

CORPORATION OF THE TOWNSHIP OF ESQUIMALT

DEVELOPMENT PERMIT

NO. DP000150

Owners: Tarling, Amanda Jane Burk Sutton
Tarling, Graham Antony

Land: PID 031-023-908, Strata Lot B, Suburban Lot 48, Esquimalt District, Strata Plan EPS5951 together with an interest in the common property in proportion to the unit entitlement of the strata lot as shown on Form V

Address: 455 Sturdee Street, Esquimalt, BC

Conditions:

1. This Development Permit is issued subject to compliance with all of the bylaws of the Municipality applicable thereto, except as specifically varied or supplemented by this permit, for the purpose of protection of development from hazardous conditions, as governed by Development Permit Area No. 2.
2. Approval of this Development Permit is issued in accordance with the drawings prepared by One Seed Architecture + Interior, stamped "Received, October 28, 2020", attached hereto as Schedule 'A'.
3. The lands shall be developed in accordance with the terms, conditions and provisions of this Permit.
4. The terms, conditions and covenants contained herein shall enure to the benefit of and be binding upon the Owners, their executors, heirs or administrators, successors and assigns as the case may be or their successors to title in the lands.
5. This Development Permit is not a Building Permit.
6. This Permit lapses two (2) years after the date it is issued if the holder of the Permit does not substantially start any construction with respect to which the Permit was issued.
7. For the purposes of this Development Permit, the holder of the Permit shall be the owner(s) of the lands.

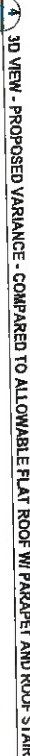
APPROVED BY MUNICIPAL COUNCIL RESOLUTION ON THE _____ DAY OF
NOVEMBER, 2020

ISSUED BY THE DIRECTOR OF DEVELOPMENT SERVICES ON THIS _____ DAY
OF NOVEMBER, 2020.

Director of Development Services

Corporate Officer
Corporation of the Township
of Esquimalt

CORPORATE OFFICER



NOT FOR
CONSTRUCTION

**TARLING
ECO HOUSE**
Strata Lot B Suburban Lot
4B, 455 Danden Street

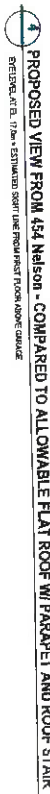
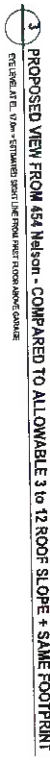
A03


CORPORATE OFFICER

OCT 28 2020

SOLAR PANEL ARRAY IS NOT PART OF PROPOSED VARIANCE (DOES NOT EXCEED HEIGHT LIMITATIONS), LAYOUT T1D.

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CONSTRUCTION





ONE SEED

ARCHITECTURAL • INTERIORS

5615 Ferguson Road, Vancouver, BC V6H 3P2
 Tel: 604-276-1100 • Fax: 604-276-1101

TARLING

ECO HOUSE

Straw Bale & Subsidiary Ltd.
 1410 Southview Street
 45A Nelson

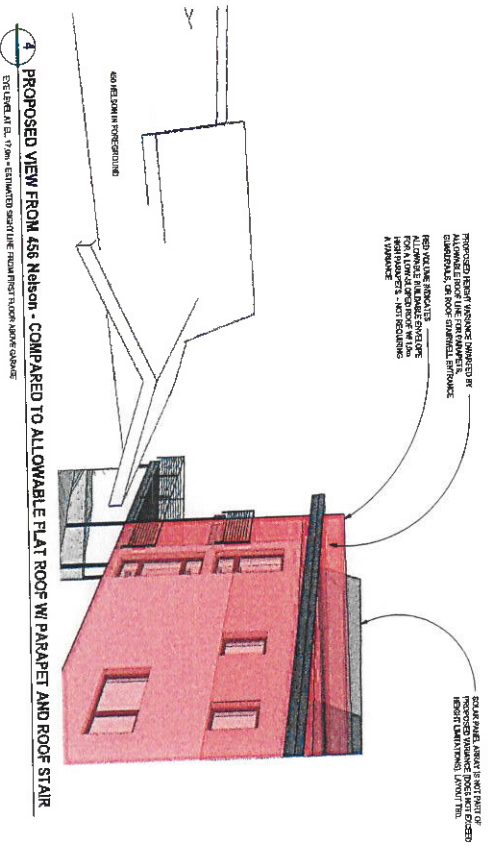
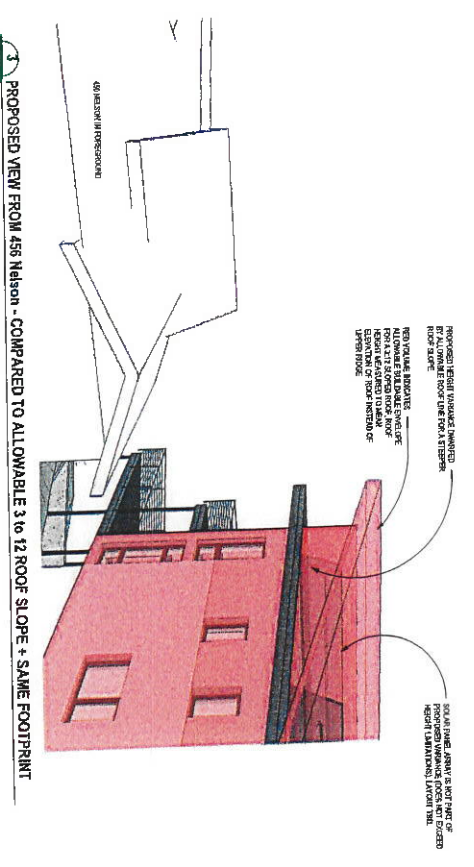
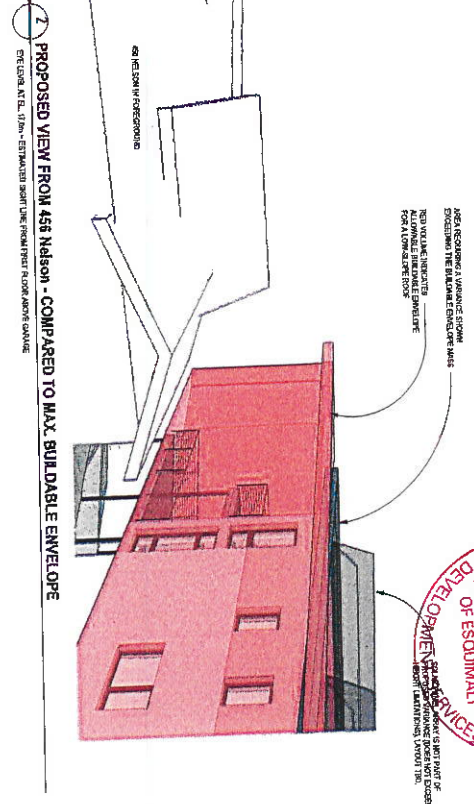
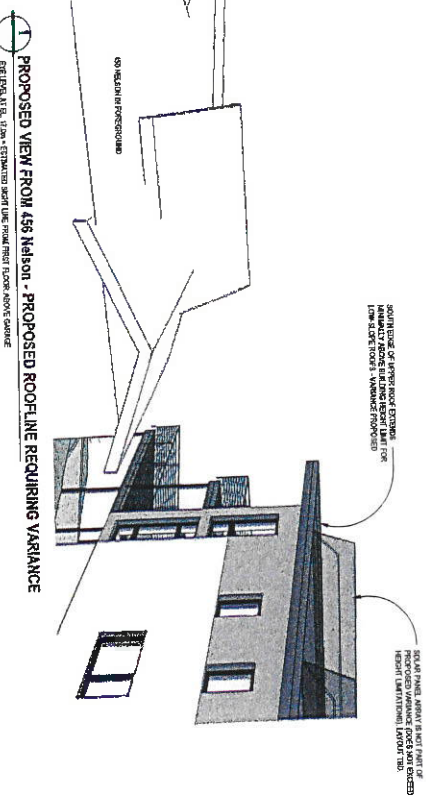
1992 D.J.A. /
 HBC /
 OCT 27, 2020
 1992 and not 1993

Year	Architect	Builder	Client
2002/3	Arch/RMC	Arch/RMC	Arch/RMC

A03

SCHEDULE 'A' OF
DEVELOPMENT PERMIT
NO. DP000150
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RECEIVED
OCT 28 2020
CORP OF TOWNSHIP
OF ESQUIMALT
DEVELOPMENT SERVICES



General Notes:
Contractor and all sub-trades shall verify dimensions and locations of all existing structures. Any discrepancies to be reported immediately to the architect.
Contractor shall be responsible for all conditions on the job. All work completed on site is to conform to current applicable bylaws and codes (British Columbia Building Code, Vancouver Building Code).
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No.	Name / Revision	Date
1	Issue for Review	2020-10-28
2	Issue for Review	2020-10-28
3	Issue for Review	2020-10-28
4	Issue for Review	2020-10-28
5	Issue for Review	2020-10-28
6	Issue for Review	2020-10-28
7	Issue for Review	2020-10-28
8	Issue for Review	2020-10-28
9	Issue for Review	2020-10-28
10	Issue for Review	2020-10-28



ONE SEED
ARCHITECTURE + INTERIORS
1111 14th Avenue, Suite 100
Vancouver, BC V5Z 1S1

TARLING
ECO HOUSE
456 Nelson Street
Vancouver, BC V5Z 1S1

VIEW STUDY FROM
456 Nelson
DATE: 2020-10-28
DRAWN BY: [Name]
CHECKED BY: [Name]
SCALE: 1/8" = 1'-0"

A03

SOUTHERN EDGE OF UPPER FLOOR EXTENDS
MINIMALLY ABOVE BUILDING HEIGHT LIMIT FOR
LOW-RISE ROOFS - VANDAGE PROPOSED



PROPOSED HEIGHT VARIANCE LOWER
THAN MORE IMPOSING ALLOWABLE RIDG
LINE FOR A STEEPER ROOF & ONE

RED VOLUME INDICATES ALLOWABLE BUILDABLE ENVELOPE FOR A 3:12 SLOPED ROOF. ROOF HEIGHT MEASURED TO NEAR ELEVATION OF ROOF INSTEAD OF UPPER FLOOR



3 PROPOSED VIEW FROM 450 Nelson - COMPARED TO ALLOWABLE 3 to 12 ROOF SLOPE + SAME FOOTPRINT
EYE LEVEL AT 11' 3" (ESTIMATED) ABOUT LINE FROM WEST FRONT REAR STREET CORNER WINDOW

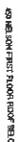
CORPORATE OFFICER



2. PROPOSED VIEW FROM 450 Nelson - COMPARED TO MAX. BUILDABLE ENVELOPE
EYE LEVEL AT BL. 114m = ESTIMATED SOUTH LINE FROM WEST FACING UPPER STOREY CORNER WINDOW

PROPOSED HEIGHT VARIANCE LOWER THAN
 ABOVE IMPOSING ALLOWABLE ROOF LINE FOR
 PARADETS, GARDENS, & OR ROOF STAIRWELL
 ENTRANCE.

RED VOLUME INDICATED ALLOWABLE
BULBULE ENVELOPE FOR A 1.0M-SLOPE
ROOF W/ 1.0M HIGH PARAPETS - NOT
REPRESENTING A VARIANCE



4. PROPOSED VIEW FROM 450 Nelson - COMPARED TO ALLOWABLE FLAT ROOF w/ PARAPET AND ROOF STAIR
ELEVATION AT E. 11.3m - ESTIMATED SIGHT LINE FROM WEST FACED UPPER FLOOR CORNER WINDOW

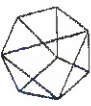
General Notes

Contractor and all sub-trades shall verify dimensions on site. Do not scale these drawings. Any discrepancies to be reported immediately to the architect.

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NOT FOR
CONSTRUCTION



ONE SEED

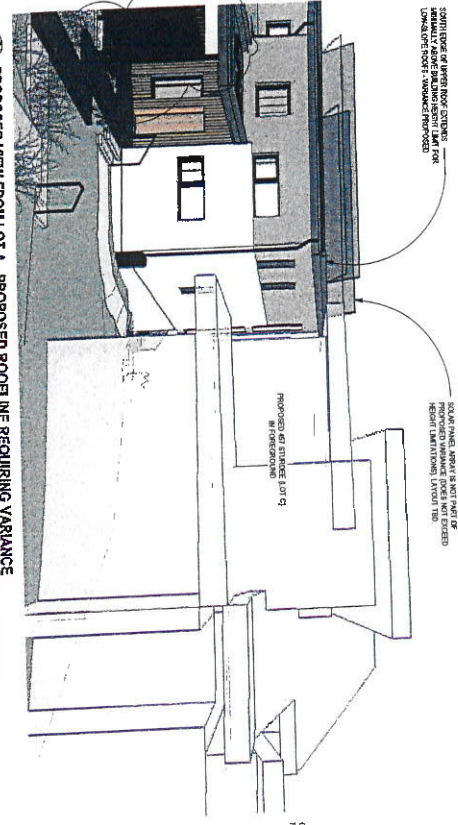
ARCHITECTURE - INTERIOR

A11 • 525 Supreme Street, Worcester, MA 01608
or 800-544-6696, info@wpi.comTARLING
ECO HOUSEStrata Lot B Suburban Lot
418, 455 Shadlee Street

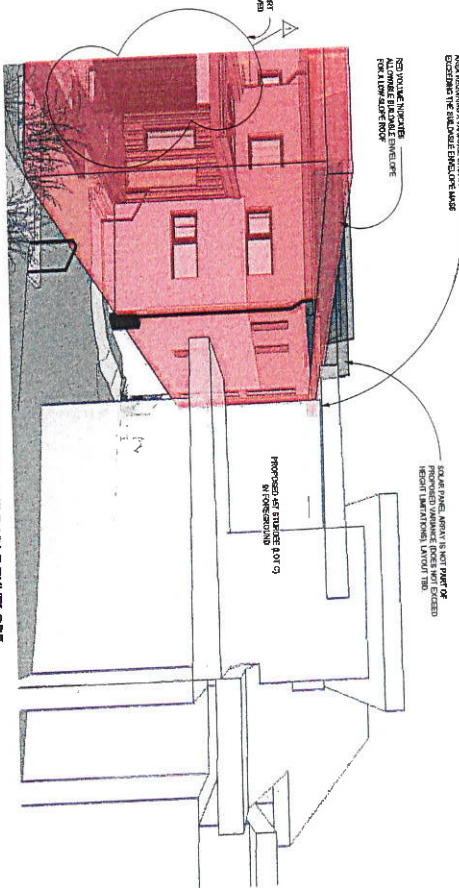
VIEW STUDY FROM
450 Nelson

Project Name: LE D.V.P.	Project Number: 200214	
Client: HG	Designed: AHP/HG	Checked: AHP
Date: OCT. 27, 2020	A03	

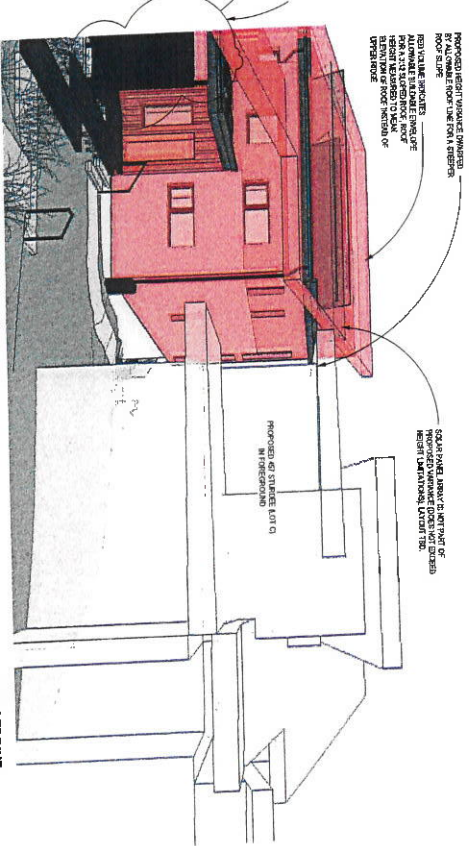
**SCHEDULE 'A' OF
DEVELOPMENT PERMIT
NO. D000150
CORPORATE OFFICER**



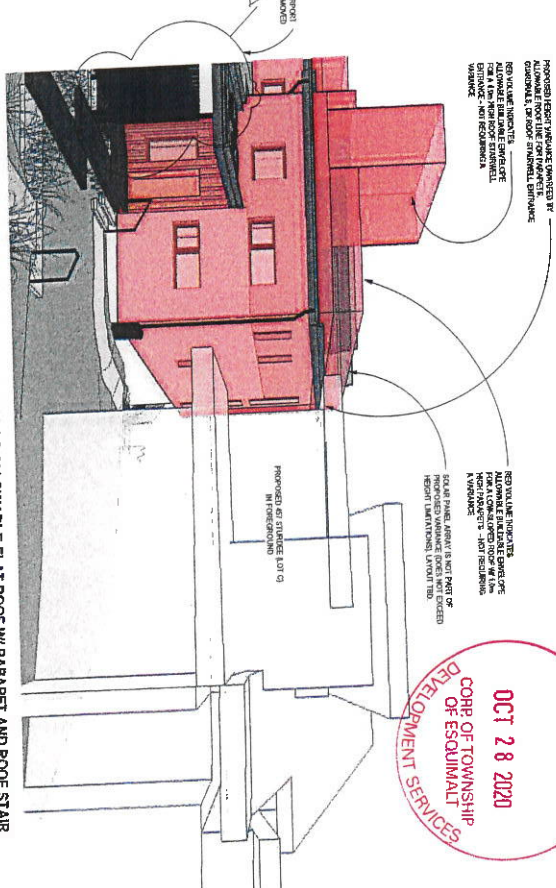
1 PROPOSED VIEW FROM LOT A - PROPOSED ROOFLINE REQUIRING VARIANCE



2 PROPOSED VIEW FROM LOT A - COMPARED TO MAX. BUILDABLE ENVELOPE



3 PROPOSED VIEW FROM LOT A - COMPARED TO ALLOWABLE 3 TO 12 ROOF SLOPE + SAME FOOTPRINT



4 PROPOSED VIEW FROM LOT A - COMPARED TO ALLOWABLE FLAT ROOF W/ PARAPET AND ROOF STAIR

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OF ESQUIMALT
DEVELOPMENT SERVICES

General Notes:
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This set of drawings and the design as shown within the property of the architect.

NOT FOR CONSTRUCTION

<p>VIEW STUDY FROM 459 STUDDIE (A)</p>	
<p>TARLING ECO HOUSE</p>	<p>459 STUDDIE (A)</p>
<p>DATE: OCT 27, 2020</p>	<p>SCALE: 1/8" = 1'-0"</p>
<p>PROJECT NO. A03</p>	<p>CLIENT: T. & J. BROWN</p>

SCHEDULE 'A' OF
DEVELOPMENT PERMIT
NO. DP0000150
CORPORATE OFFICER



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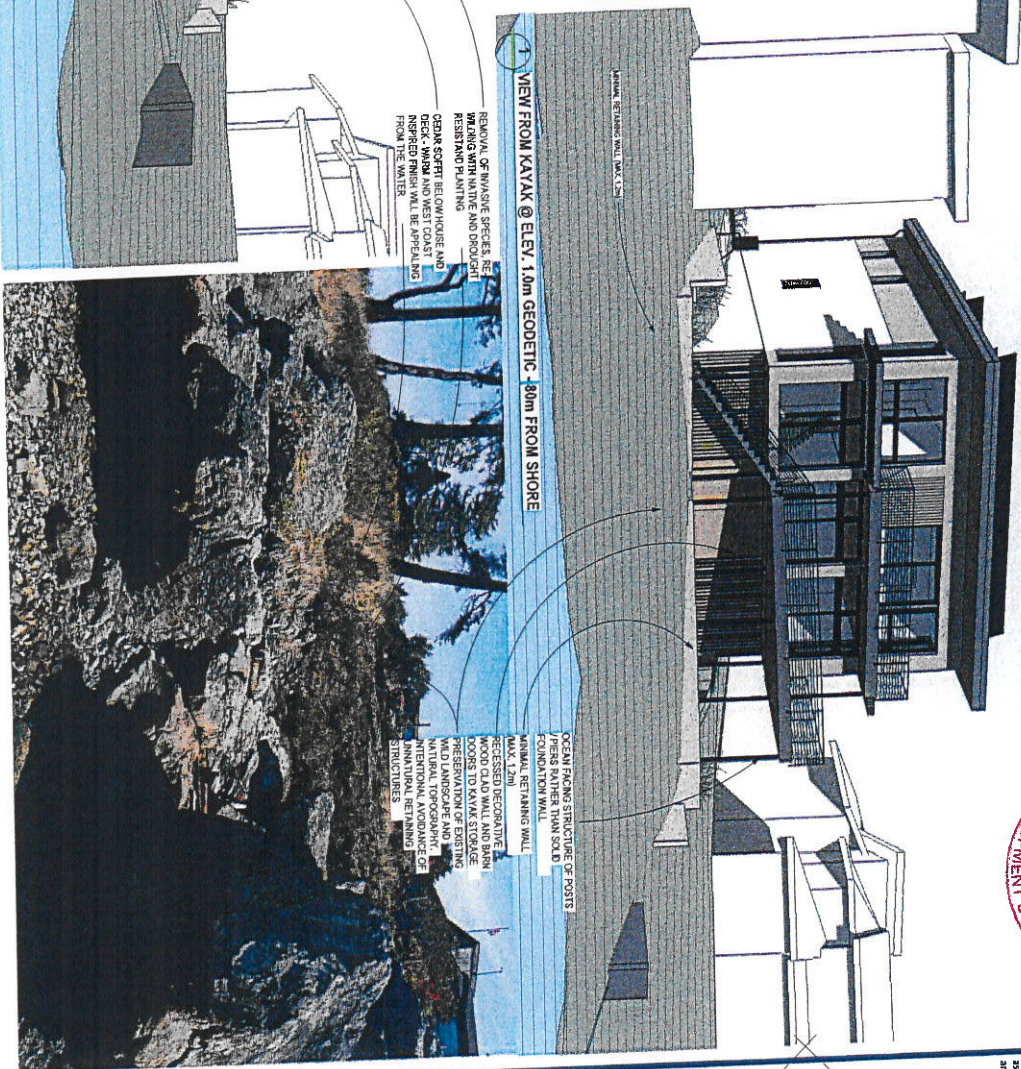
PRESERVATION OF EXISTING NATURAL LANDSCAPE, REMOVAL OF INVASIVE SPECIES, REWINDING WITH NATIVE AND DROUGHT RESISTANT PLANTING.
WE PLAN TO REPAIR NATURAL TOPOGRAPHY, NEAR WATER FACING NATURAL SLOPES, STEEP ROCK FACES AND ALL THE COVER, INCHES, STEPS THAT ALREADY PROVIDE HAZARD FOR PEOPLE.



1 VIEW FROM KAYAK @ ELEV. 1.0m GEODETIC - 80m FROM SHORE

REMOVAL OF INVASIVE SPECIES, REWINDING WITH NATIVE AND DROUGHT RESISTANT PLANTING.
CEILING SCOFFER BELOW HOUSE AND DECK, WOOD AND WEST COAST RUSTLED FINISH WILL BE APPEARING FROM THE WATER.

OCEAN FACING STRUCTURE OF POSTS (PILERS) RATHER THAN SOLID FOUNDATION WALL.
MINIMAL RETAINING WALL, MAX. 1.2m.
RECESSED DECKLINE AND DOORS TO KAYAK STORAGE PRESERVATION OF EXISTING NATURAL TOPOGRAPHY AND NATURAL RETAINING STRUCTURES.



2 VIEW FROM KAYAK @ ELEV. 1.0m GEODETIC - JUST OFF SHORE



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ONE SEED
ARCHITECTURE
411-333-0000
100-1000

TARLING
ECO HOUSE
OCEAN

VIEW STUDY FROM
OCEAN

DATE: OCT 27, 2020
DRAWING: A03

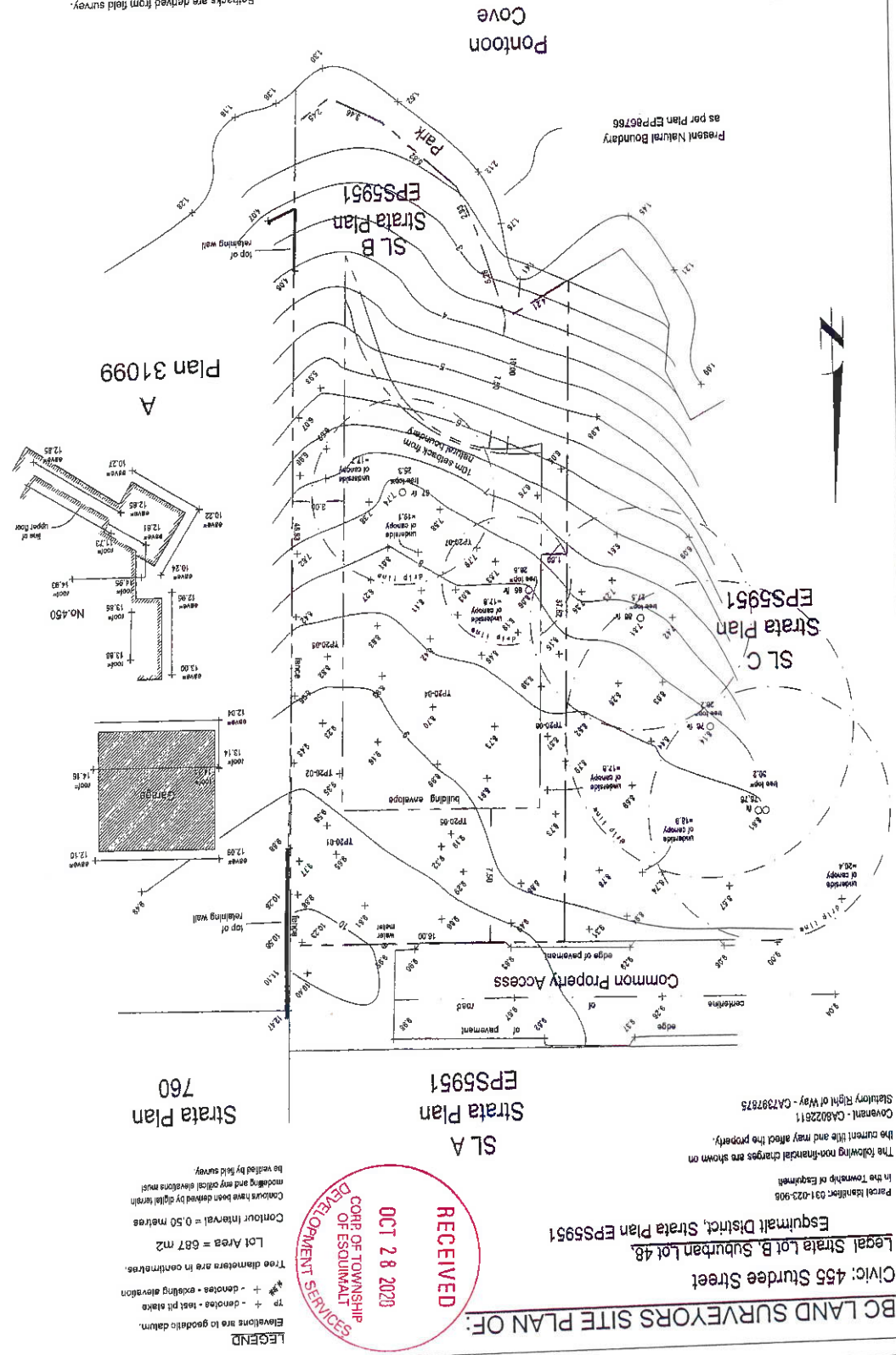
**SCHEDULE 'A' OF
DEVELOPMENT PERMIT
NO. DP000150**

CORPORATE OFFICER

May 22, 2020
 Powell & Associates
 B.C. Land Surveyors
 250-2950 Douglas Street
 Victoria, B.C. V8T 4N4
 Phone (250) 382-8855
 File: 11.098-19

Scale 1:200 Distances are in meters
 The intended print size is 11" by 17"

Setbacks are derived from field survey.
 Parcel dimensions shown hereon are
 derived from Land Title Office records.
 This document shows the relative location
 of the surveyed features and shall not be
 used to define property boundaries.



BC LAND SURVEYORS SITE PLAN OF:
 Civic: 455 Sturdee Street
 Legal: Strata Lot B, Suburban Lot 48,
 Esquimalt District, Strata Plan EPS5951
 Parcel Identifier: 031-023-905
 In the Township of Esquimalt
 The following non-financial charges are shown on
 the current title and may affect the property:
 Covenant - CA6022811
 Statutory Right of Way - CA7397875

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 OF ESQUIMALT
 SERVICES DEVELOPMENT SERVICES

**TARLING
 ECO HOUSE**
 SURVEY EXISTING
 (BY OTHERS)
 A10

**NOT FOR
 CONSTRUCTION**

General Notes:
 Contractor and all sub-trades shall
 verify dimensions on site. Do not
 scale these drawings. Any
 discrepancies shall be reported
 immediately to the architect.
 Contractor shall be responsible for all
 conditions on site to conform to
 current applicable bylaws and codes
 (British Columbia Building Code,
 Vancouver Building Bylaw).
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 architect.

CORPORATE OFFICER

OCT 28 2023

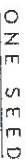
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NOT FOR
CONSTRUCTION



411 • Elm Springs Drive, Vancouver, BC V6B 2K7
tel: 604.556.0000 www.springside.ca

TARLING

ECU HOUSE

48,428 SPORTS SUITS

SITE PLAN

Project Number	
----------------	--

Defect:
AHD / HC

A1

153.96' (46.3 m) SITE DEPTH - EAST

—

LOWER

ROOF 1ST FLOOR

UPPER
WINDOWS

PROOF 24

UPPER
DUMME

10

Development Variance Permit Note

THE REQUESTED WARRANTY IS FOR AN INCREASE IN DOWNDRAFT RATE OF THE LOWER ROOF ONLY. OTHER ASPECTS OF DESIGN ARE SUBJECT TO CHANGE.

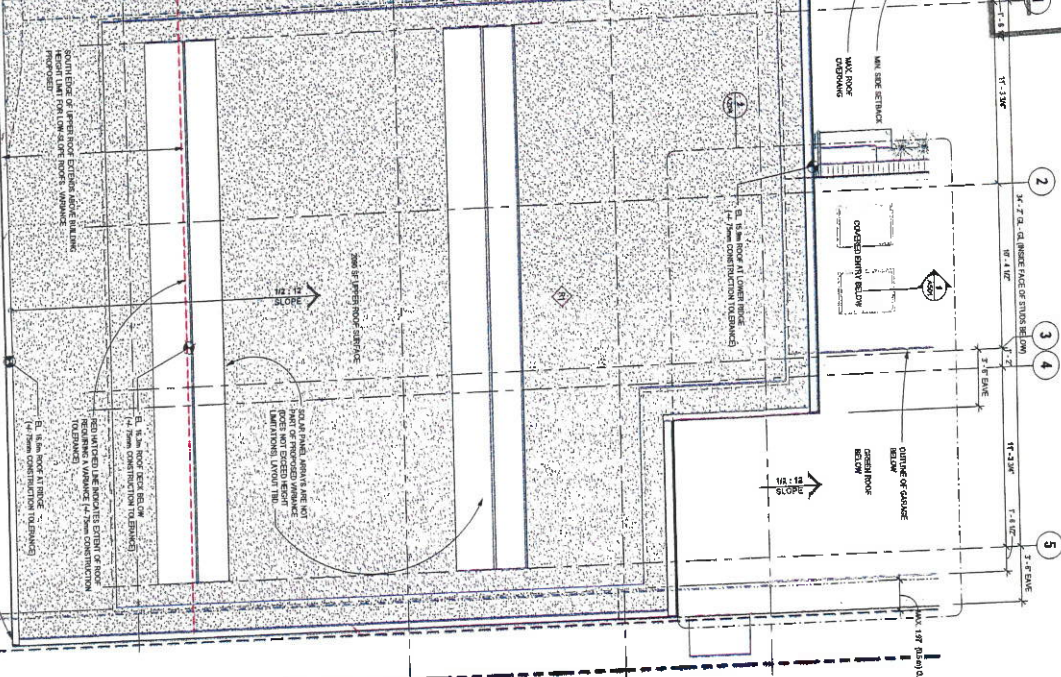
MEASURED FROM THE 3.0m GEODETIC ELEVATION (STANDARD HAZARD ZONE DPM 00008) TO THE HIGHEST POINT OF THE LOW SLOPED ROOF (ZONING ETLAY 2550 15411).

CVT - REQUESTED VOUCHER FOR AN INVOICE IN COT COUNTRY.

BUILDING HEIGHT	7.2m	7.2m	0.23 m/sec
Zoning System Section R3-3.36.5.(4)		(=0.23 m/sec)	

LOT NUMBER	
206898	30% P21H.4 SF) 71.5% P22H.2 SF) 1.5%
206899	(121.3 SF)
206900	
206901	
206902	
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206904	
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OF ESQUIMAULT

2 ROOF PLAN - GARAGE AND CARPORT

1 ROOF PLAN - UPPER
1/4" = 1'-0"

General Notes:

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ONE SEED
RECREATIVE • MICROFILM
4111 5325 Shepherd Street, Vancouver, BC V6B 3B7
4111 5325 SHEPHERD STREET VANCOUVER, BC V6B 3B7

**TARLING
ECO HOUSE**
Strata Lot B Seaburn Lodge
418, 455 Spurgeon Street
ROOF PLAN

ROOF PLAN

Project #/Phase:	Project Number		
U.S.N.V.	200214		
Drawn:	Designed:	Checked:	
HG	AHP/HG	AHP	
Date:			
OCT. 27, 20020			
Scale (all sizes UNLESS NOTED)			
1/4" = 1'-0"			

A20

A20

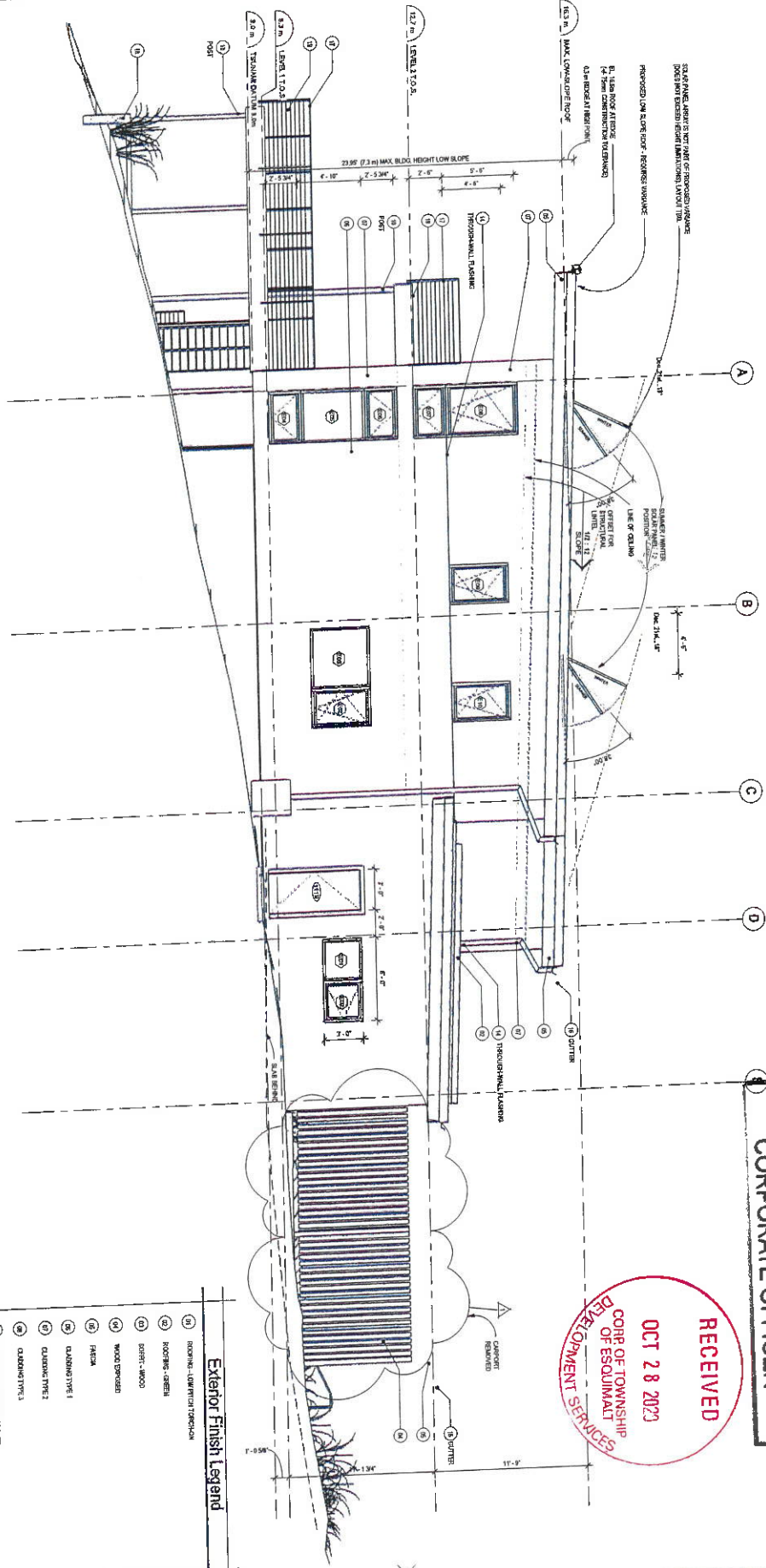
**SCHEDULE 'A' OF
DEVELOPMENT PERMIT
NO. DP000150**

CORPORATE OFFICER



**NOT FOR
CONSTRUCTION**

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1 EAST ELEVATION (SIDE)

Elevation Legend

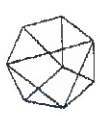
1. 12m cantilevered overhang
2. 22.9m (7.5m) max. ridge height low slope
3. 12.2m level
4. 12m cantilevered overhang
5. 22.9m (7.5m) max. ridge height low slope
6. 12.2m level
7. 12m cantilevered overhang
8. 22.9m (7.5m) max. ridge height low slope
9. 12.2m level
10. 12m cantilevered overhang
11. 22.9m (7.5m) max. ridge height low slope
12. 12.2m level
13. 12m cantilevered overhang
14. 22.9m (7.5m) max. ridge height low slope
15. 12.2m level
16. 12m cantilevered overhang
17. 22.9m (7.5m) max. ridge height low slope

Development Variance Permit Note

THE DEVELOPER HAS REQUESTED A VARIANCE FROM THE STANDARD REQUIREMENTS OF THE DEVELOPMENT PERMIT ACT AND THE DEVELOPMENT PERMIT REGULATIONS. THE VARIANCE IS REQUESTED FOR THE FOLLOWING REASONS:
1. THE DEVELOPER REQUESTS A VARIANCE FROM THE STANDARD REQUIREMENTS OF THE DEVELOPMENT PERMIT ACT AND THE DEVELOPMENT PERMIT REGULATIONS.
2. THE DEVELOPER REQUESTS A VARIANCE FROM THE STANDARD REQUIREMENTS OF THE DEVELOPMENT PERMIT ACT AND THE DEVELOPMENT PERMIT REGULATIONS.
3. THE DEVELOPER REQUESTS A VARIANCE FROM THE STANDARD REQUIREMENTS OF THE DEVELOPMENT PERMIT ACT AND THE DEVELOPMENT PERMIT REGULATIONS.
4. THE DEVELOPER REQUESTS A VARIANCE FROM THE STANDARD REQUIREMENTS OF THE DEVELOPMENT PERMIT ACT AND THE DEVELOPMENT PERMIT REGULATIONS.
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15. THE DEVELOPER REQUESTS A VARIANCE FROM THE STANDARD REQUIREMENTS OF THE DEVELOPMENT PERMIT ACT AND THE DEVELOPMENT PERMIT REGULATIONS.
16. THE DEVELOPER REQUESTS A VARIANCE FROM THE STANDARD REQUIREMENTS OF THE DEVELOPMENT PERMIT ACT AND THE DEVELOPMENT PERMIT REGULATIONS.
17. THE DEVELOPER REQUESTS A VARIANCE FROM THE STANDARD REQUIREMENTS OF THE DEVELOPMENT PERMIT ACT AND THE DEVELOPMENT PERMIT REGULATIONS.

Exterior Finish Legend

- 1. ROOFING - GREEN
- 2. ROOFING - GRAY
- 3. ROOFING - GRAY
- 4. WALLS - GRAY
- 5. WALLS - GRAY
- 6. WALLS - GRAY
- 7. WALLS - GRAY
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- 12. WALLS - GRAY
- 13. WALLS - GRAY
- 14. WALLS - GRAY
- 15. WALLS - GRAY
- 16. WALLS - GRAY
- 17. WALLS - GRAY



**TARLING
ECO HOUSE
(SIDE)**

A40

CORPORATE OFFICER

This set of drawings and the design as shown remain the property of the architect.

**TARLING
ECO HOUSE**
Sitra Lot B Suburban Lot
46, 455 Suburban Street
**WEST ELEVATION
(SIDE)**

Project Name	Tarling Eco House		
Plot No.	11/20/214	Tract No.	2000214
City	Aliso Viejo	County	Orange
State	CA	Alt P/L No.	Alt P/L No.
Date	OCT 27, 2020	Alt P/L No.	Alt P/L No.
As Prepared		Alt P/L No.	Alt P/L No.

A40

SCHEDULE 'A' OF DEVELOPMENT PERMIT NO. DP000150

CORPORATE OFFICER

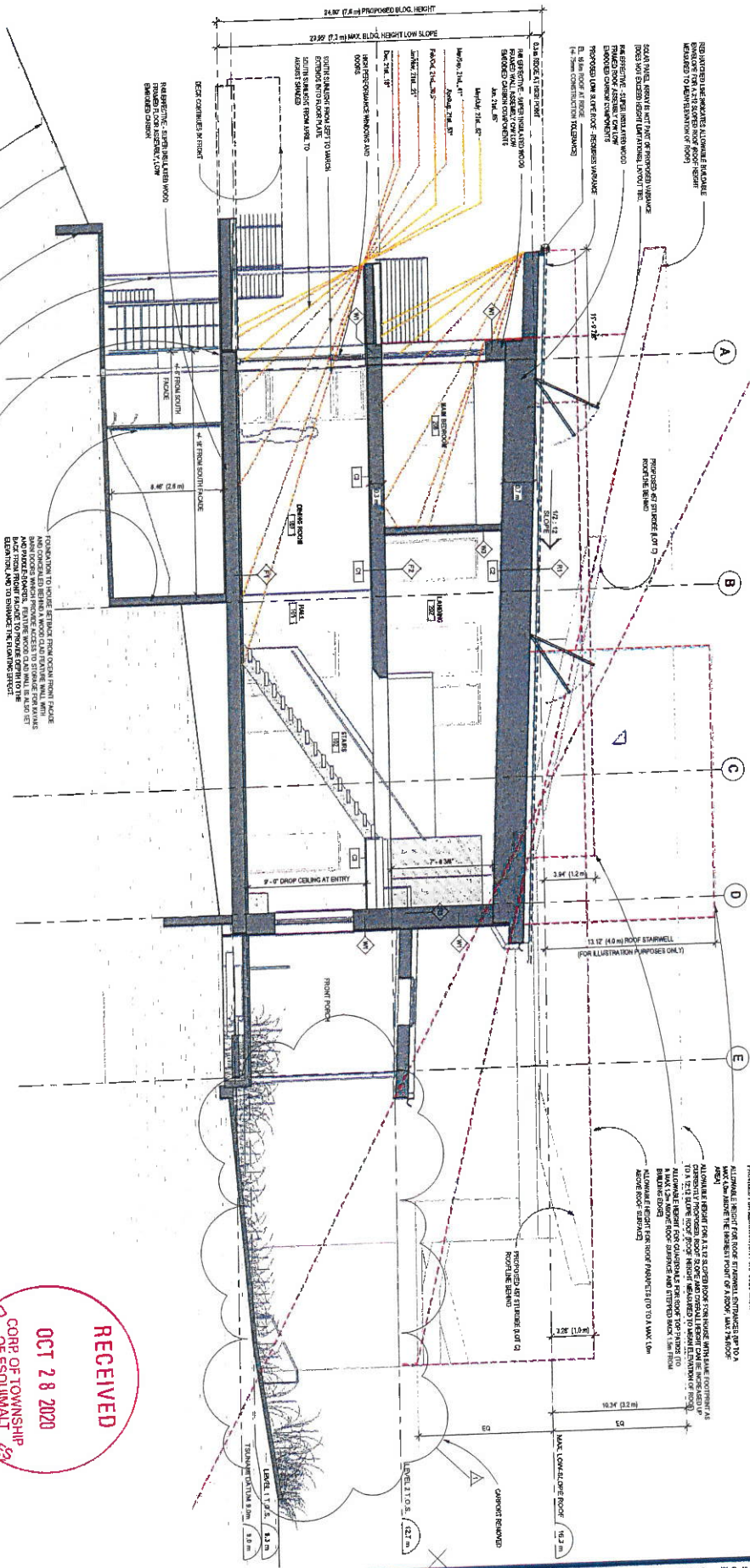
RESIDENTIAL DEVELOPMENT ALLOWED IN THIS ZONE
SUBJECT TO THE FOLLOWING CONDITIONS:

1. THE DEVELOPMENT SHALL BE IN ACCORDANCE WITH THE ZONING BY-LAW AND THE DEVELOPMENT PERMIT.
2. THE DEVELOPMENT SHALL BE IN ACCORDANCE WITH THE ZONING BY-LAW AND THE DEVELOPMENT PERMIT.
3. THE DEVELOPMENT SHALL BE IN ACCORDANCE WITH THE ZONING BY-LAW AND THE DEVELOPMENT PERMIT.
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Contractor and all sub-trades shall verify dimensions on site. Do not scale lines drawings. Any discrepancy shall be reported immediately to the architect.
Contractor shall be responsible for all conditions on the job. All work to be done shall be in accordance with current applicable bylaws and codes (British Columbia Building Code, Vancouver Building Bylaw).
This set of drawings and the design as shown remains the property of the architect.

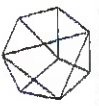
NOT FOR
CONSTRUCTION



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OCT 28 2020
CORP OF TOWNSHIP
OF ESQUIMALT
DEVELOPMENT SERVICES

Development Variance Permit Note

THE APPLICANT HAS REQUESTED A VARIANCE FROM THE ZONING BY-LAW. THE VARIANCE IS REQUESTED FOR THE FOLLOWING REASONS:
1. THE DEVELOPMENT IS IN ACCORDANCE WITH THE ZONING BY-LAW AND THE DEVELOPMENT PERMIT.
2. THE DEVELOPMENT IS IN ACCORDANCE WITH THE ZONING BY-LAW AND THE DEVELOPMENT PERMIT.
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10. THE DEVELOPMENT IS IN ACCORDANCE WITH THE ZONING BY-LAW AND THE DEVELOPMENT PERMIT.



ONE SEET
OF TWO SEETS
TARLING
ECO HOUSE

BUILDING SECTION

DATE: OCT 22 2020
SCALE: 1/8" = 1'-0"
SHEET: 1 OF 2
A50

LONGITUDINAL THROUGH ENTRY