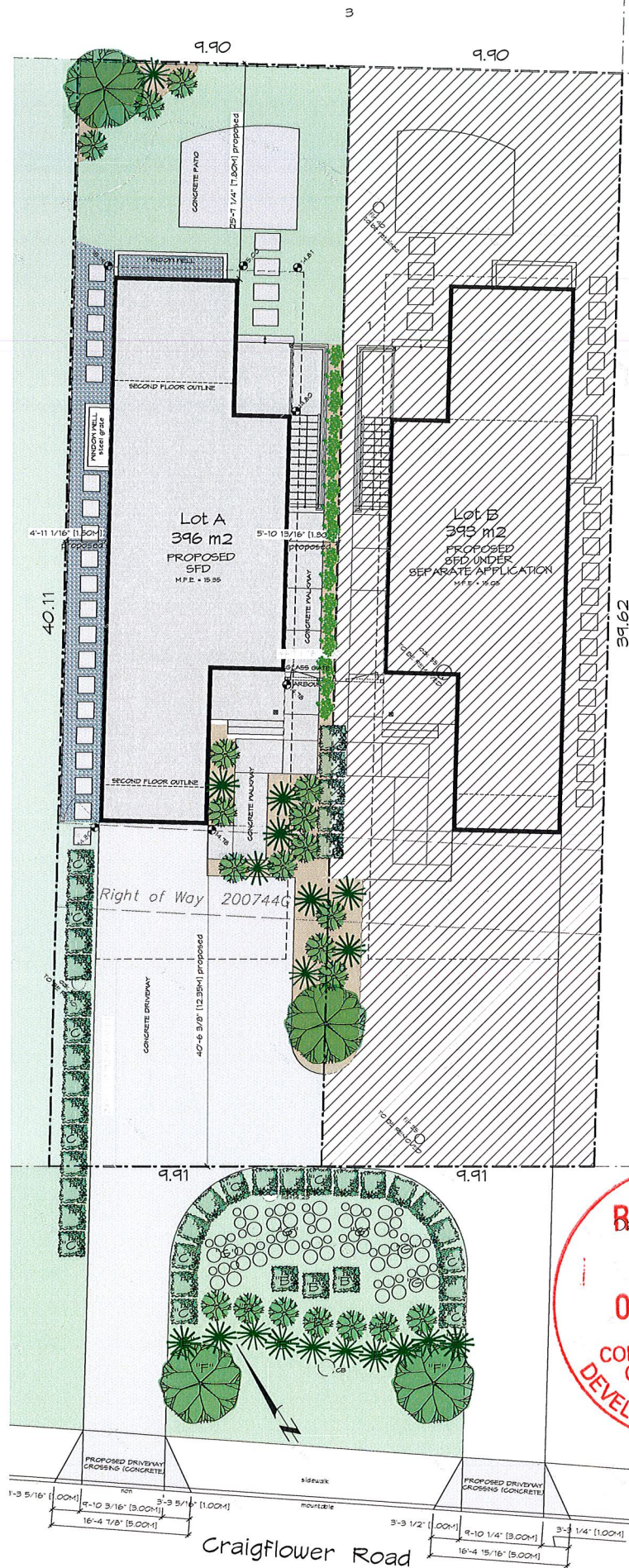
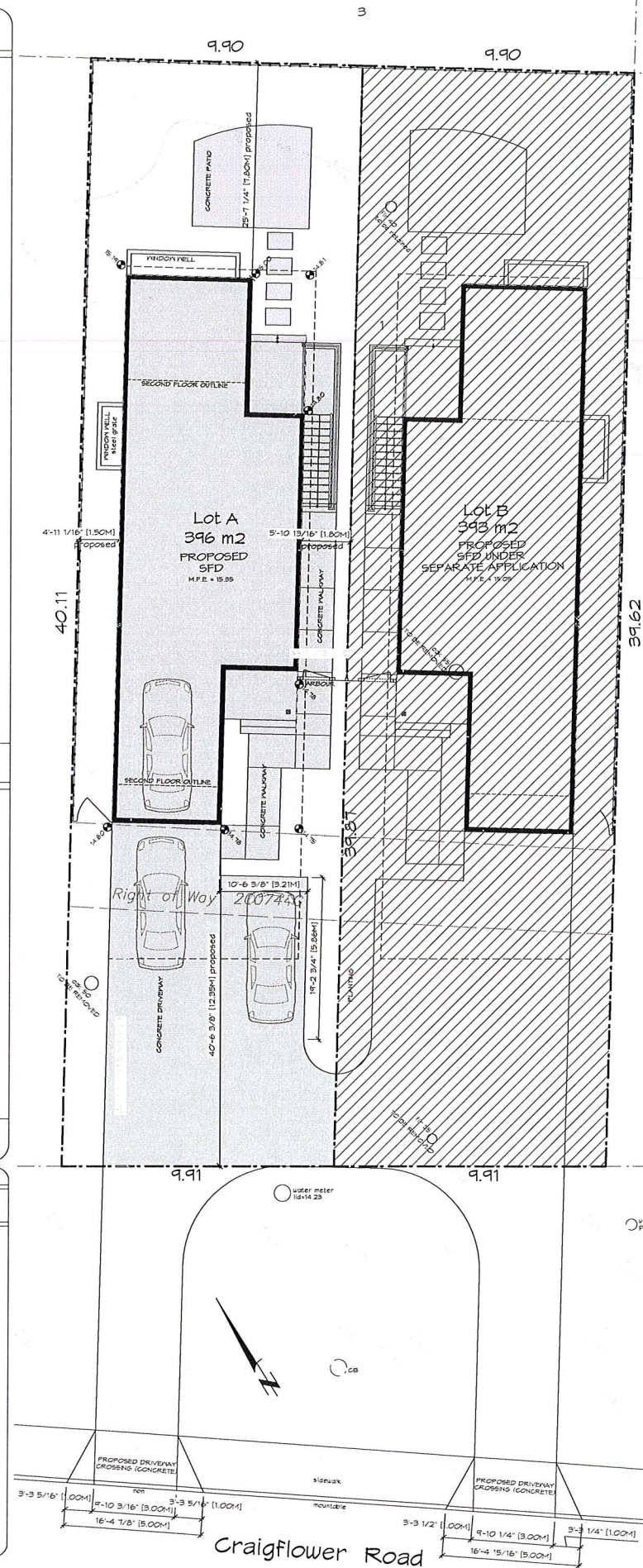
A/A ATTIC ACCESS - MIN 24"x36"
AFF ABOVE FINISHED FLOOR
B.F.E. BASEMENT FLOOR ELEVATION
BU BUILT-UP
CONT CONTINUOUS
DP DROPPED BEAM
EG ENGINEERED CONNECTION
REQUIRES STRUCTURAL ENGINEER
ENG. ENGINEERED
REQUIRES STRUCTURAL ENGINEERING
BY P. ENG. C/N SEALED DRAWINGS
FL FLUSH BEAM
H.H. HEAD HEIGHT
M.F.E. MAIN FLOOR ELEVATION
O.C. ON CENTRE
PRE-FIN PREFINISHED
P.L. POINT LOAD ABOVE
R/S ROD & SHELF
SPF SPRUCE/PINE/FIR #2
T/G TONGUE & GROOVE
T.O.S. TOP OF SLAB
U.F.E. UPPER FLOOR ELEVATION
U.N.O. UNLESS NOTED OTHERWISE
V.O.S. VERIFY ON SITE

SITE DATA - PROPOSED LOT A @ 1158 CRAIGFLOWER ROAD

LEGAL DESCRIPTION - LOT 1, SECTION 2, ESQUIMALT DISTRICT, PLAN 5166		
ZONING - CDD no. 114		
PROPOSED SFD	REQUIRED	PROPOSED
LOT AREA	396 M ²	396.04 M ² (4262.42 FT ²)
LOT DEPTH	150 M	149 M (326.4')
SETBACKS		
FRONT	150 M	12.95 M (40.82')
REAR	150 M	7.81 M (25.62 FT)
SIDE (WEST)	150 M	1.50 M (4.92')
SIDE (EAST)	150 M	1.00 M (3.28')
SIDE COMBINED	3.30 M	3.30 M (10.83')
AVERAGE GRADE		14.84 M (48.69')
BUILDING HEIGHT	7.30 M	7.24 M (23.75')
FLOOR AREA		
UPPER FLOOR	76.91 M ²	64.78 M ² (701.21 FT ²)
MAIN FLOOR	76.02 M ²	76.02 M ² (826.02 FT ²)
ATTACHED GARAGE	24.41 M ²	24.41 M ² (263.42 FT ²)
GARAGE ALLOWANCE	24.41 M ²	24.41 M ² (263.42 FT ²)
BASEMENT	67.42 M ²	67.42 M ² (728.71 FT ²)
BASEMENT EXEMPTION	CEILING LESS THAN 1.2M ABOVE GRADE	-67.42 M ² (-728.71 FT ²)
TOTAL FLOOR AREAS		
MAIN AND UPPER FLOORS	149.54 M ²	142.81 M ² (1537.24 FT ²)
ALL FLOORS COMBINED	210.23 M ²	210.23 M ² (2263.00 FT ²)
FLOOR AREA RATIO	0.36	0.36
SITE COVERAGE	30.00%	24.31%
PARKINGS	2	2

DRAWING LIST

- DP1 SITE PLAN, LANDSCAPE PLAN & GENERAL NOTES
DP2 PLANS
DP3 PLANS
DP4 ELEVATIONS
DP5 ELEVATIONS

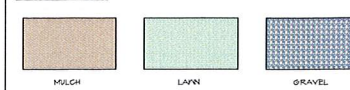


LANDSCAPE PLAN LEGEND

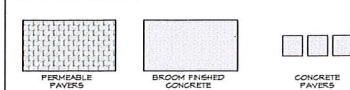
TREES AND SHRUBS



GROUND COVER



HARD LANDSCAPING



EXISTING SIDEWALK PAVES



FENCE



NOTES

- LANDSCAPING INDICATED IS CONCEPTUAL ONLY AND REQUIRES INSTALLATION BY A QUALIFIED LANDSCAPING CONTRACTOR.
- CONTRACTOR TO IDENTIFY UTILITIES PROVIDED THROUGH UNDERGROUND PIPES AND AVOID CONFLICT WITH EXISTING UTILITIES.
- ALL LANDSCAPING SHALL BE PERFORMED TO B.C.S.A. B.C.N.A. STANDARDS.
- ALL EXISTING TREES TO REMAIN, UNLESS NOTED OTHERWISE.
- FLOOD FENCE TO BE MAX HEIGHT OF 1.50M (4'-7") BETWEEN FRONT PROPERTY LINE AND FRONT OF BUILDING. 1.50M (4'-7") BETWEEN FRONT OF BUILDING AND REAR PROPERTY LINE.

SUGGESTED PLANTING LIST

TREES	BOTANICAL NAME	COMMON NAME	SIZE
	CORRUS VENIS	FLOVERING DOGWOOD	2.5M HT. B.B.
	CAMELIA JAPONICA SPECIOSA	EVERGREEN CAMELIA	3 CM HT. B.B.
	HIG MALESTY CULTIVA	CORRUS VENIS	2.5M HT. B.B.
	QUERCUS GARRARANA	GARRY OAK	3 CM HT. B.B.
	PAUS SILVATICA DWAYCIRI	RED OREBARK	3 CM HT. B.B.
SHRUBS	BOTANICAL NAME	COMMON NAME	SIZE
	ARENUTUS UNDO COMPACTA	STRANBERY TREE	#5
	BENBERGUS THUNDERHILL ATROPURPUREA	BARKERBERRY	#2
	BUNUS HUGERPHILLA	DWARF BOWWOOD	#2
	CAMELIA JAPONICA	RED CAMELIA	#5
	CETUS LADAMER	CARSON ROSE ROSE	#1
	CEANOTHUS GLOBOUSUS INCRABRE	PROSTRATE MOUNTAIN LILAC	#1
	ERICA CARNEA SPRINGWOOD	WHITE HEATHER	#1
	ERICA X CHARLENSIS PUREIT	PINK HEATHER	#1
	ERSCALLONIA SEVOT DYNARF	DWARF ESCALLONIA	#2
	HERE 'PATRYS' FURBELL	HERE	#2
	LANTOULA ANGSTROFIA WIDGOTE	HEDGE LAVENDER	#1
	RIBES BANGSIENHAI KING EDWARD	PINK FLOVERING CURRANT	#5
	RHOODODENDRON	WHITE RHOODODENDRON	#5
	SPIREA FRUNIFOLIA	BICAL FLEATH SPIREA	#5
	VERBNA DAVEN	EVERGREEN VERBNA	#5
	SELECTION BY GRENKJ	ORNAMENTAL GRASS	4' HEIGHT MN.
	MISCANTIS	SILVER STYFE	4' HEIGHT MN.
	NANDINA KOMETICA	GOLF STREAM	2' HEIGHT MN.
	OLEARIA HASTI	DWARF BUSH	4' HEIGHT MN.
	BERBIS	CONCARDE	2' HEIGHT MN.
	STIPA TENUSIA	HEDGEON FEATHER GRASS	2' HEIGHT MN.
GROUND COVER	BOTANICAL NAME	COMMON NAME	SIZE
	PARTHENOCORUS QUINGEOLIA	VERON CREEPER	#1
	THYNS PINK SUFFLE	CREEPING THYME	500, 300M DIA.

Issued for DP
October 7, 2020

ZEBRADDESIGN

1161 NEWPORT AVE
Victoria, B.C. V8S 5E6
Phone: (250) 360-2144
Fax: (250) 360-2115

Drawn By: L. HORVAT

Date: DEC. 5, 2017

Scale: AS NOTED

Project:

SFD @ LOT A 1158
CRAIGFLOWER
ROAD

Title:
SITE PLAN,
LANDSCAPE PLAN
AND SITE DATA

Revision: Sheet:

DP1

Proj. No. -



BCGS 92B.043

All distances are shown in metres.

The intended plot size of this plan is 432mm in width by 560 mm in height (C size) when plotted at a scale of 1:500.

LEGEND

Integrated Survey Area No. 38, Township of Esquimalt,
NAD83(CSRS)3.0.0.BC.1.CRD.

Grid bearings are derived from geodetic control monuments 84H0213 and 84H0250 and are referred to the central meridian of UTM Zone 10.

The UTM coordinates and estimated absolute accuracy achieved are derived from the MASCOT published coordinates and standard deviations for the geodetic control monuments 84H0213 and 84H0250.

This plan shows horizontal ground-level distances unless otherwise specified. To compute grid distances, multiply ground level distances by the average combined factor of 0.99961135 which has been derived from geodetic control monuments 84H0213 and 84H0250.

Found	Set	Denotes
●	○	Standard Iron Post
■		Standard Lead Plug
⊙		Control Monument
⊕		Non Standard Post
OU		Origin unknown

84H0213
Datum: NAD83(CSR)3.0.0.BC.1.CRD
UTM Zone 10 coordinates
UTM Northing 5,366,147.005
UTM Easting 469,559.768
Absolute accuracy 0.015



This plan lies within the jurisdiction of the
Approving Officer for the Township of Esquimalt.

This plan lies within the Capital Regional District.

The field survey represented by this plan was completed on the 28th day of August, 2019.
James Worton, BCLS 757

```

      84H0250
Datum: NAD83(CSR)S3.0.0.BC.1.CRD
UTM Zone 10 coordinates
UTM Northing      5,365,610.312
UTM Easting       470,102.125
Absolute accuracy      0.015

```

File	12737 - 35
Drawing	SUB PLAN
POWELL & ASSOCIATES B C Land Surveyors 250-2950 Douglas Street Victoria, BC V8T 4N4 Phone: (250) 382-8855	