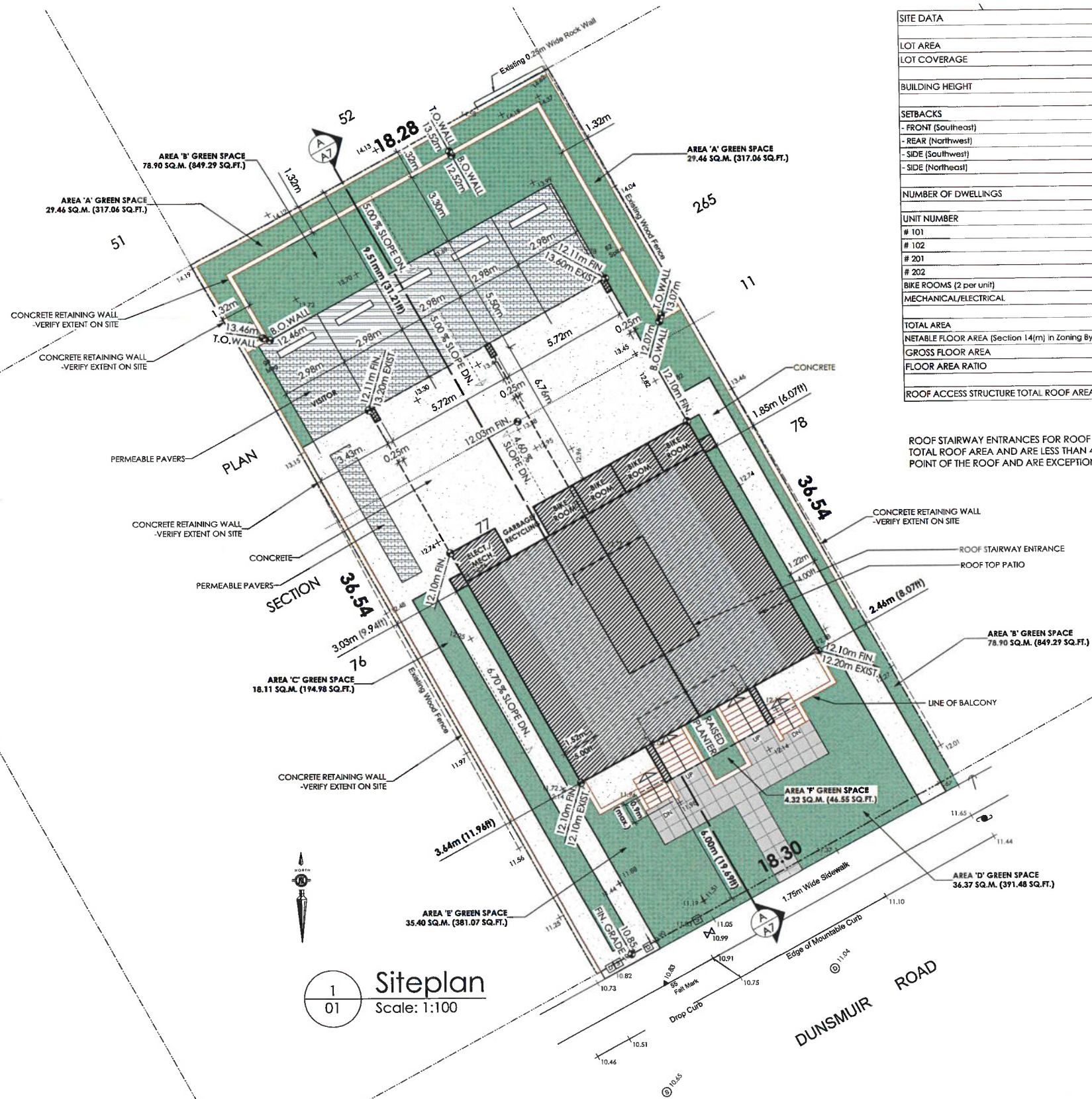




| SITE DATA                                          | PROPOSED     |
|----------------------------------------------------|--------------|
| LOT AREA                                           | 668.4 sq.m.  |
| LOT COVERAGE                                       | 38.32 %      |
| BUILDING HEIGHT                                    | 8.82 m       |
| SETBACKS                                           |              |
| - FRONT (Southeast)                                | 6.00 m       |
| - REAR (Northwest)                                 | 9.51 m       |
| - SIDE (Southwest)                                 | 3.64 m       |
| - SIDE (Northeast)                                 | 2.46 m       |
| NUMBER OF DWELLINGS                                | 4            |
| UNIT NUMBER                                        |              |
| # 101                                              | 156.38 sq.m. |
| # 102                                              | 156.38 sq.m. |
| # 201                                              | 115.17 sq.m. |
| # 202                                              | 115.17 sq.m. |
| BIKE ROOMS (2 per unit)                            | 10.06 sq.m.  |
| MECHANICAL/ELECTRICAL                              | 2.62 sq.m.   |
| TOTAL AREA                                         | 555.78 sq.m. |
| NETABLE FLOOR AREA (Section 14(m) in Zoning Bylaw) | 107.44 sq.m. |
| GROSS FLOOR AREA                                   | 448.34 sq.m. |
| FLOOR AREA RATIO                                   | 0.67 : 1.00  |
| ROOF ACCESS STRUCTURE TOTAL ROOF AREA              | 6.76 %       |

ROOF STAIRWAY ENTRANCES FOR ROOF TOP PATIOS ARE 6.48% OF THE TOTAL ROOF AREA AND ARE LESS THAN 4.0m ABOVE THE HIGHEST POINT OF THE ROOF AND ARE EXCEPTIONS FOR HEIGHT CALCULATIONS.



**AVERAGE GRADE CALCULATIONS:**

EXISTING AVERAGE GRADE:  
 $12.10 + 12.20 + 13.60 + 13.20 = 51.10 / 4 = 12.78\text{m}$

FINISHED AVERAGE GRADE:  
 $12.10 + 12.10 + 12.11 + 12.11 = 48.42 / 4 = 12.11\text{m}$

TOP OF ROOF = 21.60m

**CURRENT GREEN SPACE CALCULATION:**

AREA A: 29.46 SQ.M. (317.06 SQ.FT.)  
 AREA B: 78.90 SQ.M. (849.29 SQ.FT.)  
 AREA C: 18.11 SQ.M. (194.98 SQ.FT.)  
 AREA D: 36.37 SQ.M. (391.48 SQ.FT.)  
 AREA E: 35.40 SQ.M. (381.07 SQ.FT.)  
 AREA F: 4.32 SQ.M. (46.55 SQ.FT.)  
 TOTAL: 202.56 SQ.M. (2180.43 SQ.FT.)  
 = 30.31% OF THE LOT AREA

PREVIOUS GREEN SPACE ALLOCATED:  
 NOV. 22 2019: 105.33 SQ.M. (1133.73 SQ.FT.)  
 = 15.76% OF THE LOT AREA

**Date**

October 29, 2020

**Project Address**

876 Dunsmuir Road  
Esquimalt, B.C.

**Prepared for**

Jim Penner

**Project #**

8081

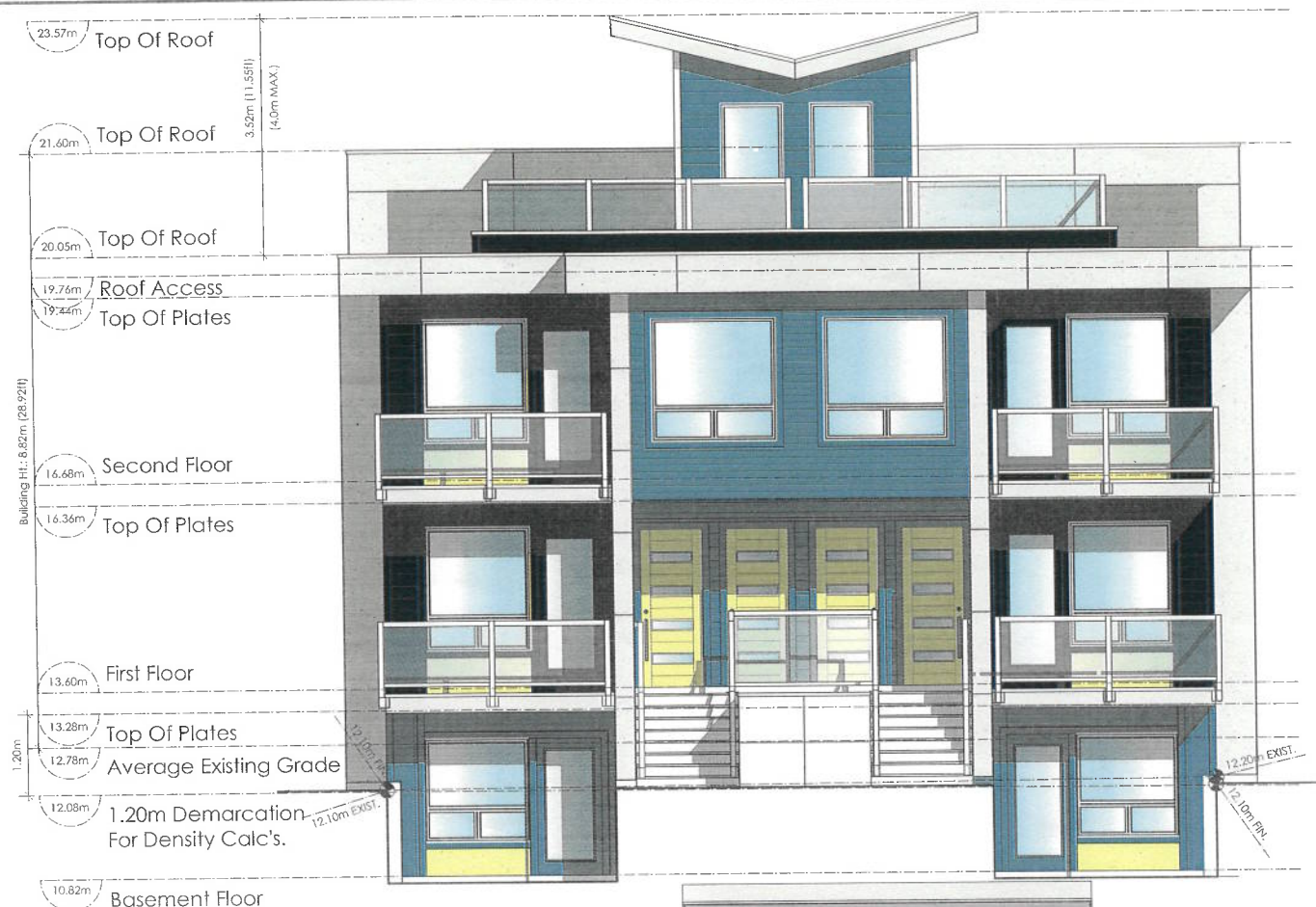
**Scale**

1/4" = 1'-0"

**Drawn By**

JTE

# Development Permit Presentation



#### FINISHES & COLORS

|  |                                                               |
|--|---------------------------------------------------------------|
|  | GUARD RAILS & ALUMINUM SOFFITS:<br>GENTEX WHITE or SIMILAR    |
|  | CONC. PANEL SIDING:<br>DOVE WHITE OC-17 or SIMILAR            |
|  | FASCIA TRIM:<br>DOVE WHITE OC-17 or SIMILAR                   |
|  | CONC. PANEL SIDING:<br>SUNDANCE 2022-50 or SIMILAR            |
|  | ENTRY DOOR:<br>SUNDANCE 2022-50 or SIMILAR                    |
|  | CONC. PANEL SIDING:<br>SWEATSHIRT GRAY 2126-40 or SIMILAR     |
|  | CONC. FIBRE LAP SIDING:<br>SWEATSHIRT GRAY 2126-40 or SIMILAR |
|  | HORIZONTAL WOOD SIDING:<br>SWEATSHIRT GRAY 2126-40 or SIMILAR |
|  | BOARD & BATTEN SIDING:<br>SWEATSHIRT GRAY 2126-40 or SIMILAR  |
|  | CONC. PANEL SIDING:<br>RACCOON FUR 2126-20 or SIMILAR         |
|  | CONC. FIBRE LAP SIDING:<br>RACCOON FUR 2126-20 or SIMILAR     |
|  | BOARD & BATTEN SIDING:<br>RACCOON FUR 2126-20 or SIMILAR      |
|  | WINDOWS:<br>BLACK                                             |

1  
03 Southeast Elevation  
Scale: 1/4" = 1'-0"



2  
03 Northeast Elevation  
Scale: 1/4" = 1'-0"

RECEIVED

SEP 22 2020

CORP. OF TOWNSHIP  
OF ESQUIMALT  
DEVELOPMENT SERVICES

Date  
September 15, 2020

Project Address  
876 Dunsmuir Road  
Esquimalt, B.C.  
Prepared for  
Jim Penner

Project #  
8081

Scale  
1/4" = 1'-0"

Drawn By  
JTE

# Development Permit Presentation



| FINISHES & COLORS |                                                               |
|-------------------|---------------------------------------------------------------|
|                   | GUARD RAILS & ALUMINUM SOFFITS:<br>GENTEK WHITE or SIMILAR    |
|                   | CONC. PANEL SIDING:<br>DOVE WHITE OC-17 or SIMILAR            |
|                   | FASCIA TRIM:<br>DOVE WHITE OC-17 or SIMILAR                   |
|                   | CONC. PANEL SIDING:<br>SUNDANCE 2022-50 or SIMILAR            |
|                   | ENTRY DOOR:<br>SUNDANCE 2022-50 or SIMILAR                    |
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|                   | HORIZONTAL WOOD SIDING:<br>SWEATSHIRT GRAY 2126-40 or SIMILAR |
|                   | BOARD & BATTEN SIDING:<br>SWEATSHIRT GRAY 2126-40 or SIMILAR  |
|                   | CONC. PANEL SIDING:<br>RACCOON FUR 2126-20 or SIMILAR         |
|                   | CONC. FIBRE LAP SIDING:<br>RACCOON FUR 2126-20 or SIMILAR     |
|                   | BOARD & BATTEN SIDING:<br>RACCOON FUR 2126-20 or SIMILAR      |
|                   | WINDOWS:<br>BLACK                                             |

Top Of Roof 23.57m

1 Northwest Elevation  
04 Scale: 1/4" = 1'-0"



2 Southwest Elevation  
04 Scale: 1/4" = 1'-0"

## Development Permit Presentation

### Date

September 15, 2020

### Project Address

876 Dunsmuir Road  
Esquimalt, B.C.

### Prepared for

Jim Penner

### Project #

8081

### Scale

1/4" = 1'-0"

### Drawn By

JTE

RECEIVED

SEP 22 2020

CORP OF TOWNSHIP  
OF ESQUIMALT  
DEVELOPMENT SERVICES

Date

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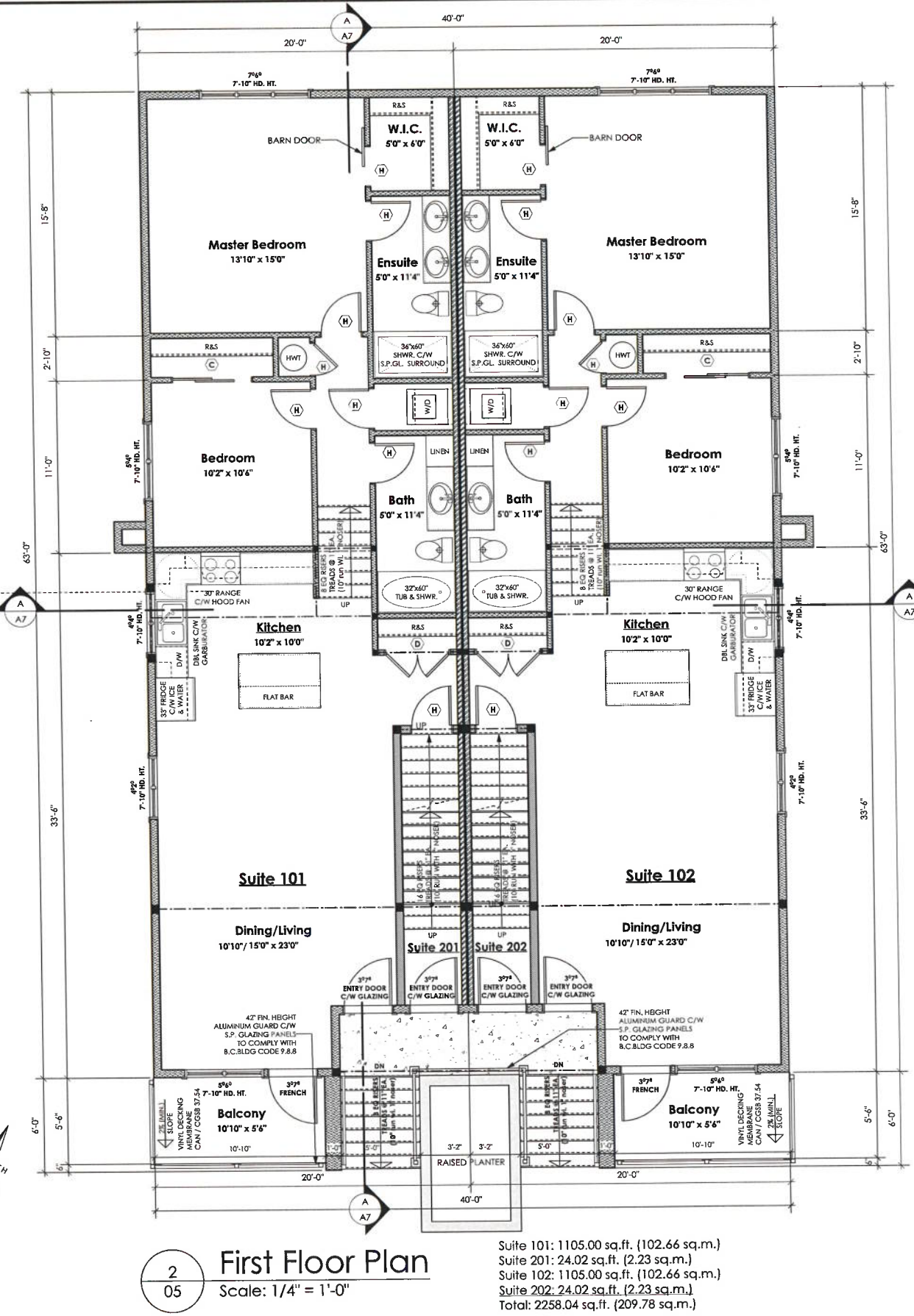
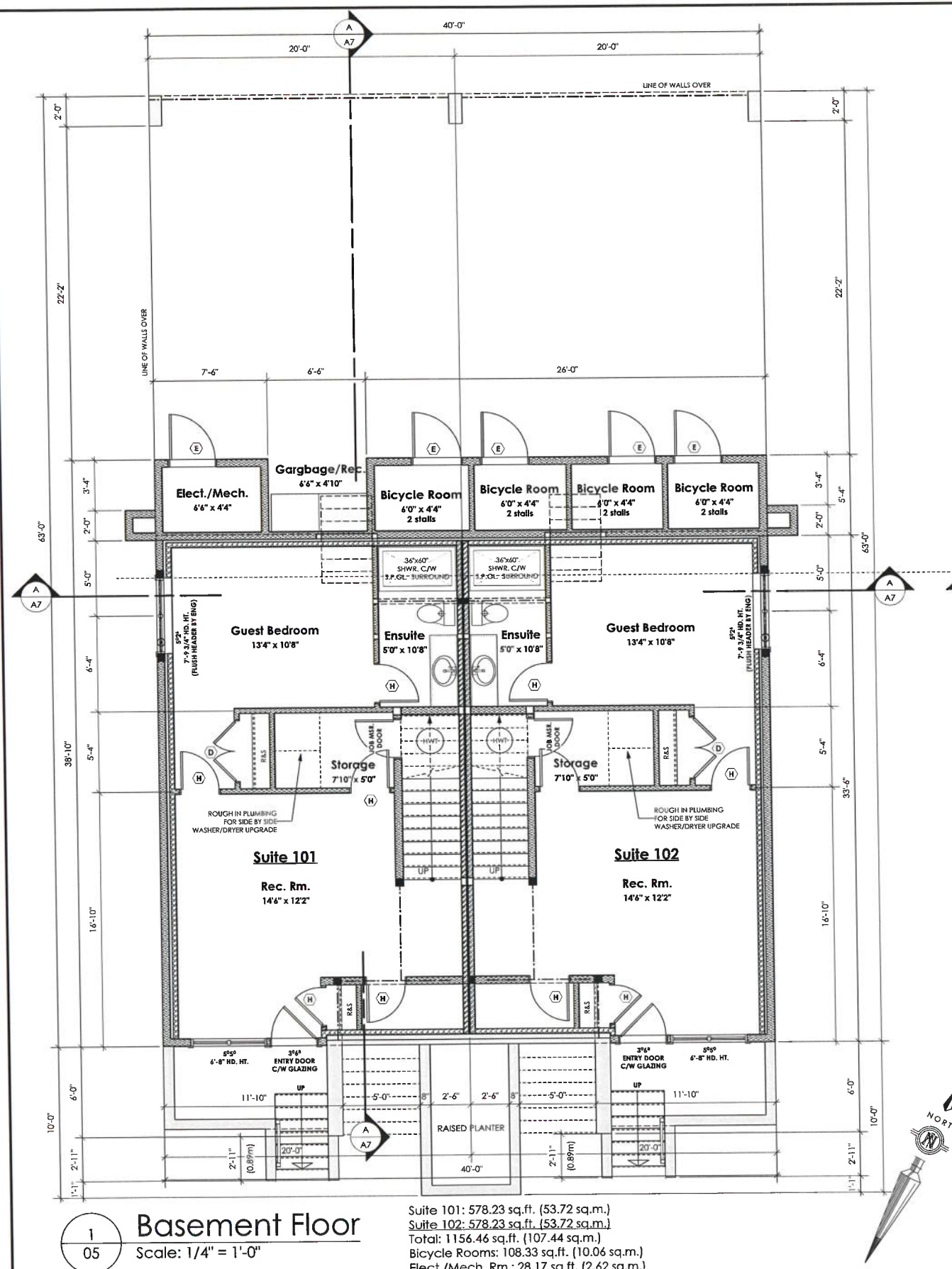
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Scale

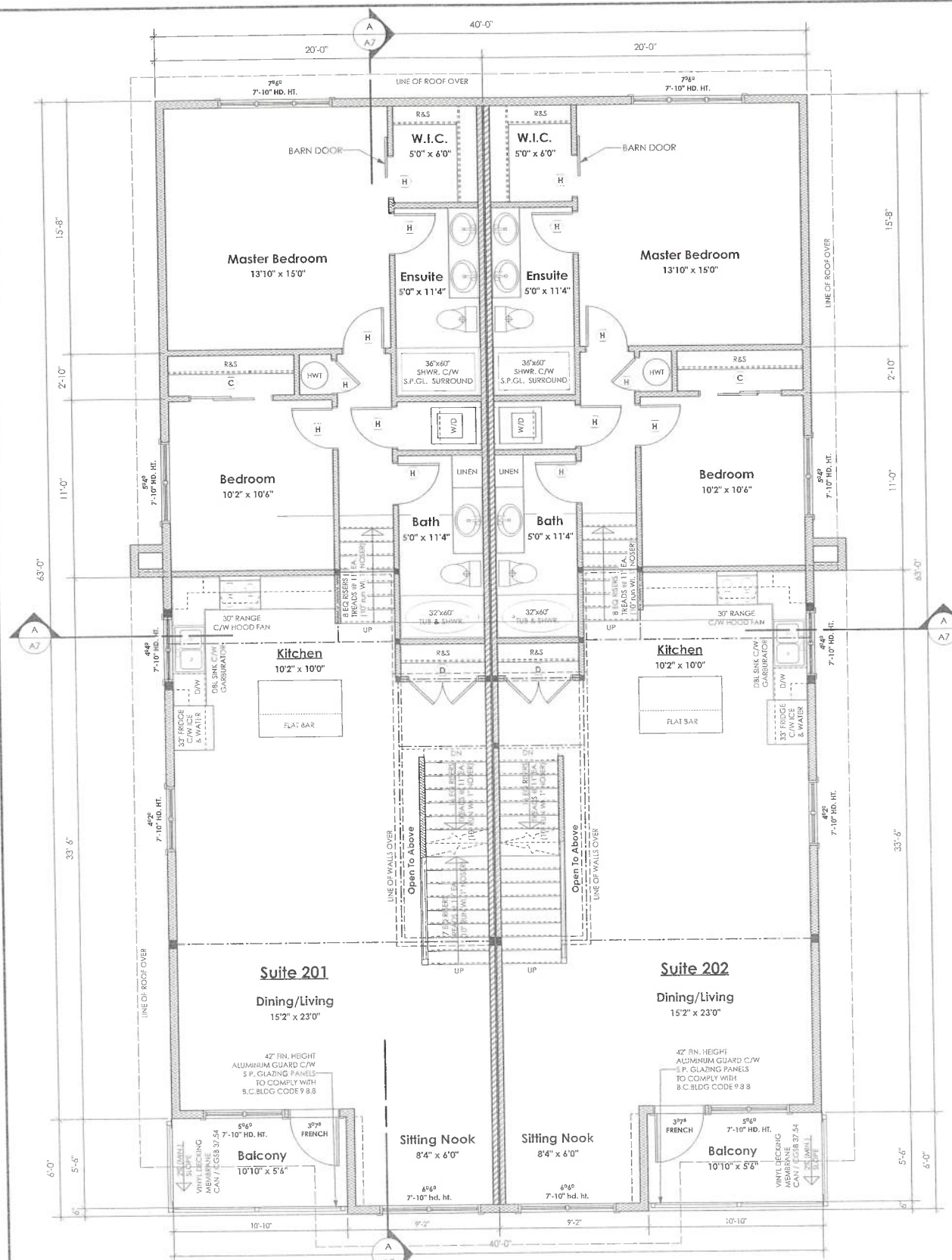
1/4" = 1'-0"

Drawn By

JTE

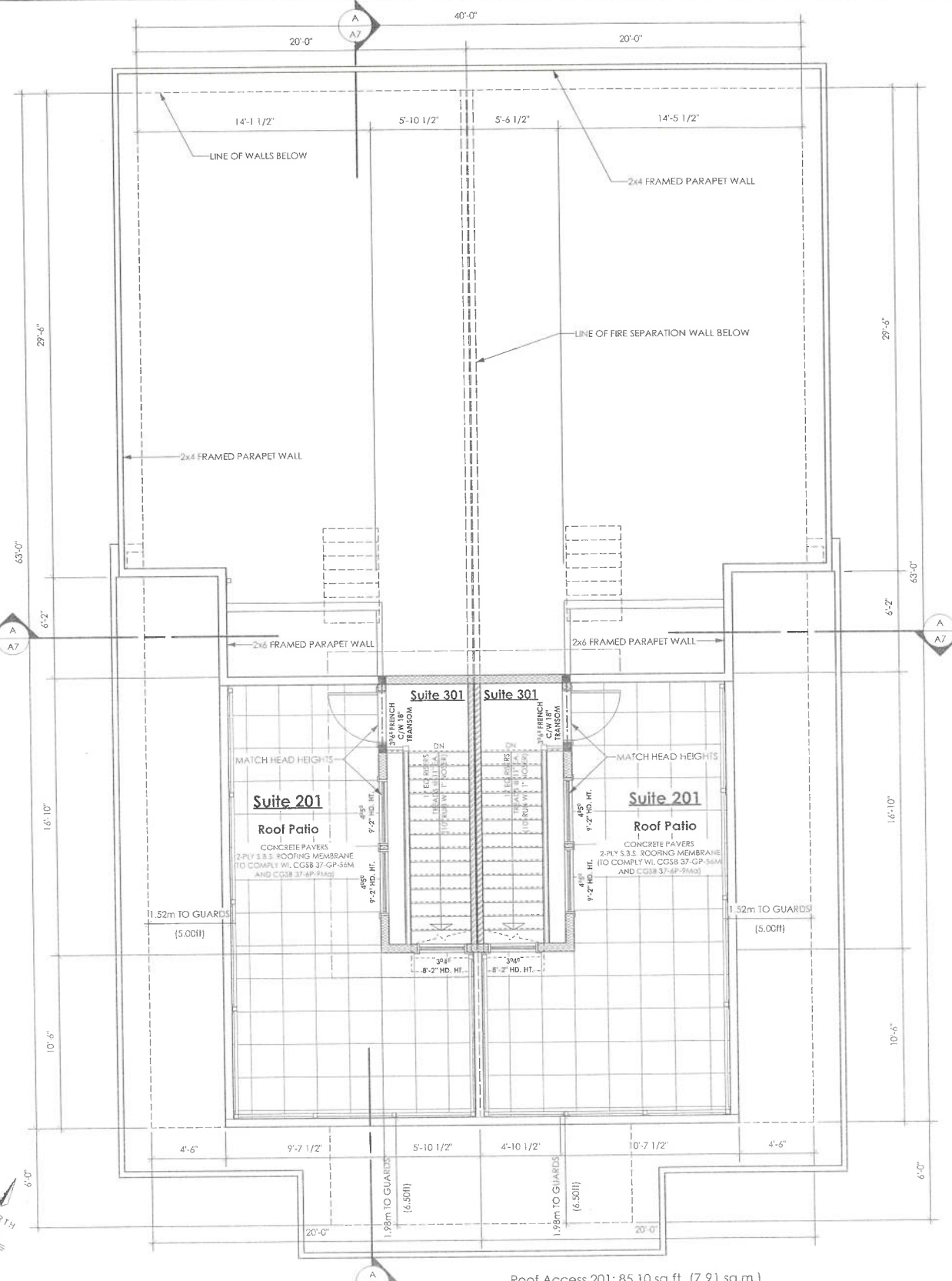


Development Permit Presentation



1  
06 Second Floor Plan  
Scale: 1/4" = 1'-0"

Suite 201: 1215.69 sq.ft. (112.94 sq.m.)  
Suite 202: 1215.69 sq.ft. (112.94 sq.m.)  
Total: 2431.38 sq.ft. (225.88 sq.m.)



2  
06 Roof Top Patio  
Scale: 1/4" = 1'-0"

Roof Access 201: 85.10 sq.ft. (7.91 sq.m.)  
Roof Access 202: 85.10 sq.ft. (7.91 sq.m.)  
Total: 170.20 sq.ft. (15.82 sq.m.)  
\*Roof stairway entrances occupy 6.48% of the total roof area  
Roof Top Patio 201: 296.54 sq.ft. (27.55 sq.m.)  
Roof Top Patio 202: 296.54 sq.ft. (27.55 sq.m.)  
Total: 593.08 sq.ft. (55.10 sq.m.)

Date  
September 15, 2020

Project Address  
876 Dunsmuir Road  
Esquimalt, B.C.

Prepared for  
Jim Penner

Project #  
8081

Scale  
1/4" = 1'-0"

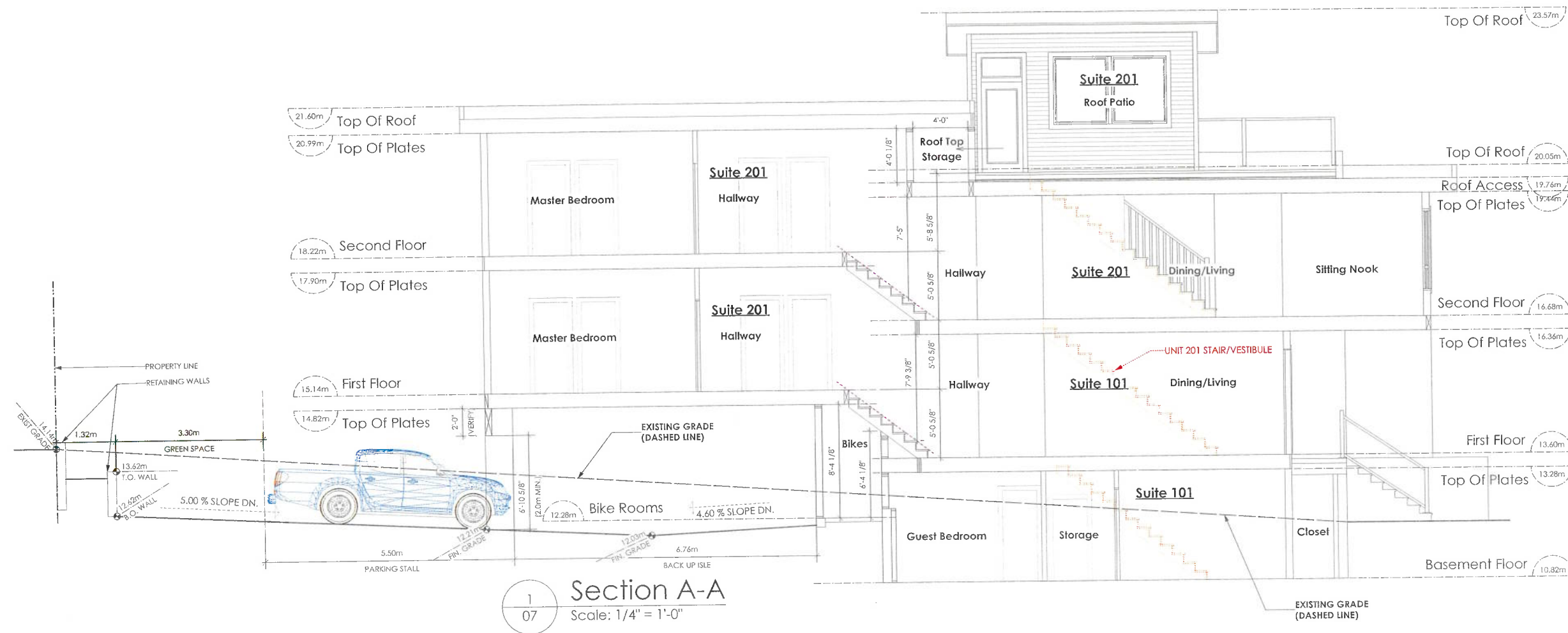
Drawn By  
JTE

Development Permit Presentation

RECEIVED

SEP 22 2020

CORP. OF TOWNSHIP  
OF ESQUIMALT  
DEVELOPMENT SERVICES



# Development Permit Presentation

RECEIVED

SEP 22 2020

CORP. OF TOWNSHIP  
OF ESQUIMALT  
DEVELOPMENT SERVICES



1  
08 Streetscape  
Scale: 1/8" = 1'-0"

**Date**

September 15, 2020

**Project Address**

876 Dunsmuir Road  
Esquimalt, B.C.

**Prepared for**

Jim Penner

**Project #**

8081

**Scale**

1/4" = 1'-0"

**Drawn By**

JTE

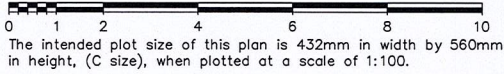
**Development Permit Presentation**

This sketch does not constitute a redefinition of the legal boundaries hereon described and is not to be used in any matter which would assume same.

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Subject to charges, legal notations, and interests shown on: Title No. CA5930624 (P.I.D. 001-586-971)



**SITING PLAN  
of EXISTING and  
PROPOSED BUILDINGS**

Client: **JIM PENNER**  
Legal: Lot 77, Section 11,  
Esquimalt District,  
Plan 265  
ADDRESS : 876 & 880 Dunsmuir Road  
PROJECT SURVEYOR : PJW  
DRAWN BY : PJW DATE : Sept 3/19.  
OUR FILE : 30673 REV : Apr 20/20.

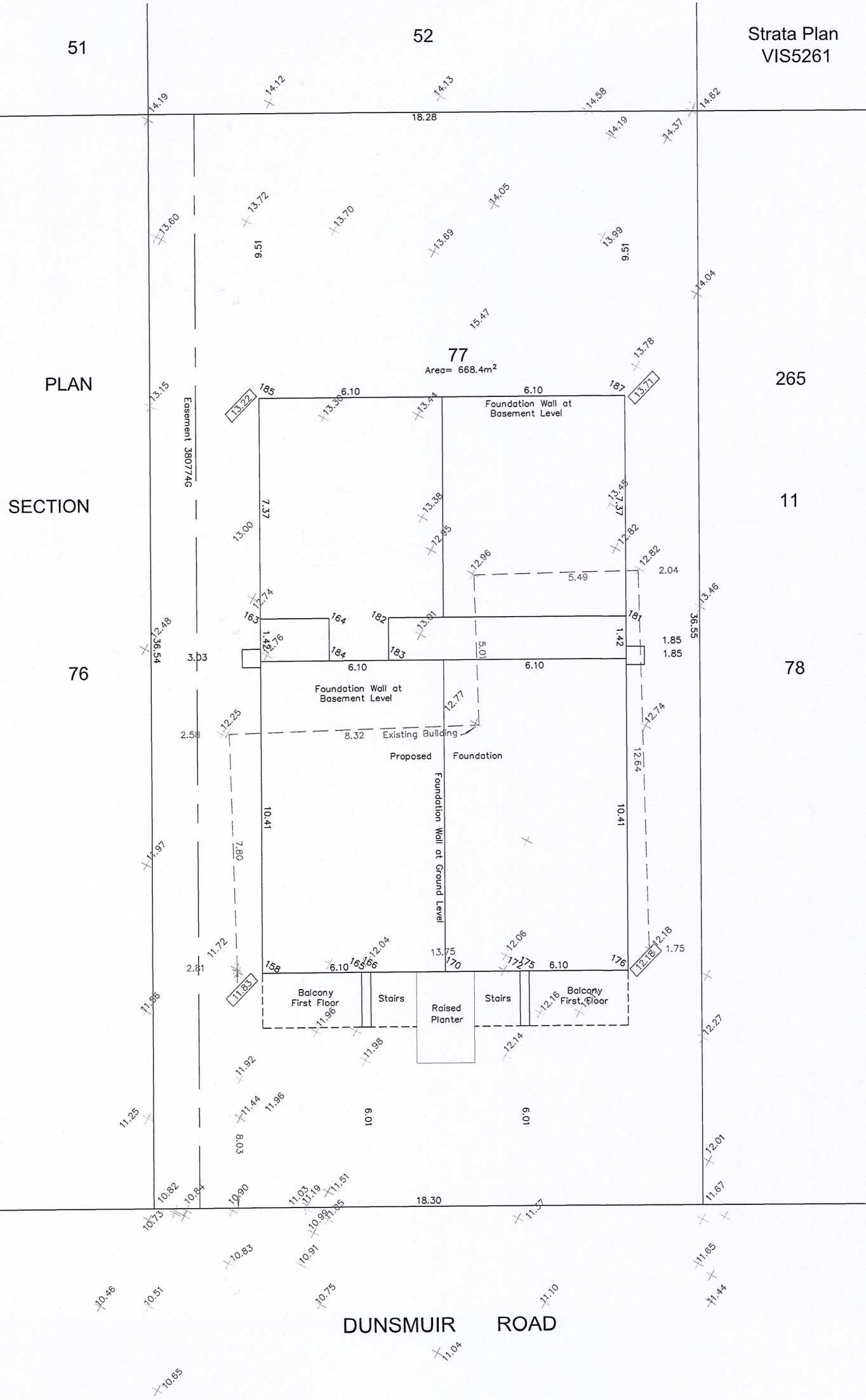


**J.E. ANDERSON  
& ASSOCIATES**  
SURVEYORS - ENGINEERS

4212 GLANFORD AVE, VICTORIA, B.C. V8Z 4B7  
TEL: 250-727-2214 FAX: 250-727-3395  
E-MAIL : info@jeanderson.com  
VICTORIA-NANAIMO-PARKSVILLE-CAMPBELL RIVER



**LEGEND**  
Distances and elevations are in metres  
Elevations are geodetic based on control monument 84H0178  
Elevations are at grade unless noted otherwise  
+--- Denotes Typical Spot Elevation



Peter Wittstock  
QRVALE  
c=CA, cn=Peter Wittstock  
QRVALE, o=BC Land Surveyor,  
ou=Verify ID at  
www.juricert.com/LKUP.cfm?  
id=QRVALE

Certified correct this 20th day of April, 2020.  
Peter J. Wittstock, BCLS 917

LAVANDULA ANGUSTIFOLIA 'HIDCOTE'

CORNUS

NASSELLA TENUISSIMA

ACER CIRCINATUM

PENNISETUM ALOPECUROIDES 'HA MELN'

POLYSTICHUM MUNITUM

FESTUCA ROEMERII

GAULTHERIA SHALLON

BRACHYGLOTTIS GREYII

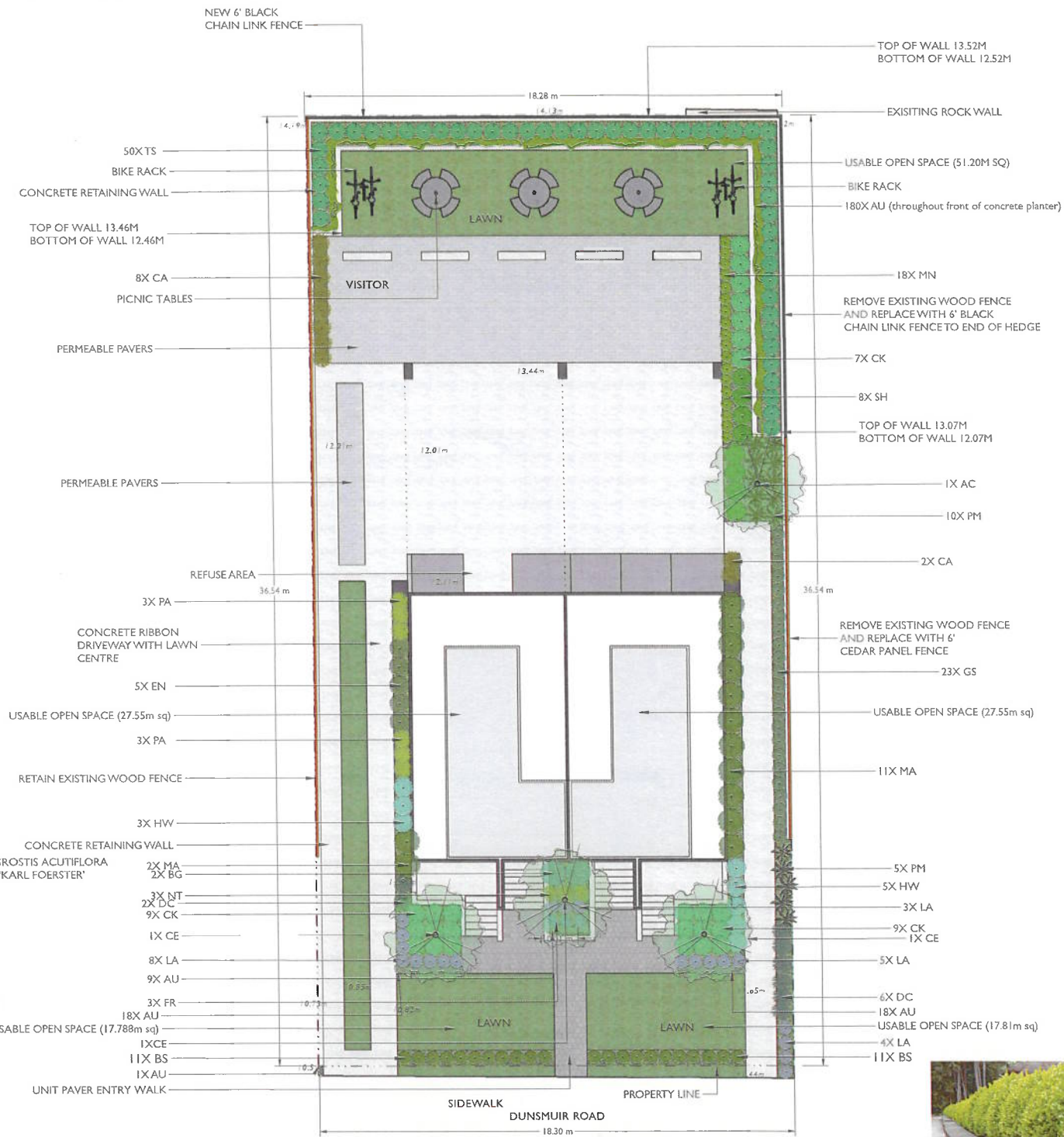
CALAMAGROSTIS

SARCOCOCCA HOOKERIANA HUMILIS

CORNUS SERICEA 'KELSEY'

ARCTOSTAPHYLOS UVA-URSI

HEBE WESTERN HILLS



| ABB.                                 | QTY. | SIZE         | BOTANICAL NAME                     | COMMON NAME                      |
|--------------------------------------|------|--------------|------------------------------------|----------------------------------|
| <b>TREES</b>                         |      |              |                                    |                                  |
| AC                                   | 1    | B&B 2cm cal. | ACER CIRCINATUM                    | VINE MAPLE                       |
| CE                                   | 3    | B&B 2cm cal. | CORNUS 'EDDIE'S WHITE WONDER'      | EDDIE'S WHITE WONDER DOGWOOD     |
| <b>SHRUBS</b>                        |      |              |                                    |                                  |
| BG                                   | 2    | #5           | BRACHYGLOTTIS GREYI                | DAISY BUSH                       |
| BS                                   | 22   | #2           | BUXUS SEMPERVIRENS 'SUFFRUTICOSA'  | DWARF BOXWOOD                    |
| CK                                   | 25   | #3           | CORNUS SERICEA 'KELSEYI'           | KELSEYI DOGWOOD                  |
| EN                                   | 5    | #3           | ESCALLONIA 'NEWPORT DWARF'         | NEWPORT DWARF ESCALLONIA         |
| HW                                   | 8    | #2           | HEBE 'WESTERN HILLS'               | WESTERN HILLS HEBE               |
| LA                                   | 20   | #1           | LAVANDULA ANGUSTIFOLIA 'HIDCOTE'   | HIDCOTE LAVENDER                 |
| MA                                   | 13   | #5           | MAHONIA AQUIFOLIUM                 | OREGON GRAPE                     |
| SH                                   | 8    | #3           | SARCOCOCCA HOOKERIANA HUMILIS      | DWARF SWEETBOX                   |
| TS                                   | 50   | 5'           | THUJA OCCIDENTALIS 'SMARAGD'       | PYRAMID CEDAR                    |
| <b>PERENNIALS, FERNS AND GRASSES</b> |      |              |                                    |                                  |
| CA                                   | 10   | #1           | CALAMAGROSTIS X A. 'KARL FOERSTER' | KARL FOERSTER FEATHER REED GRASS |
| DC                                   | 8    | #1           | DESCHAMPSIA CAESPITOSA             | TUFTED HAIR GRASS                |
| FR                                   | 3    | #1           | FESTUCA ROMERI                     | ROMERS FESCUE                    |
| PA                                   | 6    | #1           | PENNISETUM ALOPECUROIDES 'HAAMELN' | HAAMELN FOUNTAIN GRASS           |
| PM                                   | 15   | #1           | POLYSTICHUM MUNIMUM                | SWORD FERN                       |
| NT                                   | 3    | #1           | NASSELLA TENUISSIMA                | MEXICAN FEATHER GRASS            |
| <b>GROUNDCOVERS AND BULBS</b>        |      |              |                                    |                                  |
| AU                                   | 226  | 4"           | ARCTOSTAPHYLOS UVA-URSI            | KINNIKINNICK                     |
| GS                                   | 23   | #1           | GAULTHERIA SHALLON                 | SALAL                            |
| MN                                   | 18   | #1           | MAHONIA NERVOSA                    | CREEPING MAHONIA                 |

|                     |                       |           |
|---------------------|-----------------------|-----------|
| SOFTSCAPE: \$19,012 |                       |           |
| TURF:               | \$1.50/sq' X 1208sq'  | \$1812    |
| SOIL @12" DEPTH:    | \$40/yd X 80yds       | \$3200    |
| MULCH @ 3" DEPTH:   | \$55/yd X 12yds       | \$660     |
| SLINGER DELIVERY:   | \$120/hr X 2hrs       | \$240     |
| IRRIGATION:         | \$600/zone X 4 zones  | \$2400    |
| LABOUR:             | \$45/hr X 120hrs      | \$5400    |
| PLANTINGS:          | assorted costs        | \$5300    |
|                     |                       |           |
| HARDSCAPE: \$11,560 |                       |           |
| CONCRETE PATHWAY:   | \$11/sq' x 274.5sq'   | \$3018.40 |
| CHAIN LINK FENCING: | \$44/lineal' x 100'6" | \$4422    |
| WOODEN FENCING:     | \$40/lineal' x 50'6"  | \$2020    |
| METAL BIKE RACKS:   | 150 x 2               | \$300     |
| PICNIC TABLES:      | \$600 x 3             | \$1800    |

## PLANTING & IRRIGATION NOTES

New plantings are shown on Greenspace Designs Planting Plan dated September 3, 2020.

Any plant substitutions shall be made in consultation with the landscape designer.

The Landscape and Irrigation Contractor shall determine the location of all underground services prior to the commencement of landscape work, and shall be responsible for the repair of all damage caused by landscape work to the Owner's satisfaction.

All topsoil and plants shall conform to BCNTA / BCSLA specifications.

Topsoil depths shall be as follows:

- tree 2m x 2m x 2m soil per tree
- shrubs 600 mm depth
- ground covers 150 mm depth

Grass seed shall be Premier Pacific Seeds Ltd All-Purpose Sun & Shade mix, sown @ 10 lb/1000 sq ft.

All grass areas established between October 15 and April 15 shall be seed sod. Sod shall be Anderson Sod Farm Easy Lawn 2000 or equivalent.

All graded beds shall be covered with a 100 mm layer of composted leaf mulch.

All trees shall be secured with two 75 mm diameter x 1.8 m long round poles set 1 m into ground.

Plants determined to be dead or dying at the end of one year from the date of installation shall be replaced by Contractor at the Contractor's expense.

All irrigation beds shall be irrigated with an automatic underground system.

All irrigation materials and installation methods shall conform to IABC standards.

Irrigation within municipal rights of way shall conform to the Township of Esquimalt requirements.

Backflow preventer requirements for Irrigation lines shall conform to Township of Esquimalt requirements.

The Irrigation Contractor shall submit the irrigation system and ensure that it is fully operational prior to acceptance by the owner.

The Irrigation Contractor shall supply all manuals and instruct the owner on irrigation system operation.

:: **DATE** ::  
 MARCH 19, 2019  
 REVISED AUG 26, 2019  
 REVISED APRIL 2, 2020  
 REVISED SEPT 3, 2020

