

851 Lampson Street

Rezoning Application

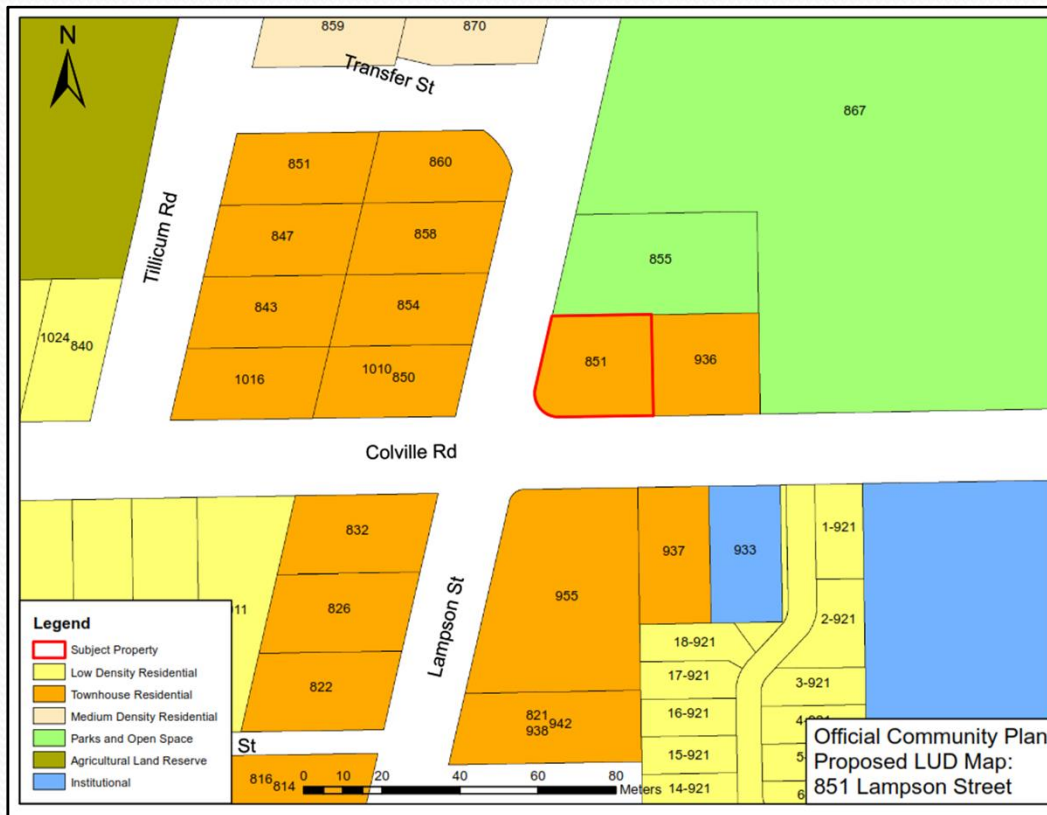


Site Location



Development Services

OCP Land Use Designation



Proposed Land Use Designation:

Townhouse Residential
Floor Area Ratio of up to 0.70
Height up to 3 storeys

Proposed Height:

3 Storeys

Proposed FAR:

0.68

Township of
ESQUIMALT

Zoning Map: 851 Lampson Street

Legend:

- CD Zones Comprehensive Development District
- P-1 Public/Institutional
- P-2 Parks/Open Spaces
- P-3 Golf Course
- RD-1 Two Family Residential
- RD-2 Two Family Small Lot Residential
- RD-3 Two Family Single Residential
- RM-1 Multiple Family Residential
- RM-2 Multiple Family Residential
- RS-1 Single Family Residential

Map Details:

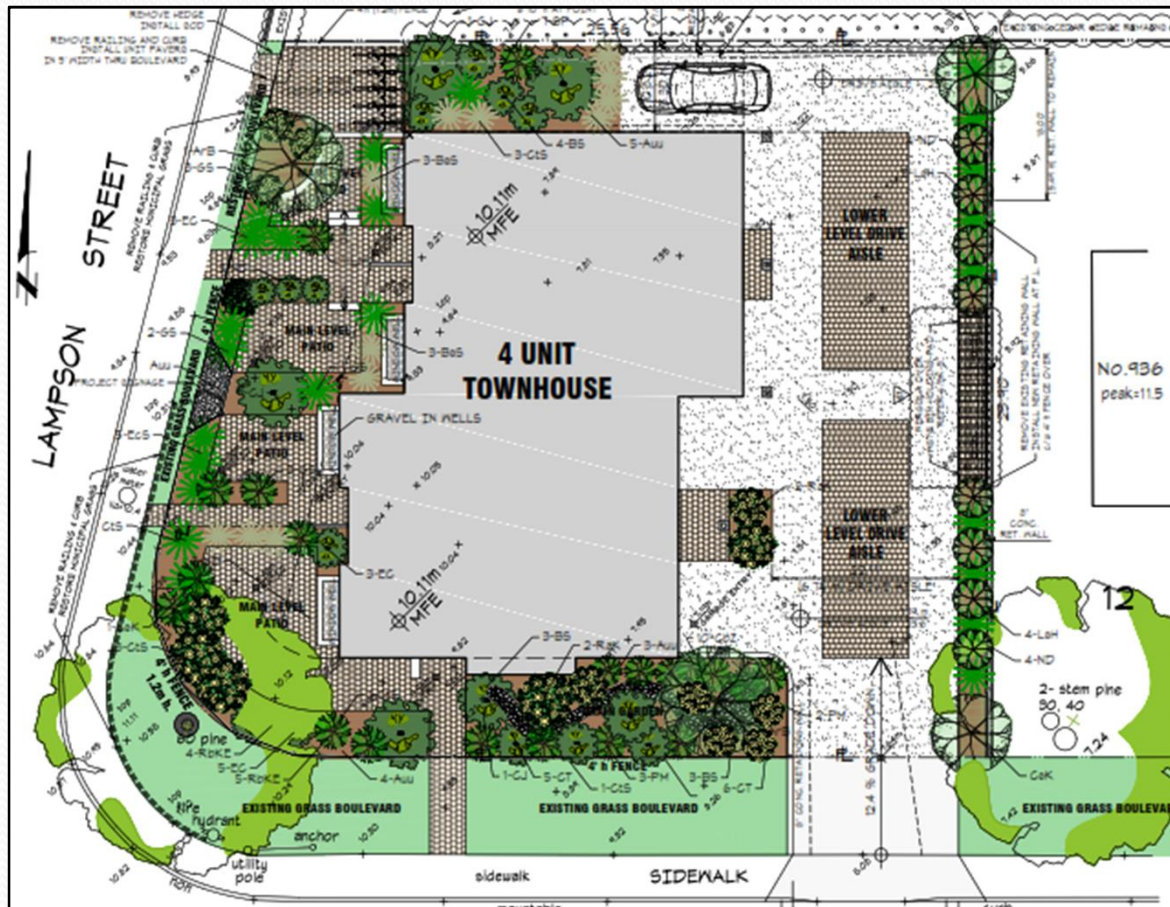
- North Arrow:** Points North (N).
- Scale Bar:** 0 to 80 Meters.
- Streets:** Tillicum Rd, Colville Rd, Lampson St, Reeve Pl.
- Properties and Zoning:**
 - 851: RS-1 (Yellow)
 - 860: RS-1 (Yellow)
 - 847: RS-1 (Yellow)
 - 858: RS-1 (Yellow)
 - 843: RS-1 (Yellow)
 - 854: RS-1 (Yellow)
 - 1016: RD-3 (Orange)
 - 850: RD-1 (Light Orange)
 - 867: P-2 (Light Green)
 - 855: P-2 (Light Green)
 - 851: RD-3 (Orange)
 - 936: RD-3 (Orange)
 - 1021: RD-1 (Light Orange)
 - 1019: RS-1 (Yellow)
 - 1015: RD-2 (Orange)
 - 1011: RD-2 (Orange)
 - 832: RD-2 (Orange)
 - 826: RD-1 (Light Orange)
 - 822: RD-3 (Orange)
 - 821: RM-2 (Cyan)
 - 942: RM-2 (Cyan)
 - 936: RM-2 (Cyan)
 - CD-112: CD Zones (Grey)
 - RS-1: RS-1 (Yellow)
 - CD-70: CD Zones (Grey)
 - 1-921: P-1 (Light Green)
 - 2-921: P-1 (Light Green)
 - 3-921: P-1 (Light Green)
 - 4-921: P-1 (Light Green)
 - 5-921: P-1 (Light Green)
 - 6-921: P-1 (Light Green)
 - 7-921: P-1 (Light Green)
 - 18-921: P-1 (Light Green)
 - 17-921: P-1 (Light Green)
 - 16-921: P-1 (Light Green)
 - 15-921: P-1 (Light Green)
 - 14-921: P-1 (Light Green)
 - 13-921: P-1 (Light Green)
 - CD-32: CD Zones (Grey)
 - RD-1: RD-1 (Light Orange)
 - RS-1: RS-1 (Yellow)

RD-3

CD No. 134

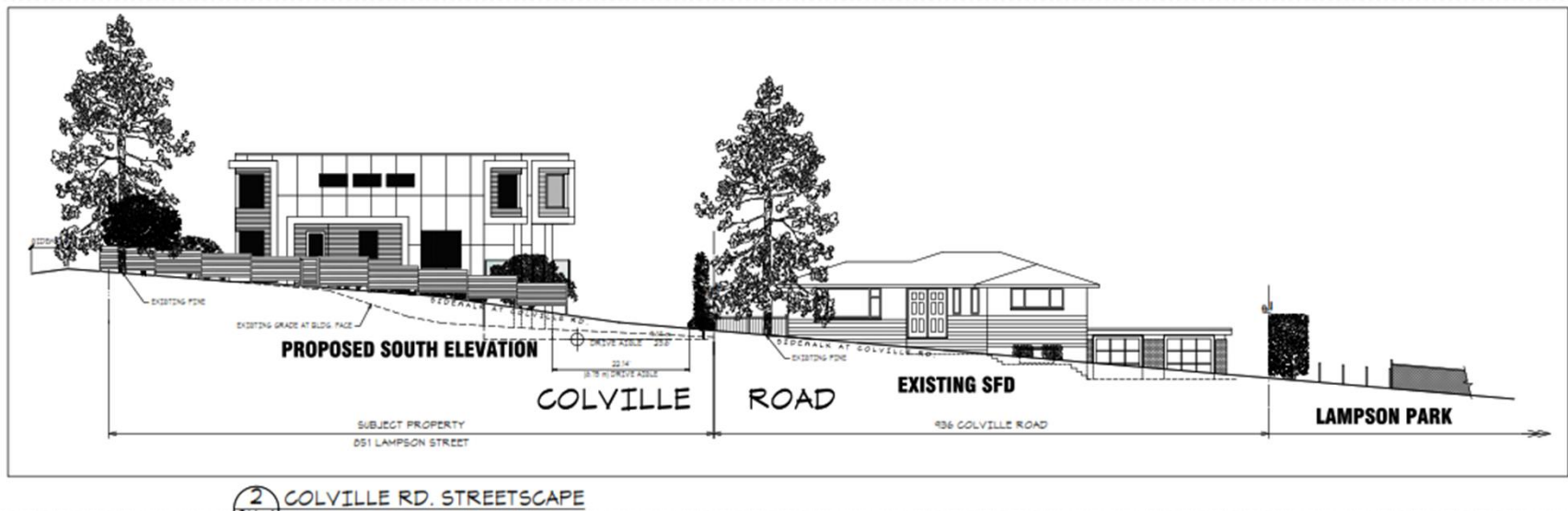


Site Context: Site Plan

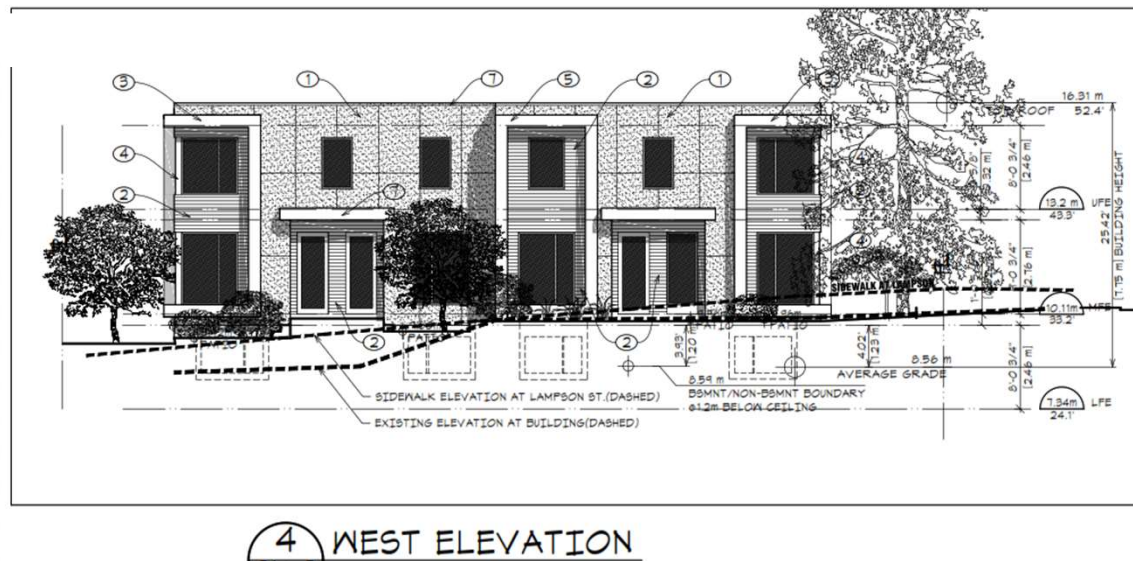


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Site Context: Streetscape

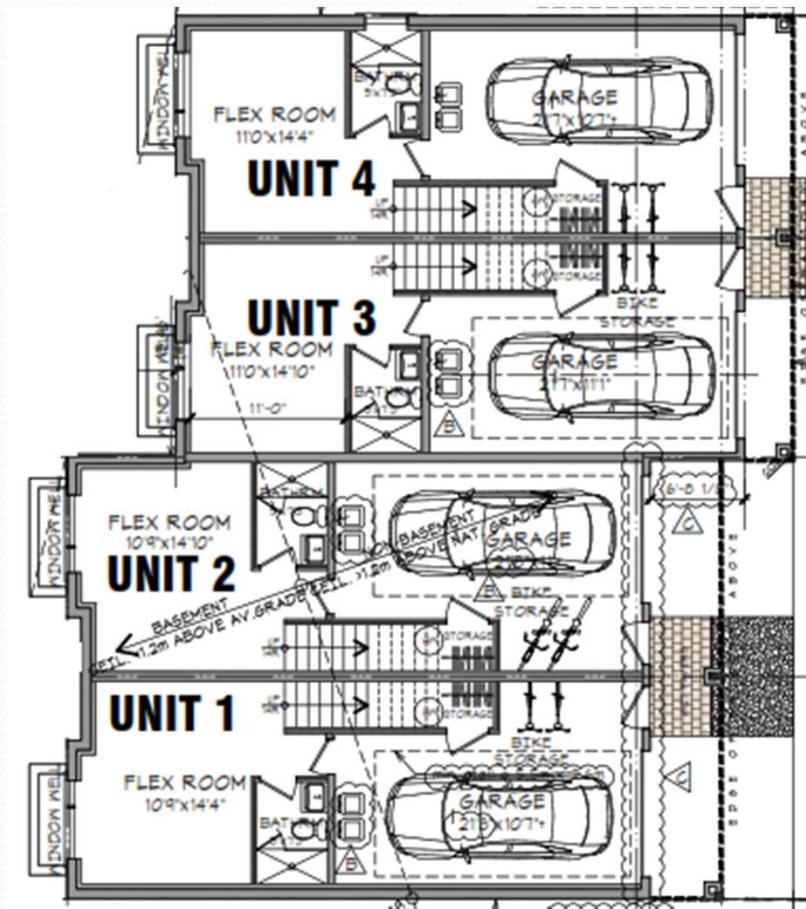


Zoning Regulations-Height



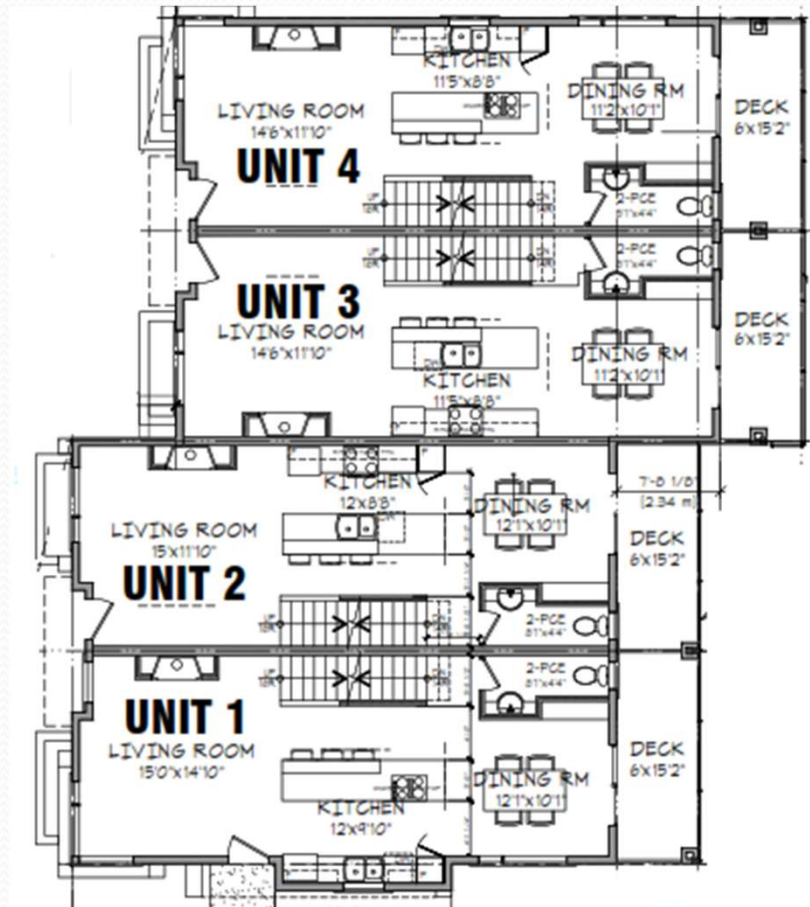
7.75 m
3 Storeys

Zoning Regulations-FAR

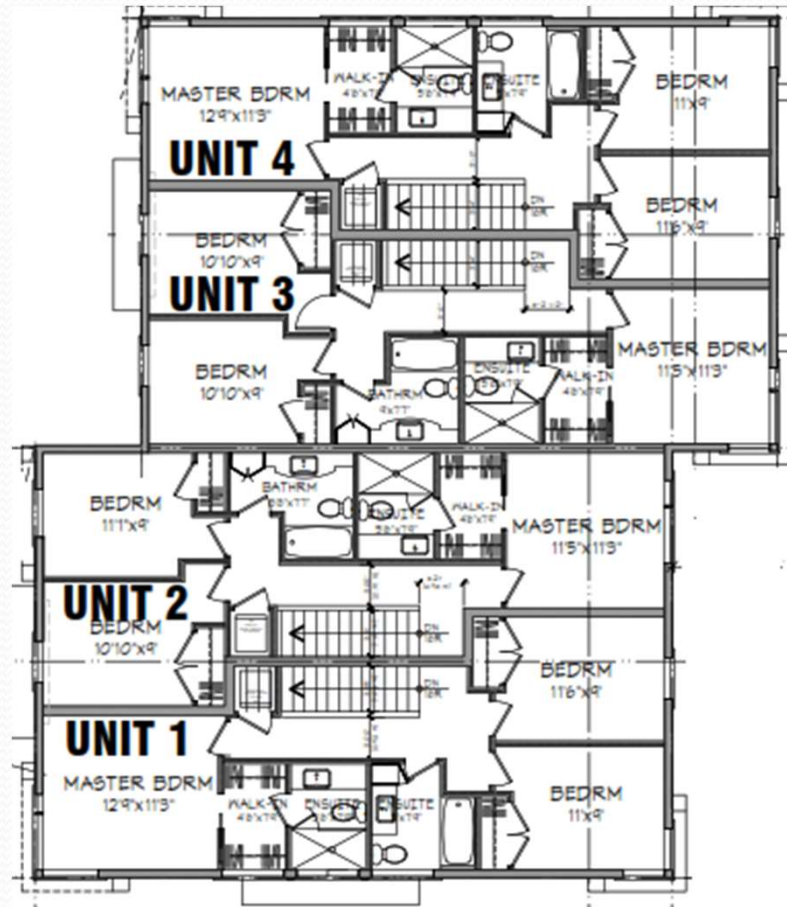


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Zoning Regulations-FAR



Zoning Regulations-FAR



Zoning Regulations

Lot Coverage:

39% representing
building and decks

Setbacks:

Front: 5.0m

South Side: 3.6m/3.0m

North Side: 3.3m

Rear: 7.1m

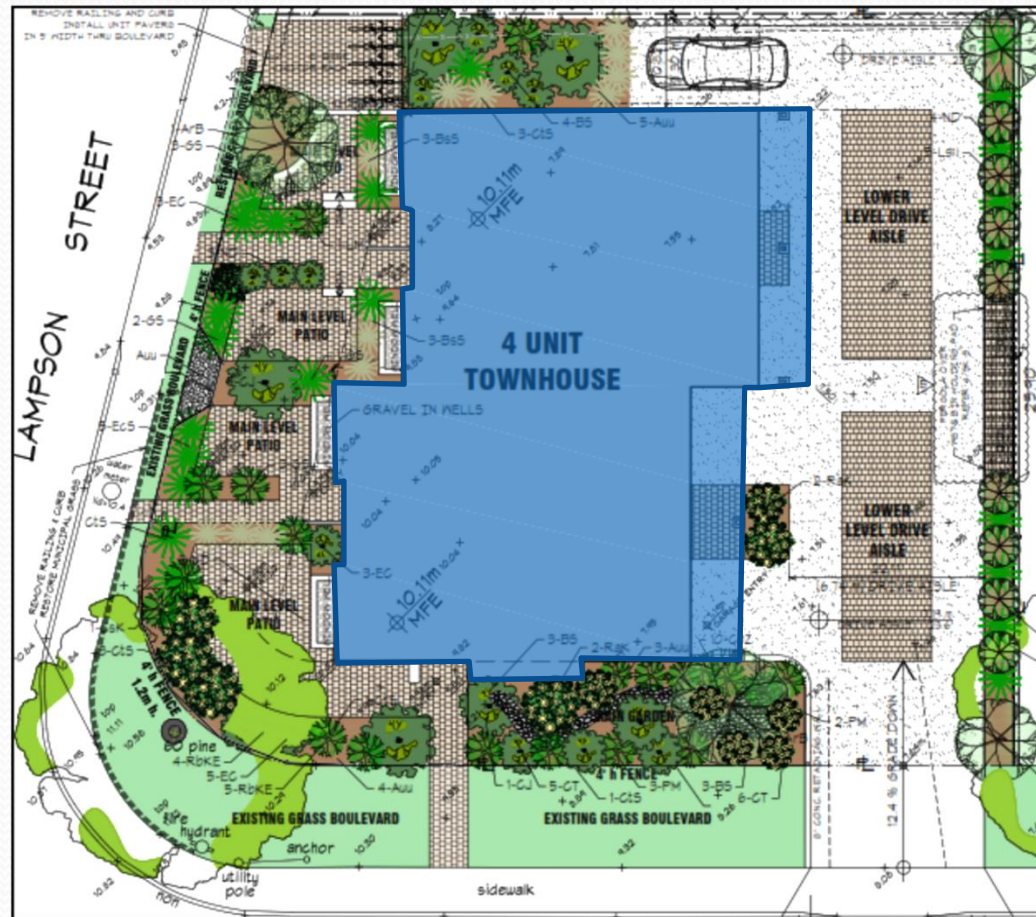
Parking:

4 spaces in garages

1 Visitor spaces

Number of Units:

Four (4) Townhouses



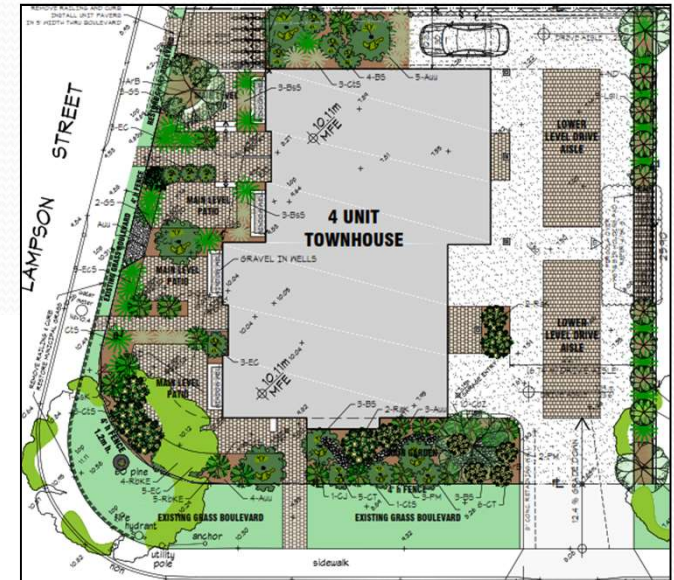
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Zoning Regulations

	CD 112 (939 Colville Rd) (10 Townhouse Units)	Proposed CD Zone 851 Lampson Street (4 Townhouse Units)
Minimum Unit Size	130 m ²	108 m ²
Floor Area Ratio	0.69	0.68
Maximum Lot Coverage	33%	39%
Setbacks <ul style="list-style-type: none"> • Front • Rear • Exterior Side • Interior Side 	6.9 m 3.5 m 3.6 m 3.3 m	5.0 m 7.1 m (to 2 nd floor decks and 3 rd floor cantilever) 3.6 m (3.0 m to cantilever) 3.3 m
Building Height	9.0 m	8.0 m
Off – street Parking	1.6 spaces per Dwelling Unit	1.0 space per Dwelling Unit plus 1.0 Visitor Space

Section 219 Covenant Items

- Only 4 Townhouse Units
- 1 Visitor Parking space permanently secured.
- 5 Visitor Bicycle Lockup
- 5 parking stalls to have Level 2 electric vehicle charging stations
- Step 3, BCESC
- No restriction on rental of all units
- Tree Protection for Pine





Development Services