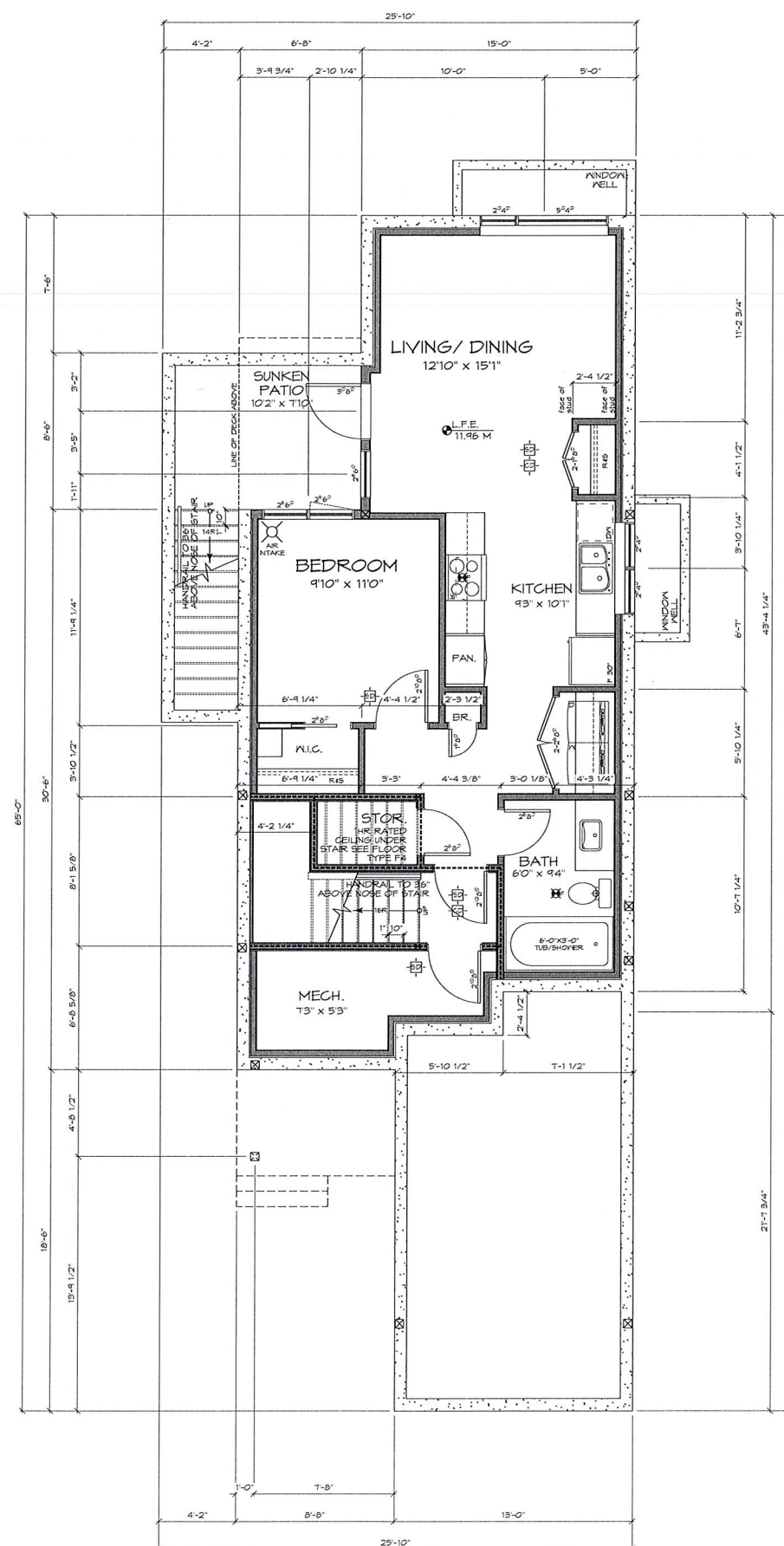


1 Foundation Plan
DP2 Scale 1/4" = 1'-0"



2 Lower Floor Plan
DP2 Scale 1/4" = 1'-0"












WALL TYPE LEGEND

W1	
W2	
W3	
W4	
W5	
W6	
W7	
W8	

SYMBOL LEGEND

	SMOKE DETECTOR/ALARM
	GAS DETECTOR/ALARM
	INTERCONNECTED ON ALL FLOORS
	CENTRE-LINE
	FAN
P.L. 	POINT LOAD ABOVE
	COLUMN
	ENGINEERED CONNECTION
F.D. 	FLOOR DRAIN
	AIR-INTAKE VENT
-----	FIRE RATED WALL

SYMBOL LEGEND

	SMOKE DETECTOR/ALARM
	CO DETECTOR/ALARM
	INTERCONNECTED ON ALL FLOORS
	CENTRE-LINE
	FAN
	POINT LOAD ABOVE
	COLUMN
	ENGINEERED CONNECTION
	FLOOR DRAIN
	AIR-INTAKE VENT
	FIRE RATED WALL



OCT 09 2021

CORP. OF TOWNSHIP
OF ESQUIMALT
DEVELOPMENT SERVICE

Issued for DP
October 7, 2020

ZEBRADESIGN

1161 NEWPORT AVE
Victoria, B.C. V8S 5E6
Phone: (250) 360-2144
Fax: (250) 360-2115

Drawn By: L. HORVAT

Date: DEC. 5, 2017

Scale: AS NOTED

Project:

SFD @ LOT B 1158

CRAIGFLOWER
ROAD

ROAD

Title:

FLOOR PLANS
LOT 2

LOT B

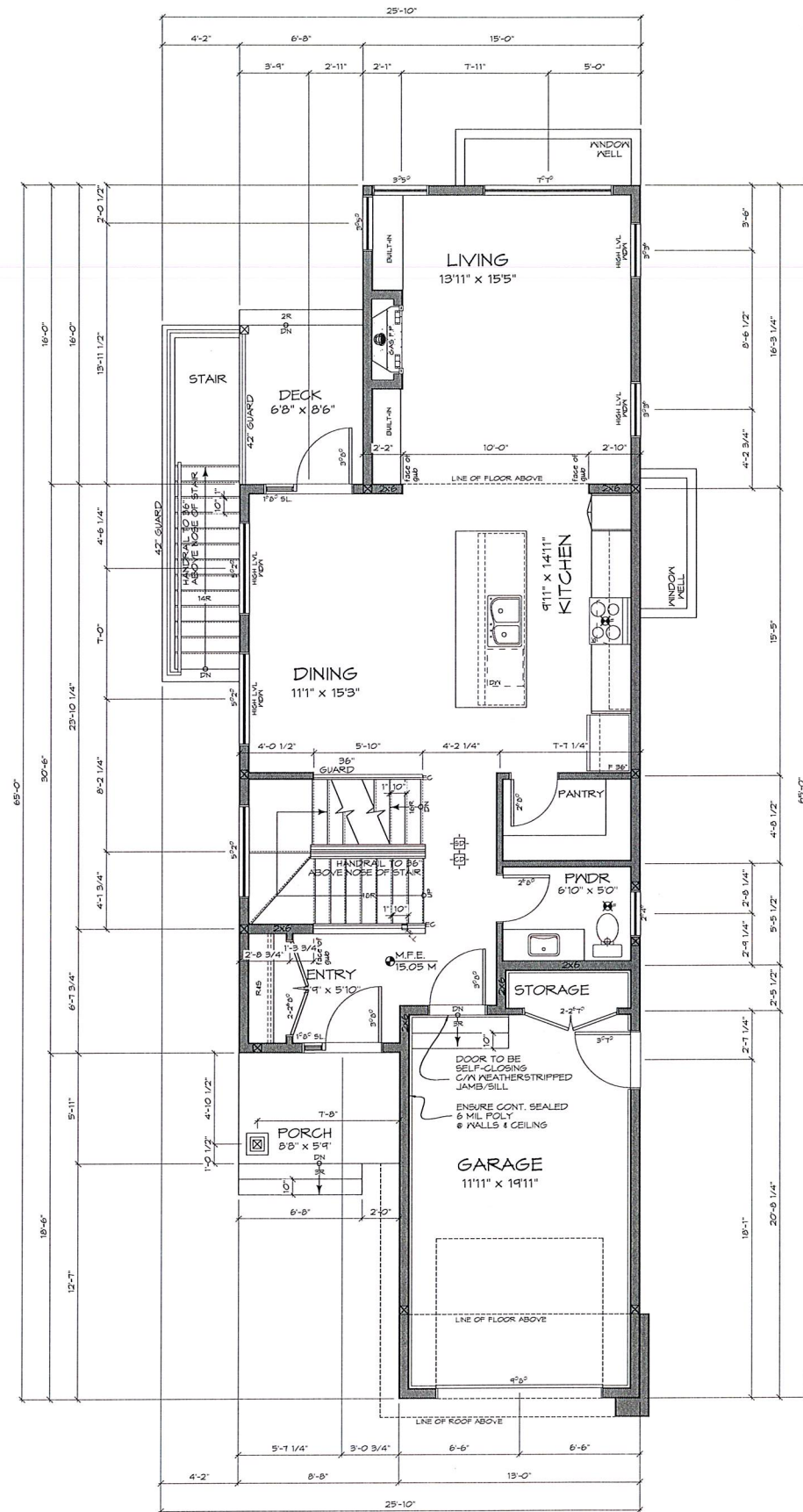
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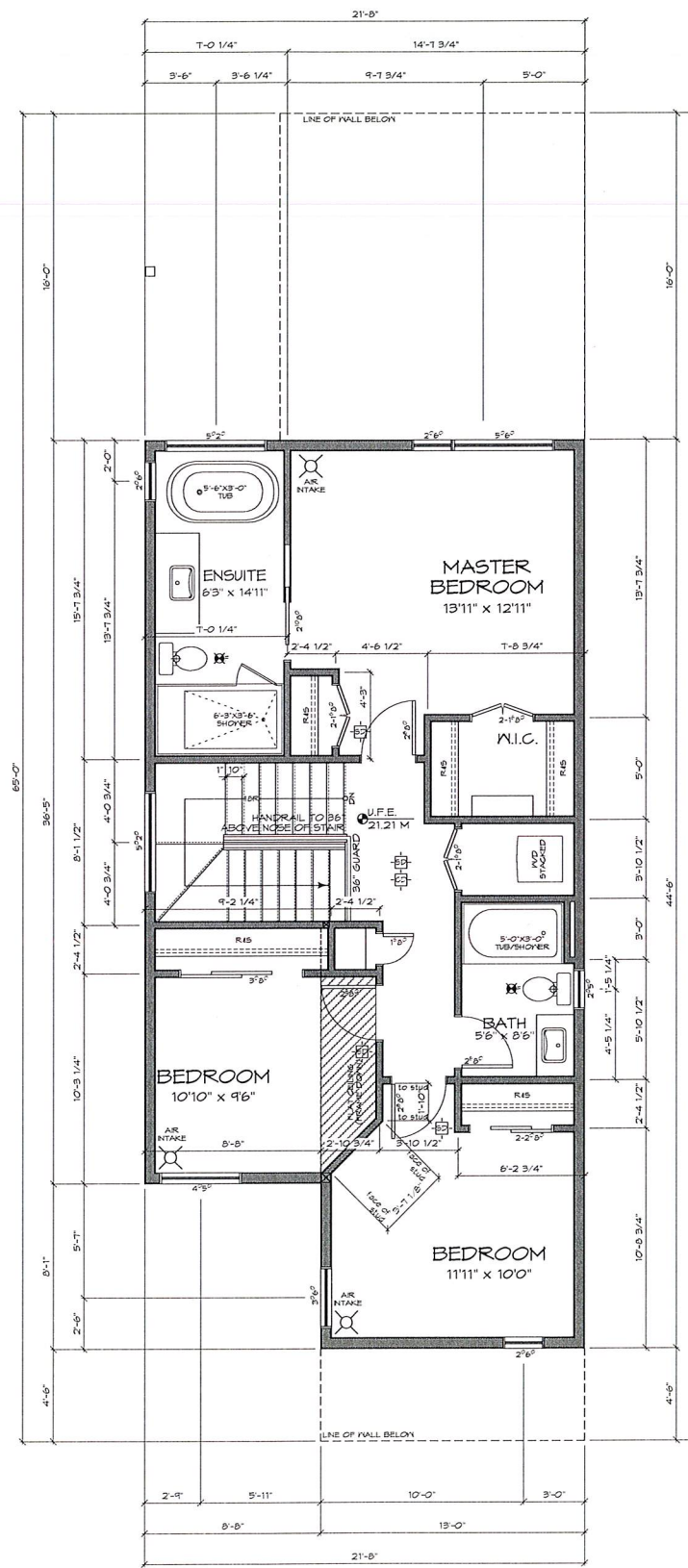
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DF2

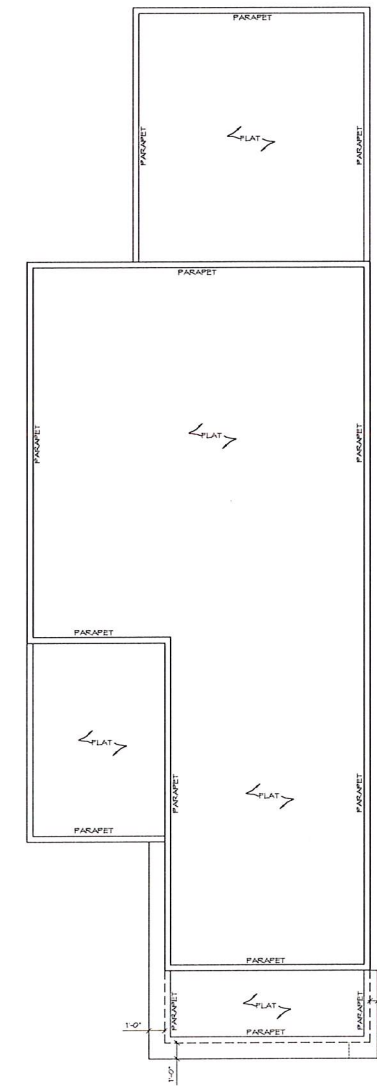
	Proj.No. -
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1 Main Floor Plan
DP3 Scale 1/4" = 1'-0"



2 Second Floor Plan
DP3 Scale 1/4" = 1'-0"



3 Roof Plan
DP3 Scale 3/16" = 1'-0"

WALL TYPE LEGEND

M1	
M2	
M3	
M4	
M5	
M6	
M7	
M8	

SYMBOL LEGEND

	SMOKE DETECTOR/ALARM
	CO DETECTOR/ALARM
	INTERCONNECTED ON ALL FLOORS
	CENTRE-LINE
	FAN
PL ₂	POINT LOAD ABOVE COLUMN
	COLUMN
EC	ENGINEERED CONNECTION
F.D	FLOOR DRAIN
AIR INTAKE	AIR-INTAKE VENT
-----	FIRE RATED WALL



OCT 09 2020

CORP. OF TOWNSHIP
OF ESQUIMALT
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Project:

SFD @ LOT B 1158

CRAIGFLOWER

ROAD

Title:

FLOOR PLANS
 LOT 7

LOT B	
-------	--

100

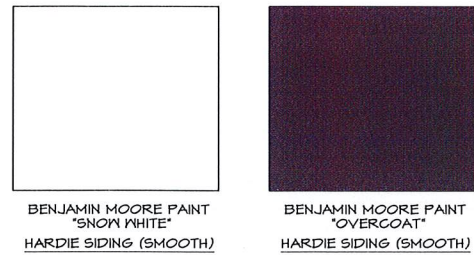
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232

DF3

	Proj.No. -
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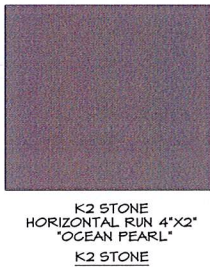


BENJAMIN MOORE PAINT
"SNOW WHITE"
HARDIE SIDING (SMOOTH)

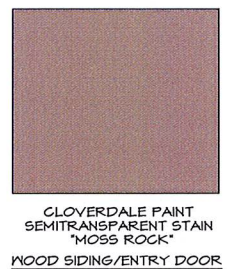
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"OVERCOAT"
HARDIE SIDING (SMOOTH)



GENTEK
"BLACK"
PREFINISHED METAL FLASHINGS



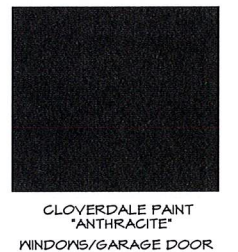
K2 STONE
HORIZONTAL RUN 4"x2"
"OCEAN PEARL"
K2 STONE



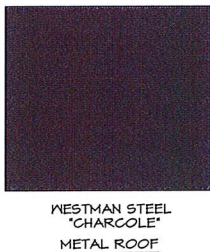
CLOVERDALE PAINT
SEMITRANSSPARENT STAIN
"MOSS ROCK"
WOOD SIDING/ENTRY DOOR



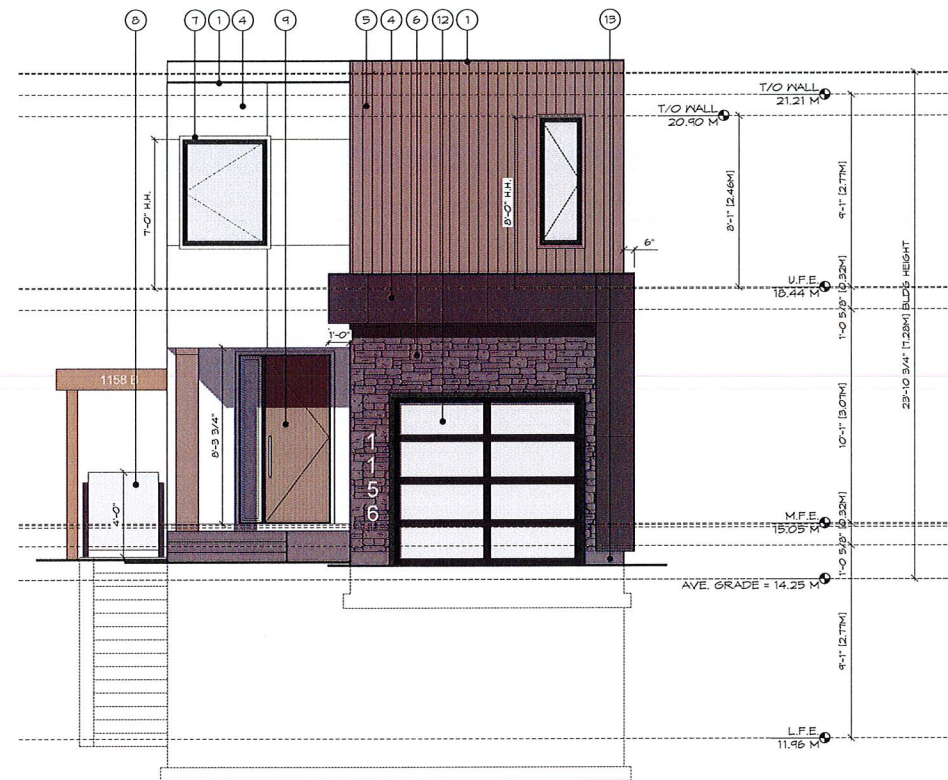
CLOVERDALE PAINT
STAIN
"NATURAL"
WOOD ARBOUR



CLOVERDALE PAINT
"ANTHRACITE"
WINDOWS/GARAGE DOOR

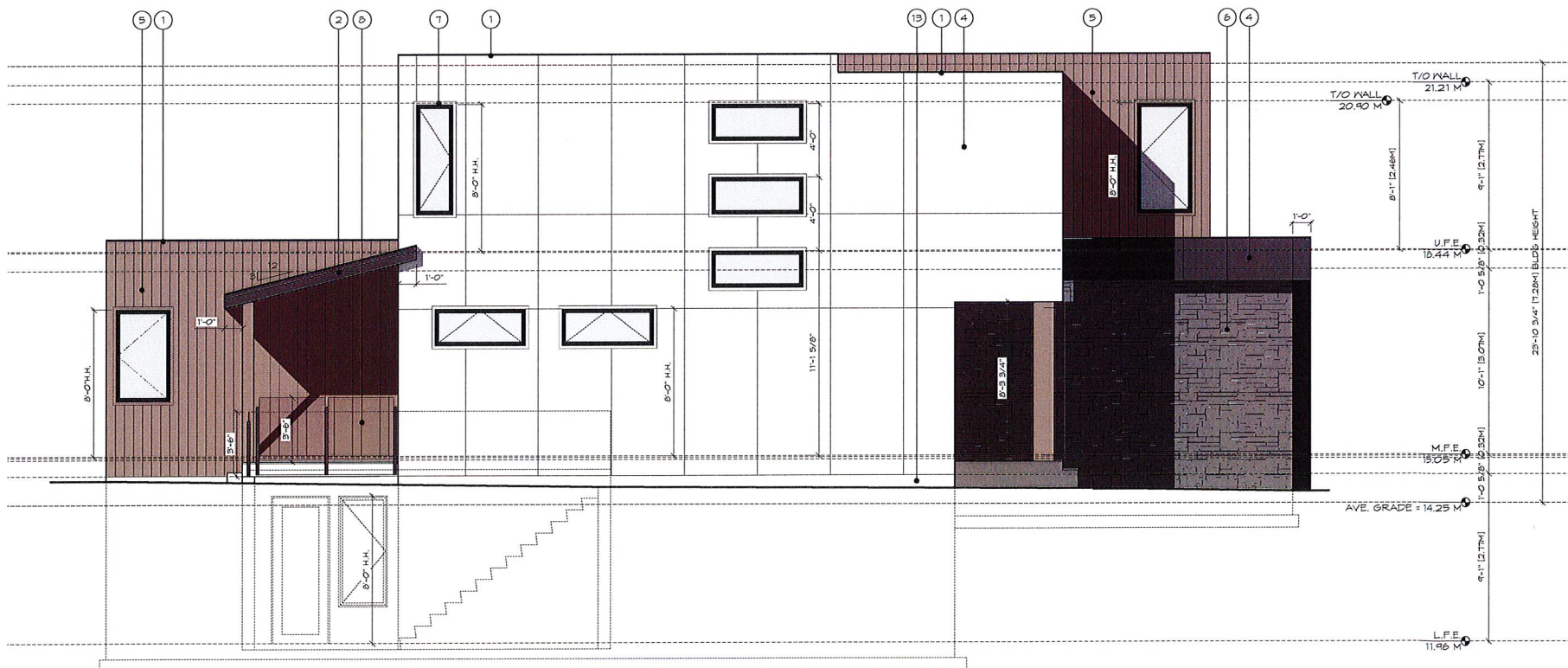


WESTMAN STEEL
"CHARCOLE"
METAL ROOF



1 Front Elevation
DP4 Scale 1/4" = 1'-0"

- FINISH SCHEDULE KEY
- 1 PREFINISHED METAL CAP FLASHING
 - 2 2X10 FASCIA C/W 1X4 ACCENT TRIM (PAINTED)
 - 3 PREFINISHED METAL GUTTER ON 2X8 FASCIA (PAINTED)
 - 4 CEMENT BOARD PANEL C/W REVEALS (PAINTED)
(COLOUR AS SELECTED BY DESIGNER)
 - 5 VERTICAL WOOD (FIR) SIDING. T&G, 6" EXPOSURE
(STAINED)
 - 6 NATURAL STONE (AS SELECTED BY DESIGNER)
 - 7 2" WINDOW/DOOR TRIM-FLASH OVER ALL
WINDOWS/DOORS (TYP.). 2" CANTED SILL C/W CONT.
DRIP EDGE. (PAINTED)
 - 8 METAL/GLASS GUARD RAIL/GATE (HT. AS PER CODE)
 - 9 WOOD DOOR WITH SIDELIGHT
 - 10 WOOD DOOR WITH GLAZING AND SIDELIGHT
 - 11 METAL INSULATED DOOR - PAINTED
 - 12 METAL/GLASS GARAGE DOOR - PREFINISHED
 - 13 EXPOSED FOUNDATION (MIN. 8" ABOVE GRADE)
 - 14 STANDING SEAM METAL ROOF-COLOUR AS
SELECTED BY DESIGNER
- NOTES:
- WINDOW OPERATION (I.E. DIRECTION OF SWING) SHALL
BE PER OWNER'S DIRECTION AND CONFORM TO B.C.B.C.
2018 REQUIREMENTS FOR EGRESS.
- FLASH OVER ALL MATERIAL TRANSITIONS, DOOR &
WINDOW HEADS
- NO COMBED-FACE TRIM
- ALL COLOURS BY DESIGNER/OWNER



2 Side Elevation (west)
DP4 Scale 1/4" = 1'-0"

MAXIMUM GLAZING CALCULATION - SIDE ELEVATION (west)	
DISTANCE TO PROPERTY LINE	1.80 M (5.90')
EXPOSED BUILDING FACE AREA	72.12 M2 (776.38 SF)
GLAZING AREA	4.19 M2 (45.12 SF)
PERCENTAGE	5.81% (ALLOWED 7.60%)

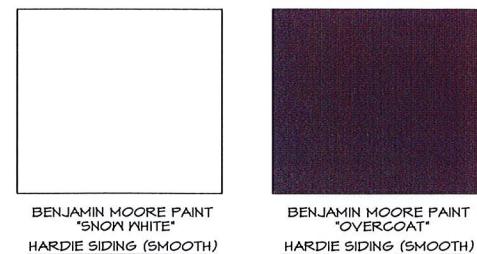
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October 7, 2020

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Victoria, B.C. V8S 5E6
Phone: (250) 360-2144
Fax: (250) 360-2115

Drawn By: L. HORVAT
Date: DEC. 5, 2017
Scale: AS NOTED
Project:
SFD @ LOT B 1158
CRAIGFLOWER
ROAD
Title:
ELEVATIONS
LOT B

Revision: Sheet:
DP4
Proj.No. -

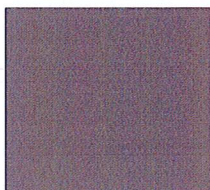


BENJAMIN MOORE PAINT
"SNOW WHITE"
HARDIE SIDING (SMOOTH)

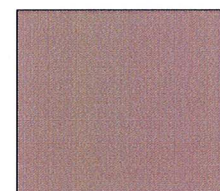
BENJAMIN MOORE PAINT
"OVERCOAT"
HARDIE SIDING (SMOOTH)



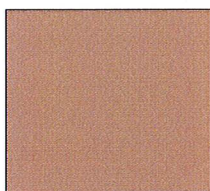
GENTEK
"BLACK"
PREFINISHED METAL FLASHINGS



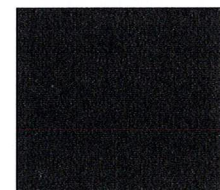
K2 STONE
HORIZONTAL RUN 4\"/>



CLOVERDALE PAINT
SEMITRANSSPARENT STAIN
"MOSS ROCK"
WOOD SIDING/ENTRY DOOR



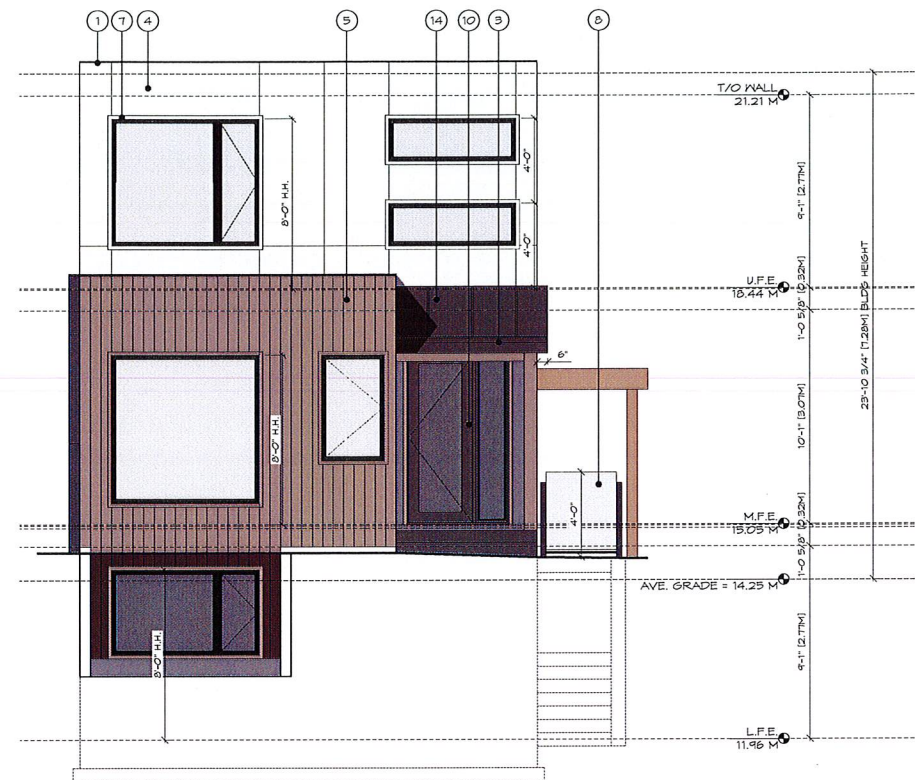
CLOVERDALE PAINT
STAIN
"NATURAL"
WOOD ARBOUR



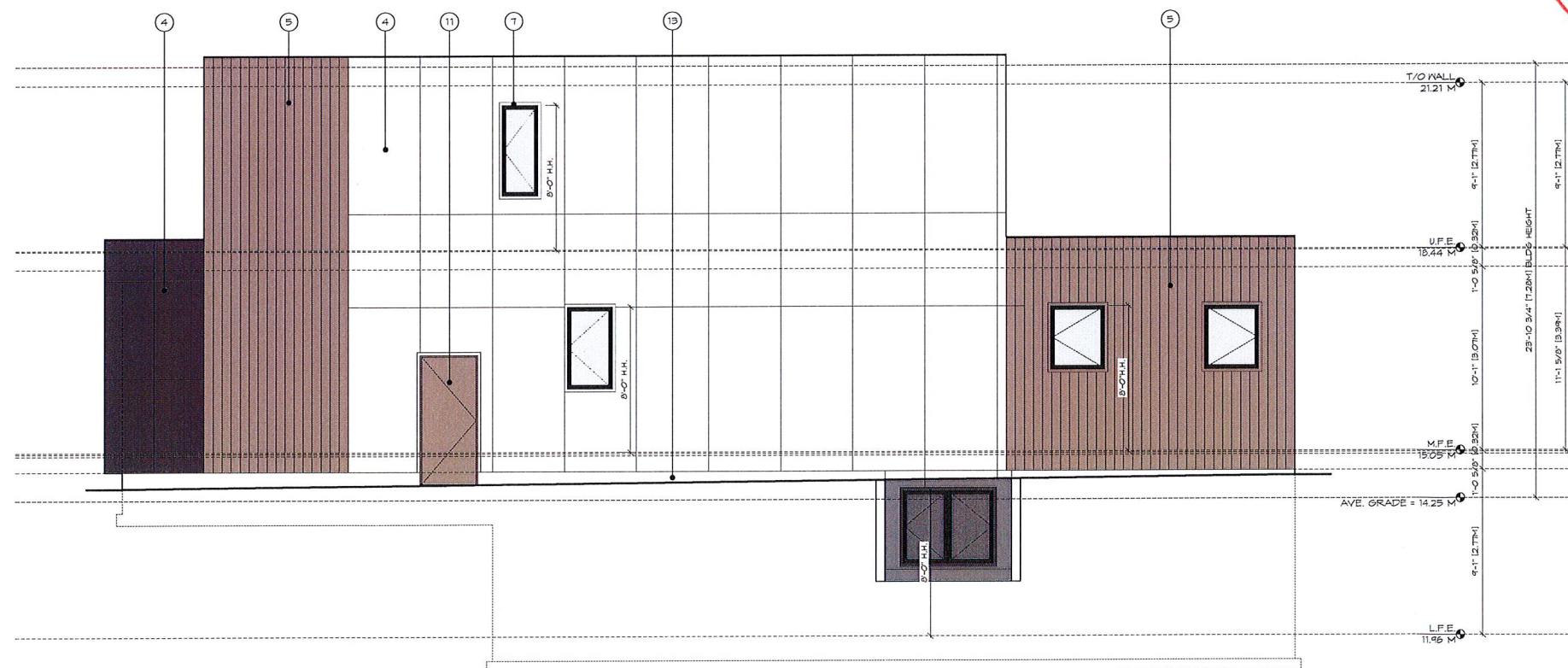
CLOVERDALE PAINT
"ANTHRACITE"
WINDOWS/GARAGE DOOR



WESTMAN STEEL
"CHARCOLE"
METAL ROOF



1 Rear Elevation
DP5 Scale 1/4" = 1'-0"



2 Side Elevation (east)
DP5 Scale 1/4" = 1'-0"

FINISH SCHEDULE KEY

- 1 PREFINISHED METAL CAP FLASHING
- 2 2X10 FASCIA C/W 1X4 ACCENT TRIM (PAINTED)
- 3 PREFINISHED METAL GUTTER ON 2X8 FASCIA (PAINTED)
- 4 CEMENT BOARD PANEL C/W REVEALS (PAINTED)
(COLOUR AS SELECTED BY DESIGNER)
- 5 VERTICAL WOOD (FIR) SIDING, T&G, 6" EXPOSURE
(STAINED)
- 6 NATURAL STONE (AS SELECTED BY DESIGNER)
- 7 2" WINDOW/DOOR TRIM-FLASH OVER ALL
WINDOWS/DOORS (TYP.), 2" CANTED SILL C/W CONT.
DRIP EDGE, (PAINTED)
- 8 METAL/GLASS GUARD RAIL/GATE (HT. AS PER CODE)
- 9 WOOD DOOR WITH SIDELIGHT
- 10 WOOD DOOR WITH GLAZING AND SIDELIGHT
- 11 METAL INSULATED DOOR - PAINTED
- 12 METAL/GLASS GARAGE DOOR - PREFINISHED
- 13 EXPOSED FOUNDATION (MIN. 8" ABOVE GRADE)
- 14 STANDING SEAM METAL ROOF-COLOUR AS
SELECTED BY DESIGNER

NOTES:

WINDOW OPERATION (I.E. DIRECTION OF SWING) SHALL
BE PER OWNER'S DIRECTION AND CONFORM TO B.C.B.C.
2018 REQUIREMENTS FOR EGRESS.

FLASH OVER ALL MATERIAL TRANSITIONS, DOOR &
WINDOW HEADS

NO COMBED-FACE TRIM

ALL COLOURS BY DESIGNER/OWNER

RECEIVED

OCT 09 2020

CORP. OF TOWNSHIP
OF ESQUIMALT
DEVELOPMENT SERVICES

Issued for DP
October 7, 2020

ZEBRADESIGN

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Victoria, B.C. V8S 5E6
Phone: (250) 360-2144
Fax: (250) 360-2115

Drawn By: L. HORVAT

Date: DEC. 5, 2017

Scale: AS NOTED

Project:
SFD @ LOT B 1158
CRAIGFLOWER
ROAD

Title:
ELEVATIONS
LOT B

Revision: Sheet:

DP5

Proj.No. -

MAXIMUM GLAZING CALCULATION - SIDE ELEVATION (east)

DISTANCE TO PROPERTY LINE	1.50 M (4.92')
EXPOSED BUILDING FACE AREA	117.78 M ² (1267.85 SF)
GLAZING AREA	2.94 M ² (31.69 SF)
PERCENTAGE	2.49% (ALLOWED 7.00%)

- CONTRACTOR TO VERIFY ALL DIMENSIONS AND DETAILS PRIOR TO COMMENCEMENT OF WORK AND SHALL NOTIFY DESIGNER OF ANY ERRORS OR DISCREPANCIES.
- NOTED DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DRAWINGS.
- EXTERIOR DIMENSIONING IS TO FACE OF CONCRETE/HEATHING. INTERIOR DIMENSIONING IS TO CENTRE-LINE OF PARTITION.
- WHERE NOTED BY 'ENG.' OR 'ENGINEERED' ALL STRUCTURE SHALL BE REINFORCED AND BRACED BY THE ENGINEER, INCLUDING, BUT NOT LIMITED TO: SPANS, SHEAR WALLS, FOOTINGS AND FOUNDATION WALLS, BEAMS, JOISTS, LINTELS, COLUMNS AND CONNECTIONS. THIS APPLIES ALSO TO ITEMS NOTED AS 'ENGINEERED'. ENGINEERED DRAWINGS SHALL BE STAMPED WITH ENGINEER'S SEAL.
- ALL WORK SHALL BE EQUAL IN ALL RESPECTS TO GOOD CONSTRUCTION PRACTICE, AND SHALL CONFORM TO CURRENT BUILDING CODES AND STANDARDS, AND BY-LAWS OF COLUMBIA BUILDING CODE 2018 OR LOCAL BUILDING CODES AND BY-LAWS WHICH MAY TAKE PRECEDENCE.
- IT IS THE RESPONSIBILITY OF THE OWNER/CONTRACTOR TO HAVE SITE SOIL CONDITIONS INSPECTED AND ADVISE DESIGNER OF ANY SOIL CONDITIONS WHICH MAY REQUIRE SPECIAL FOUNDATION DESIGN. ALL FOOTINGS TO FIRM BEARING
- PROVIDE ATTIC AND CRAWL SPACES WITH VENTILATION AND ACCESS IN ACCORDANCE WITH B.C.B.C., 2018 PART 9.
- ALL WOOD FRAMING TO BE SPRUCE-PINE-FIR, UNLESS NOTED OTHERWISE OR ENGINEERED. ALL FRAMING IS TO BE IN ACCORDANCE WITH B.C.B.C., 2018 AND GOOD CONSTRUCTION PRACTICE.
- PROVIDE MINIMUM OF 8" (200mm) CLEARANCE FROM GRADE TO WOOD CLADDING MATERIALS, EXTERIOR FOUNDATION WALLS SHALL NOT BE LESS THAN 6" (150mm) ABOVE ADJACENT GRADE.
- ALL WOOD LINTELS TO CONFORM TO B.C.B.C., 2018 PART 9 WHERE SUPPORTING FLOOR OR ROOF LOADS.
- INSTALL INTERCONNECTED SMOKE ALARMS IN ACCORDANCE WITH B.C.B.C., 2018 PART 9.10.19 - INSTALL INTERCONNECTED CO ALARMS IN ACCORDANCE WITH B.C.B.C., 2018 9.32.4.2.
- ALL WOOD IN CONTACT WITH CONCRETE INCLUDING SILL PLATES MUST BE PRESURE TREATED OR SEPARATED WITH SILL GASKET OR OTHER APPROVED MATERIAL.
- ALL NOTED 'ENGINEERED' COMPONENTS, SUCH AS ROOF TRUSSES, BEAMS, AND ENGINEERED FLOOR SYSTEMS, REQUIRE ENGINEERED DRAWINGS, SUBMITTALS AND MUST BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S DETAILS AND SPECIFICATIONS.
- SUPPLY AND INSTALL ALL WINDOW TYPES, INTERIOR CASINGS, AND MILLWORK TO OWNER'S APPROVAL. WINDOWS MUST MEET NEW CRITERIA FOR STRENGTH, WATER TIGHTNESS, RESISTANCE TO WIND LOAD AND BREAK-IN (SECURITY). ALL WINDOWS TO COMPLY WITH MUNICIPAL REQUIREMENTS FOR ENERGY RATING PER THE BC ENERGY CODE. THE RATING FOR THE RELEVANT STANDARD REQUIRES THAT THE RATINGS BE CLEARLY LABELLED ON ALL WINDOW UNITS OR WINDOWS ARE TO BE ENGINEERED AND DRAWINGS AND LETTERS OF ASSURANCE. WINDOWS AND DOORS MUST COMPLY WITH MUNICIPAL REQUIREMENTS FOR U-VALUE.
- INSTALL GRASPABLE HANDRAIL TO ALL INTERIOR STAIRS AT 34" (865mm) MIN. to 38" (965mm) MAX. ABOVE NOSING.
- INSTALL GUARDRAIL ON ALL BALCONIES, DECKS, AND PORCHES GREATER THAN 2' (600mm) ABOVE ADJACENT GRADE OR LEVEL. INSTALL GUARDRAIL AT 42" (1070mm) WHERE DECK IS GREATER THAN 6" (150mm) ABOVE ADJACENT SURFACE, OTHERWISE 36" (915mm) GUARDRAIL ALLOWED. CANTILEVERED GLASS GUARDRAILS SHALL BE ANCHORED WITH GLAZING SHOTS TO RESIST LATERAL LOADS PER B.C.B.C., 2018. OTHER GLAZED RAILINGS ASSEMBLIES (GLAZING AND SUPPORTS) TO BE ENGINEERED I/V SEALED DVGs, AND LETTERS OF ASSURANCE.
- INSTALL WATERPROOF MEMBRANE ON BUILDING PAPER ON FLOOR, RESISTANT TO WATER PENETRATION. ROOF DRAINAGE AS SUBSTRATE AROUND ALL WALL & CEILING AREAS OF STEAM/ SHOWER. INSTALL WATER-RESISTANT MALLEBOARD AROUND ALL NET AREAS TO MIN 6" (1.52m) HIGH.
- PROVIDE HEATING, MECHANICAL VENTILATION, AND AIR CONDITIONING MUST BE REQUIRED IN ACCORDANCE WITH CURRENT LOCAL BUILDING BY-LAW CODE AND BY-LAWS. MECHANICAL CONTRACTOR TO PROVIDE MECHANICAL CHECKLIST COVERING ALL NATURAL FAN & DUCT SIZES PRIOR TO FINAL FRAMING INSPECTION.
- PROVIDE ELECTRICAL ENGINEERING BY APPROVED AND CERTIFIED CONTRACTOR, RECEIPTABLES AND APPLIANCE LOCATIONS TO BE APPROVED BY OWNER.
- ANY ALTERNATIVE STRUCTURAL ENGINEERING TO BE APPROVED AND VERIFIED BY CERTIFIED STRUCTURAL ENGINEER. SUBMIT ENGINEERED DRAWINGS TO DESIGNER.
- FIRE PROTECTION AND LIFE SAFETY PROVISIONS TO CONFORM TO THE REQUIREMENTS OF THE B.C.B.C., 2018 PART 9.

A/A ATTIC ACCESS - MIN 24"x36"
AFF ABOVE FINISHED FLOOR
B.F.E. BASEMENT FLOOR ELEVATION
BU BUILT-UP
CONT CONTINUOUS
DP DROPPED BEAM
EG ENGINEERED CONNECTION
REQUIRES STRUCTURAL ENGINEER
ENG. ENGINEERED
REQUIRES STRUCTURAL ENGINEERING
BY P. ENG G/M SEALED DRAININGS
FL FLUSH BEAM
H.H. HEAD HEIGHT
M.F.E. MAIN FLOOR ELEVATION
O.G. ON CENTRE
PRE-FIN PREFINISHED
P.L. POINT LOAD ABOVE
R15 ROD & SHELF
SPF SPRUCE/PINE/FIR #2
T6 TONGUE & GROOVE
T.O.S. TOP OF SLAB
U.F.E. UPPER FLOOR ELEVATION
U.N.O. UNLESS NOTED OTHERWISE
V.O.S. VERIFY ON SITE

**DESIGNER/DRAFTSPERSON DOES NOT ASSUME LIABILITY
FOR ERRORS OR OMISSIONS ON THESE PLANS UNLESS
BY SIGNING BEFORE PROCEEDING WITH
CONSTRUCTION.**

DP1 SITE PLAN, LANDSCAPE PLAN & GENERAL NOTES
DP2 PLANS
DP3 PLANS
DP4 ELEVATIONS
DP5 ELEVATIONS

9.91

water meter
1414.23

9.91

utility pole

size: 4x6

mountable

PROPOSED DRIVEWAY CROSSING (CONCRETE)

3'-5 1/16" [1.00M]

9'-10 3/16" [3.00M]

16'-4 7/8" [5.00M]

3'-3 5/16" [1.00M]

3'-3 1/2" [1.00M]

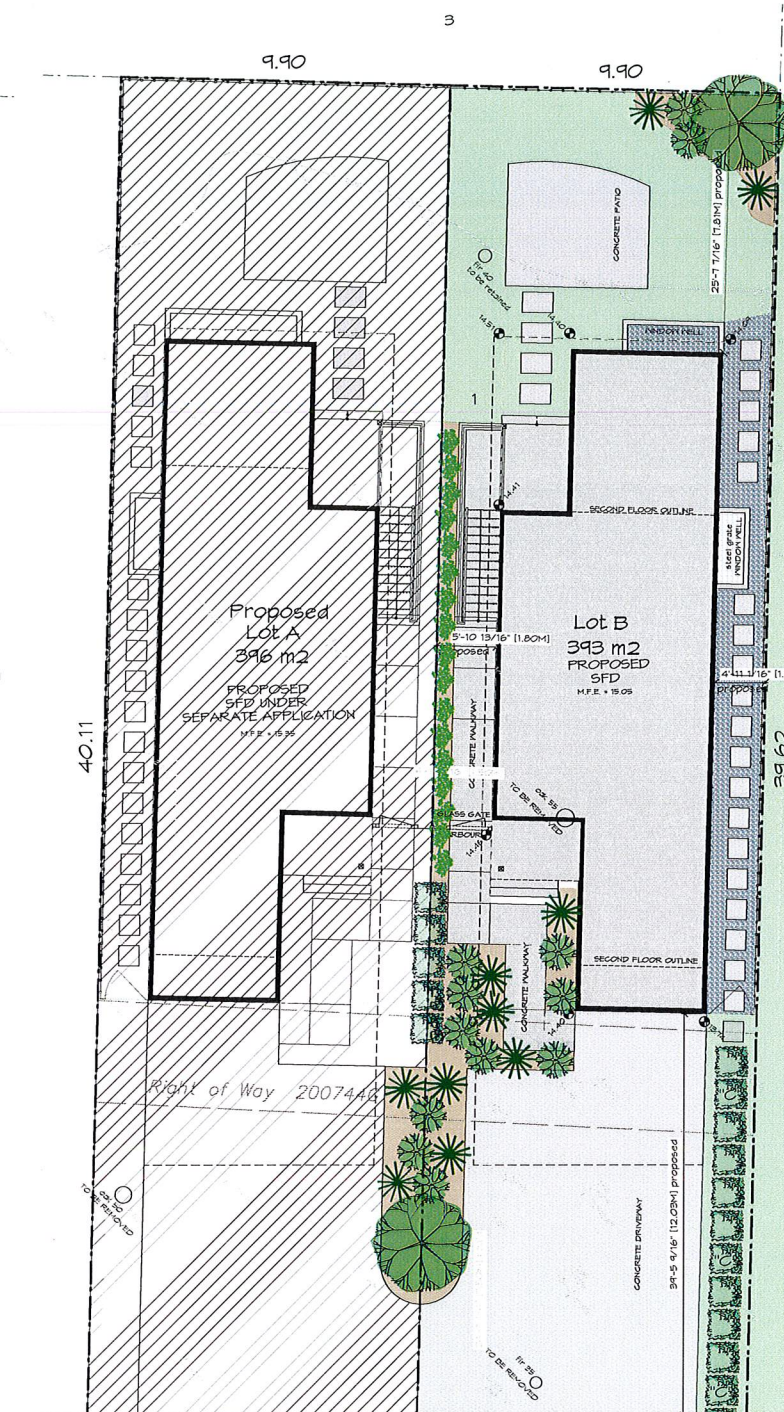
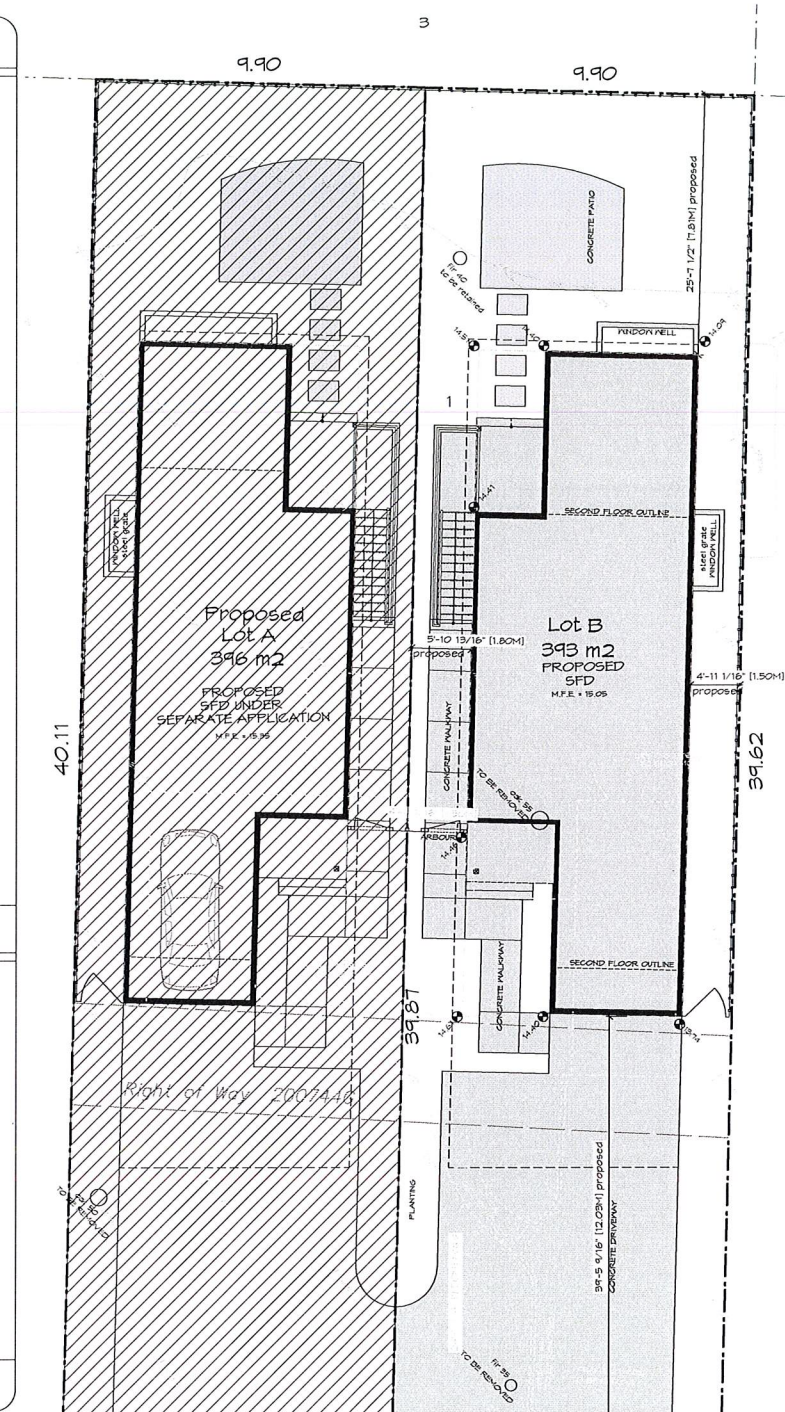
9'-10 1/4" [3.00M]

16'-4 15/16" [5.00M]

3'-3 1/4" [1.00M]

Craigflower Road

1 Site Plan
DP1 Scale 1:100



2 Landscape Plan
DP1 Scale 1:100

TREES AND SHRUBS

EXISTING TREE NEW TREE NEW SHRUBS GROUNDCOVER PLANTS

GROUNDCOVER

MULCH LAWN GRAVEL

HARD LANDSCAPING

PERMEABLE PAVERS BROOM FINISHED CONCRETE CONCRETE PAVERS

EXISTING SIDEWALK PAVING EXISTING DRIVEWAY

FENCE

FOOD (STAINED) & HIGH

EGRESS

PRIMARY EGRESS SECONDARY EGRESS

NOTES:

1. LANDSCAPING INDICATED IS CONCEPTUAL ONLY AND REQUIRES INSTALLATION BY A QUALIFIED LANDSCAPING CONTRACTOR.
2. CONTRACTOR TO IDENTIFY UTILITIES PROVIDED THROUGH UNDERGROUND PERMS AND AVOID CONFLICT FOR EXCAVATIONS.
3. ALL LANDSCAPING SHALL BE PERFORMED TO BSCL, BSCLNA STANDARDS.
4. ALL EXISTING TREES TO REMAIN UNLESS NOTED OTHERWISE.
5. FOOD FENCE TO BE MAX HEIGHT OF:
120M (4'-0") BETWEEN FRONT PROPERTY LINE AND FRONT OF BUILDING
180M (6'-0") BETWEEN FRONT OF BUILDING AND REAR PROPERTY LINE

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Scale: AS NOTED

Project:

SFD @ LOT B 1158
CRAIGFLOWER
ROAD

Title:
SITE PLAN,
LANDSCAPE PLAN
AND SITE DATA

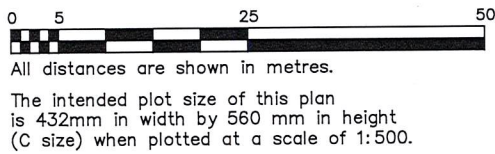
Revision:	Sheet:
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DP1

Proj.No. -

Subdivision Plan of
Lot 1, Section 2,
Esquimalt District, Plan 5766
BCGS 92B.043

Plan EPP95842



LEGEND

Integrated Survey Area No. 38, Township of Esquimalt, NAD83(CSRS)3.0.0.BC.1.CRD.

Grid bearings are derived from geodetic control monuments 84H0213 and 84H0250 and are referred to the central meridian of UTM Zone 10.

The UTM coordinates and estimated absolute accuracy achieved are derived from the MASCOT published coordinates and standard deviations for the geodetic control monuments 84H0213 and 84H0250.

This plan shows horizontal ground-level distances unless otherwise specified. To compute grid distances, multiply ground level distances by the average combined factor of 0.99961135 which has been derived from geodetic control monuments 84H0213 and 84H0250.

Found	Set	Denotes
●	○	Standard Iron Post
■	○	Standard Lead Plug
⊙	○	Control Monument
⊙	○	Non Standard Post
⊙	○	Origin unknown



This plan lies within the jurisdiction of the Approving Officer for the Township of Esquimalt.

This plan lies within the Capital Regional District.

The field survey represented by this plan was completed on the 28th day of August, 2019.
James Worton, BCLS 757