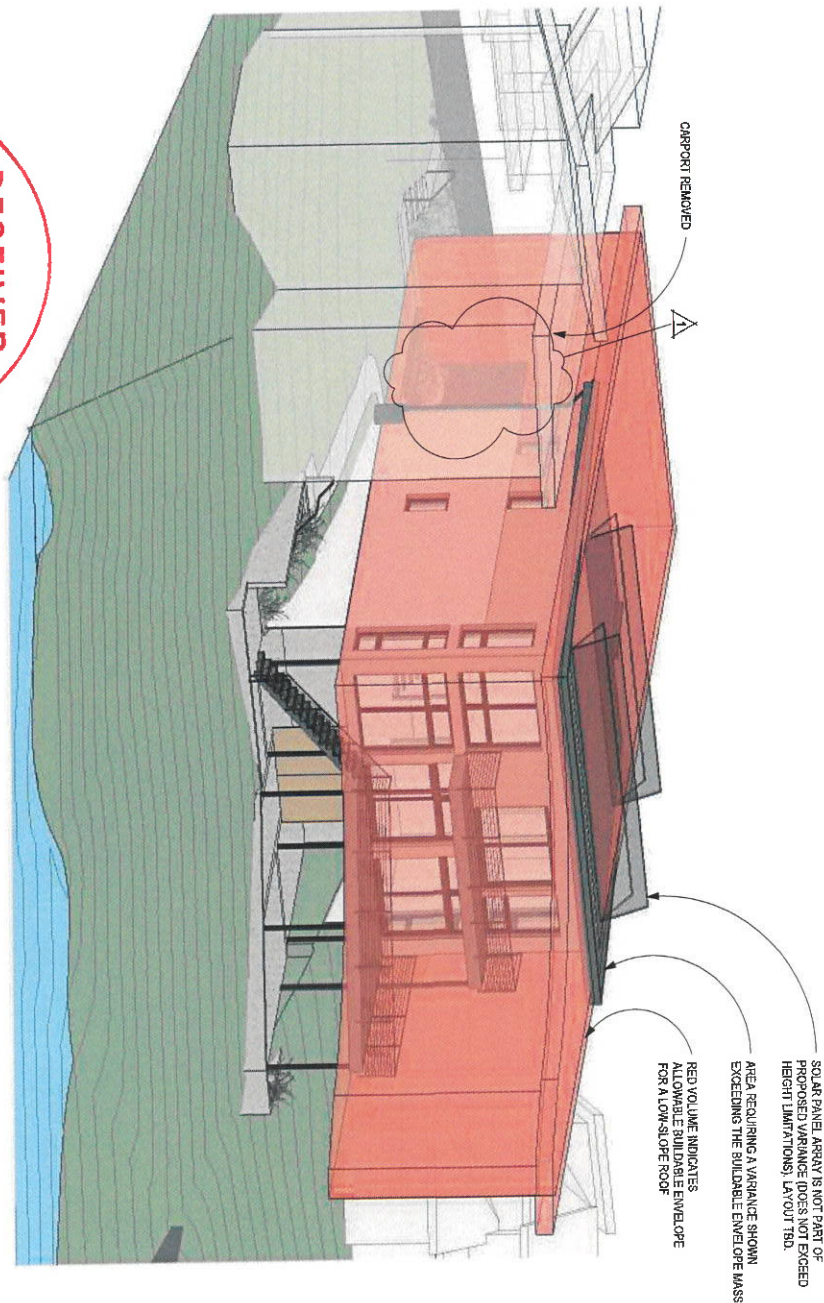
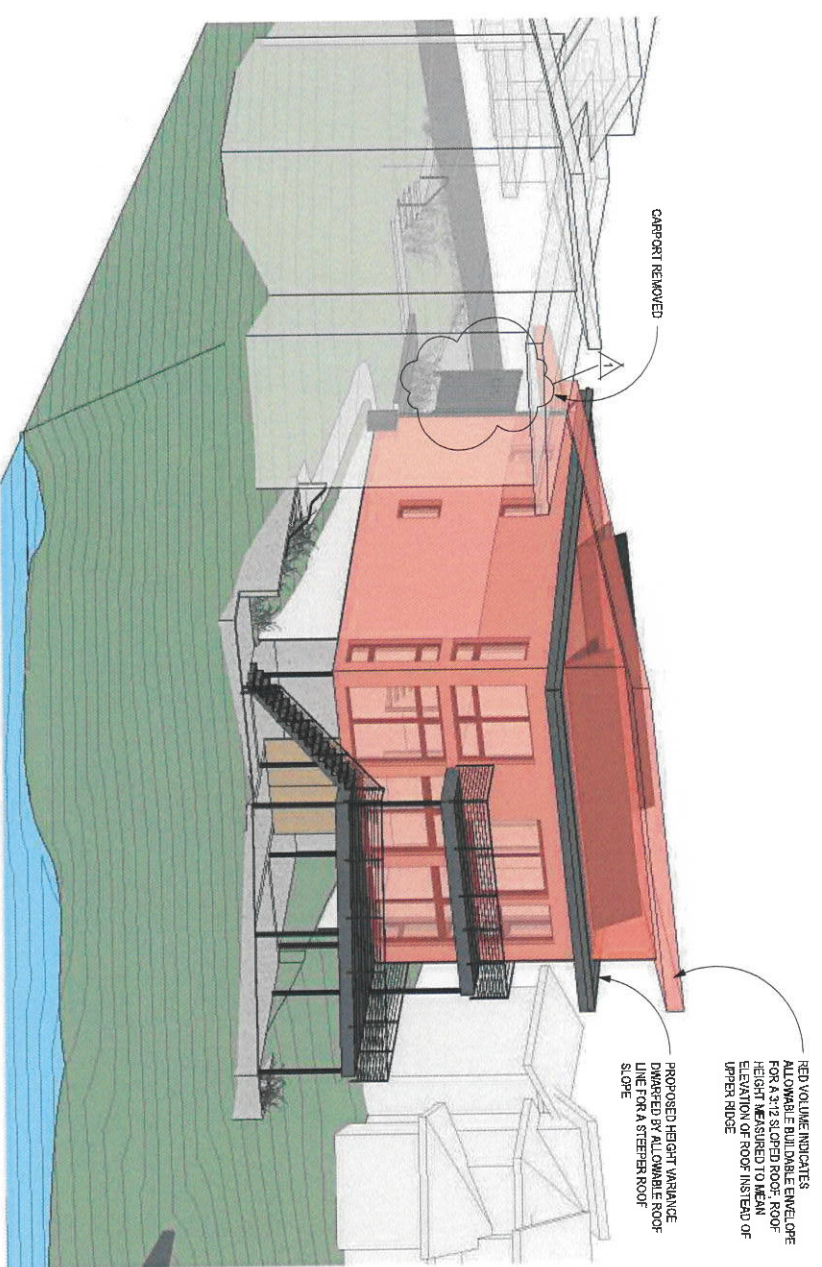


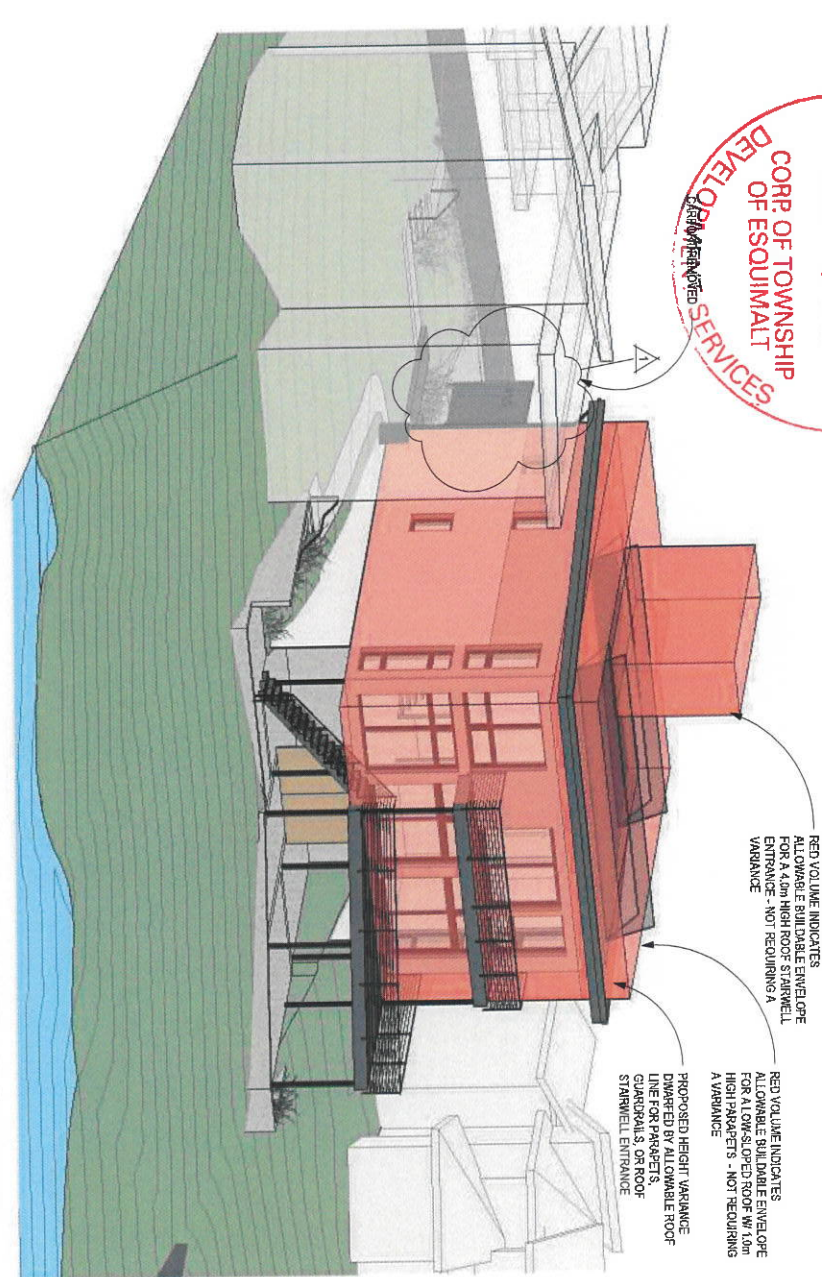
1 3D VIEW - PROPOSED VARIANCE



2 3D VIEW - PROPOSED VARIANCE - COMPARED TO MAX. BUILDABLE ENVELOPE



3 3D VIEW - PROPOSED VARIANCE - COMPARED TO ALLOWABLE 3 TO 12 ROOF SLOPE WITH SAME FOOTPRINT



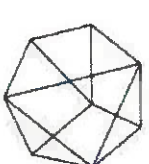
4 3D VIEW - PROPOSED VARIANCE - COMPARED TO ALLOWABLE FLAT ROOF W/ PARAPET AND ROOF STAIR

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NO.	Issue / revision	DATE
1	Issue / revision	11/28/2020



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604.555.0928 one@seed.ca

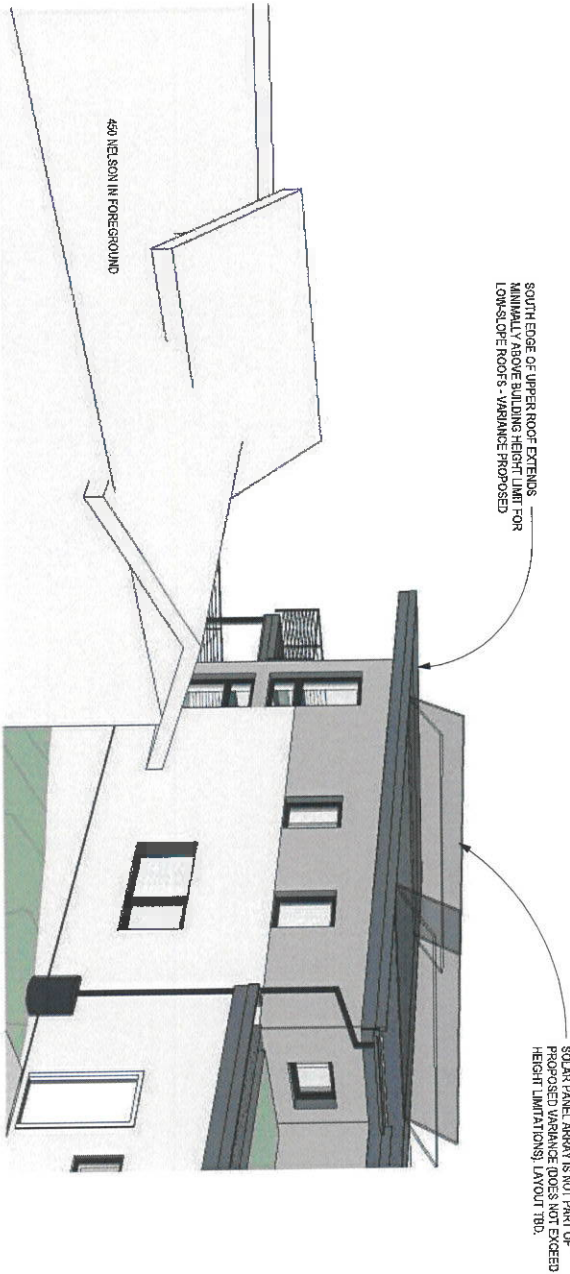
TARLING
ECO HOUSE
Strata Lot B Suburban Lot
46, 455 Spruce Street

3D VIEWS -
PROPOSED ROOF
HEIGHT VARIANCE

Project Name	200214	Client	AHP / HG	Architect	AHP
Drawn	AHP / HG	Checked	AHP		
Date	OCT 27, 2020	Scale	1/8" = 1'-0"		

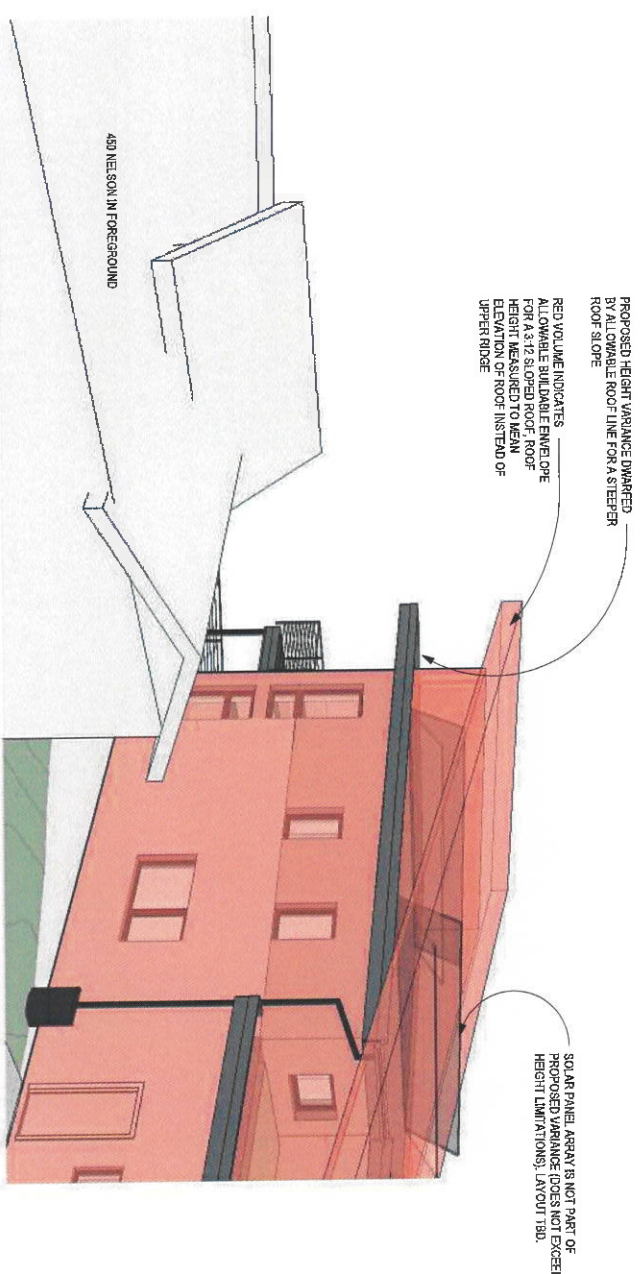
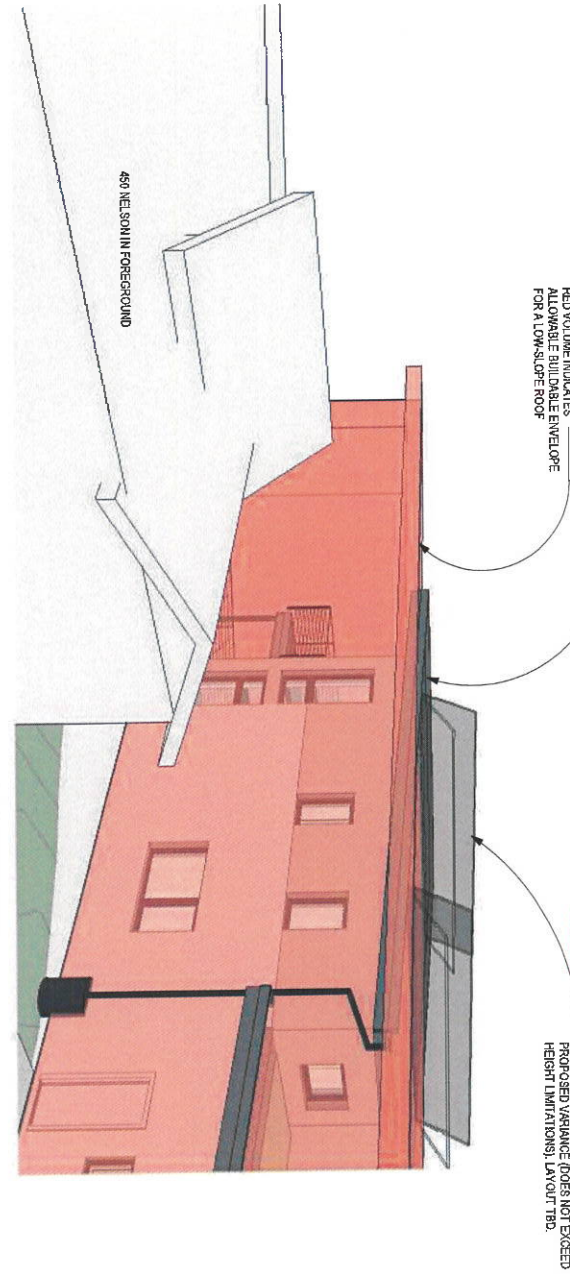
A030

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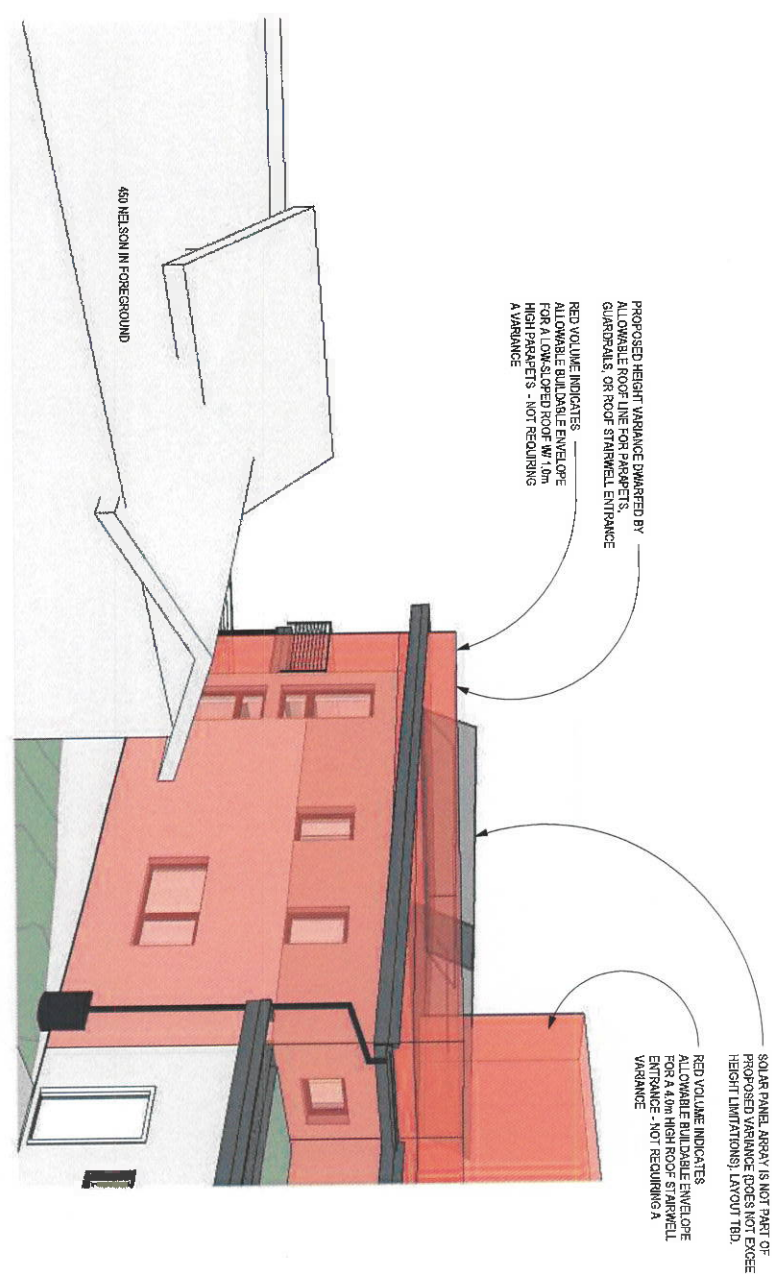


1 PROPOSED VIEW FROM 454 Nelson - PROPOSED ROOF LINE REQUIRING VARIANCE

2 PROPOSED VIEW FROM 454 Nelson - COMPARED TO MAX. BUILDABLE ENVELOPE



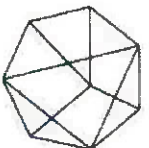
3 PROPOSED VIEW FROM 454 Nelson - COMPARED TO ALLOWABLE 3 to 12 ROOF SLOPE + SAME FOOTPRINT



4 PROPOSED VIEW FROM 454 Nelson - COMPARED TO ALLOWABLE FLAT ROOF W/ PARAPET AND ROOF STAIR

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or 604-666-9608 (Okanagan)

TARLING
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Strata Lot B Suburban lot
48, 455 Sturdee Street

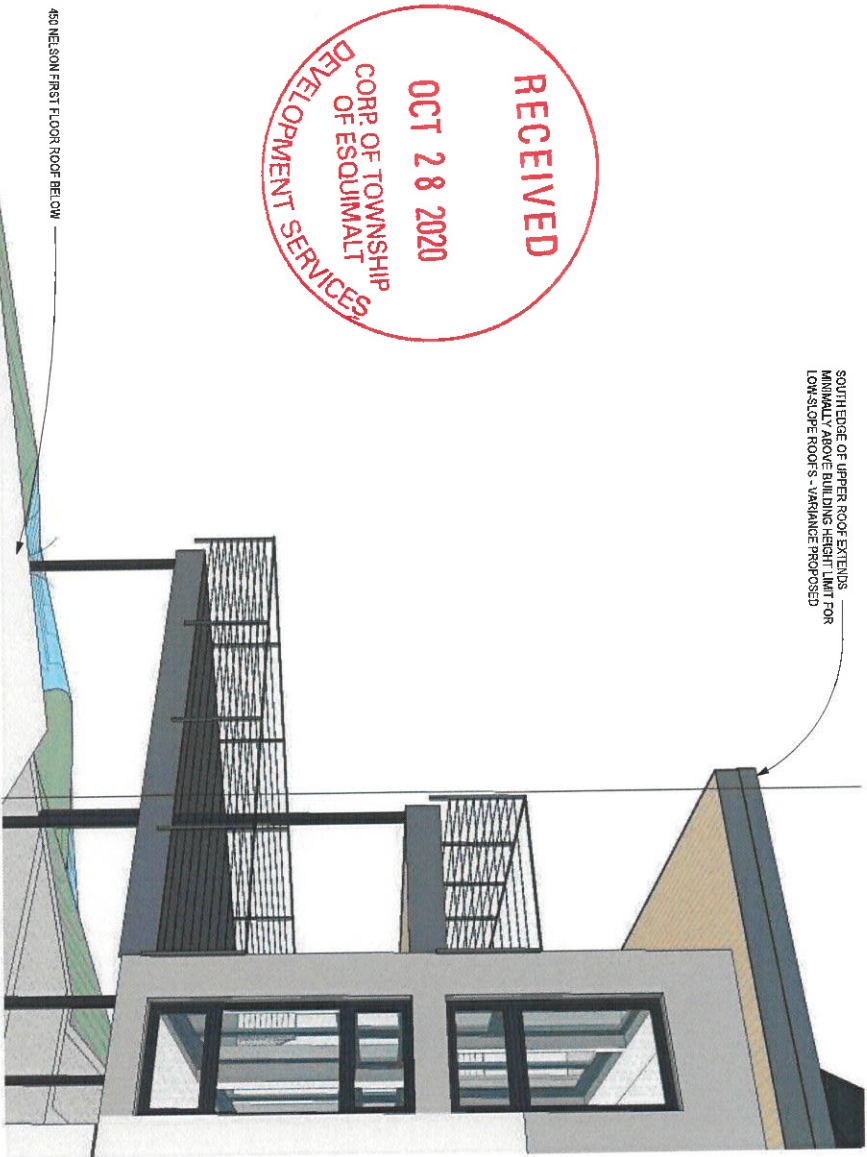
VIEW STUDY FROM
454 Nelson

Project Name		Project Number	
I.E.D.V.P.		200214	
Drawn:	AHP/HG	Checked:	AHP
Date:	OCT. 27, 2020	Scale:	As Shown

A031



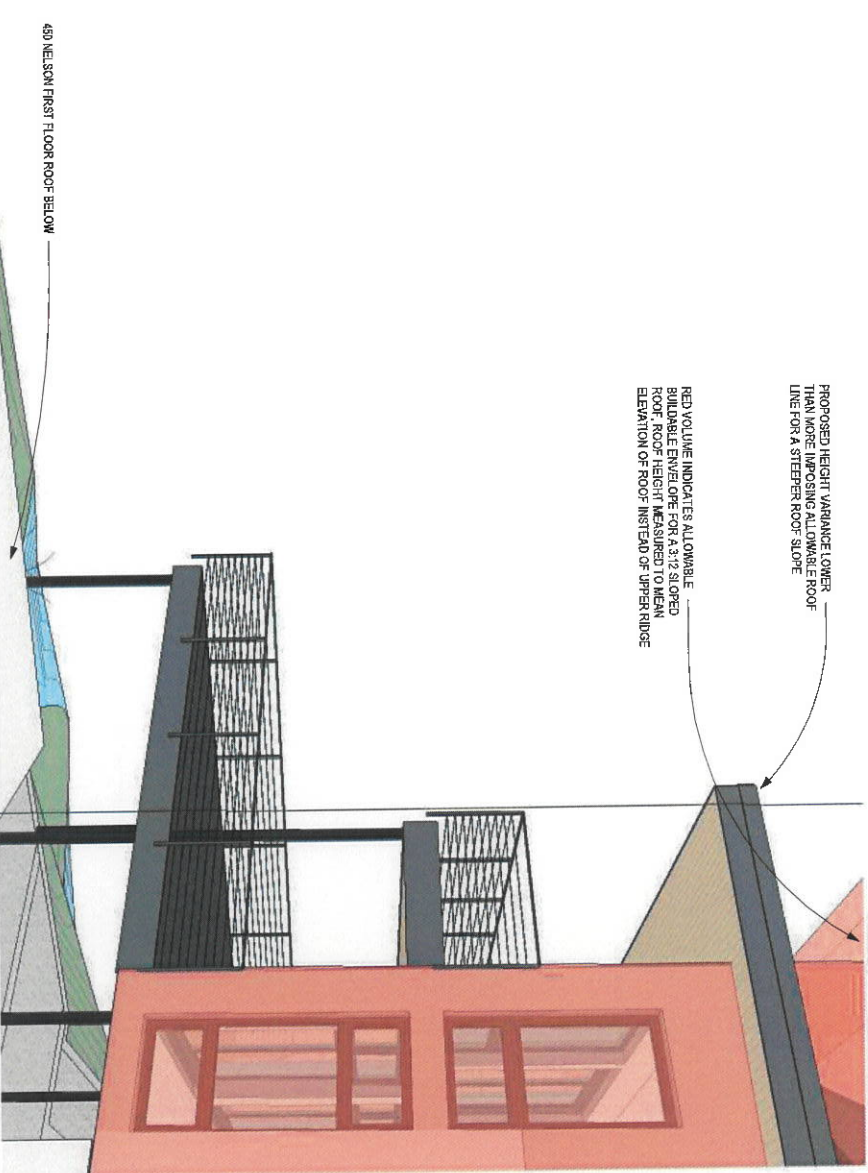
SOUTH EDGE OF UPPER ROOF EXTENDS
MINIMALLY ABOVE BUILDING HEIGHT. LIMIT FOR
LOW-SLOPE ROOFS - VARIANCE PROPOSED



1 PROPOSED VIEW FROM 450 Nelson - PROPOSED ROOFLINE REQUIRING VARIANCE
EVE LEVEL AT EL. 11.9 m = ESTIMATED SIGHT LINE FROM WEST FACING UPPER STOREY CORNER WINDOW

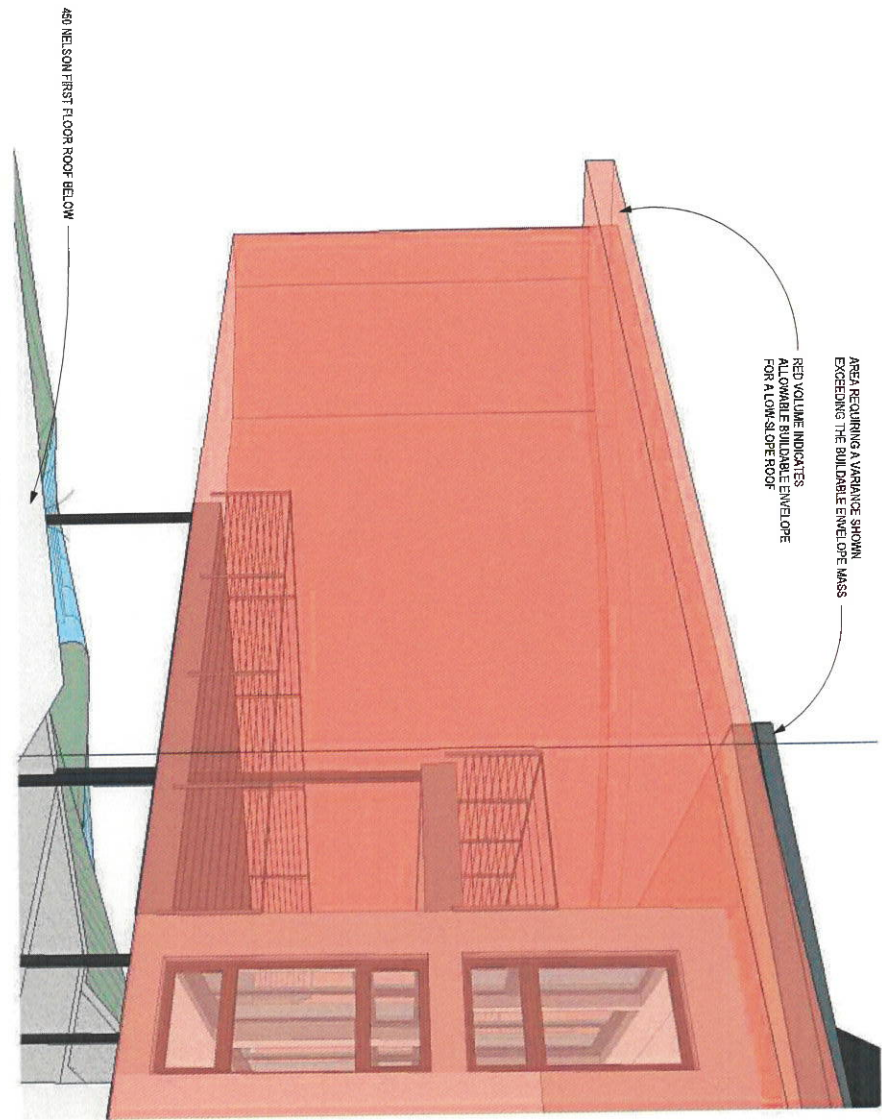
PROPOSED HEIGHT VARIANCE LOWER
THAN MORE IMPOSING ALLOWABLE ROOF
LINE FOR A STEEPEN ROOF SLOPE

RED VOLUME INDICATES ALLOWABLE
BUILDABLE ENVELOPE FOR A 3:12 SLOPED
ROOF. ROOF HEIGHT MEASURED TO MEAN
ELEVATION OF ROOF. INSTEAD OF UPPER RIDGE



3 PROPOSED VIEW FROM 450 Nelson - COMPARED TO ALLOWABLE 3 to 12 ROOF SLOPE + SAME FOOTPRINT
EVE LEVEL AT EL. 11.9 m = ESTIMATED SIGHT LINE FROM WEST FACING UPPER STOREY CORNER WINDOW

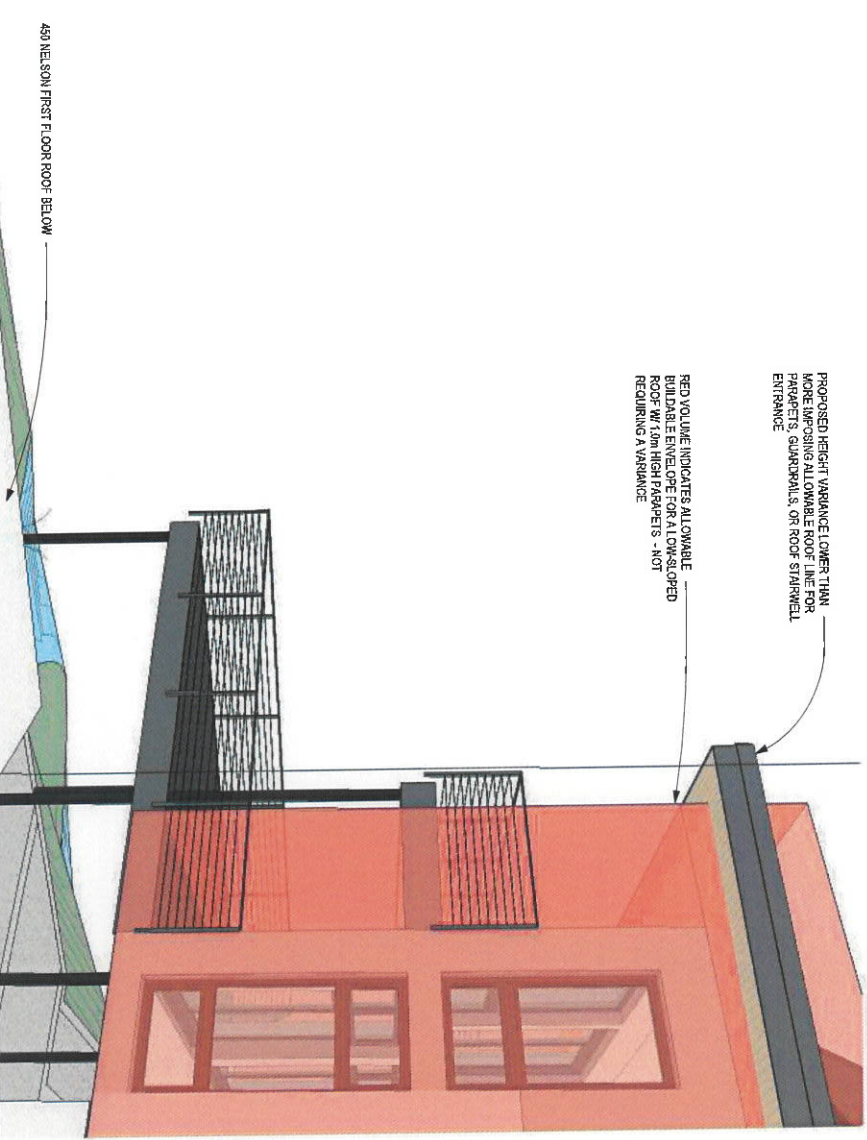
AREA REQUIRING A VARIANCE SHOWN
EXCEEDING THE BUILDABLE ENVELOPE MASS
FOR A LOW-SLOPE ROOF



2 PROPOSED VIEW FROM 450 Nelson - COMPARED TO MAX. BUILDABLE ENVELOPE
EVE LEVEL AT EL. 11.9m = ESTIMATED SIGHT LINE FROM WEST FACING UPPER STOREY CORNER WINDOW

PROPOSED HEIGHT VARIANCE LOWER THAN
MORE IMPOSING ALLOWABLE ROOF LINE FOR
PARAPETS, GUARDRAILS, OR ROOF STAIRWELL
ENTRANCE

RED VOLUME INDICATES ALLOWABLE
BUILDABLE ENVELOPE FOR A LOW-SLOPED
ROOF W/ 10m HIGH PARAPETS - NOT
REQUIRING A VARIANCE



4 PROPOSED VIEW FROM 450 Nelson - COMPARED TO ALLOWABLE FLAT ROOF W/ PARAPET AND ROOF STAIR
EVE LEVEL AT EL. 11.9 m = ESTIMATED SIGHT LINE FROM WEST FACING UPPER STOREY CORNER WINDOW

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no.	Issue / Revision	date	by/revision



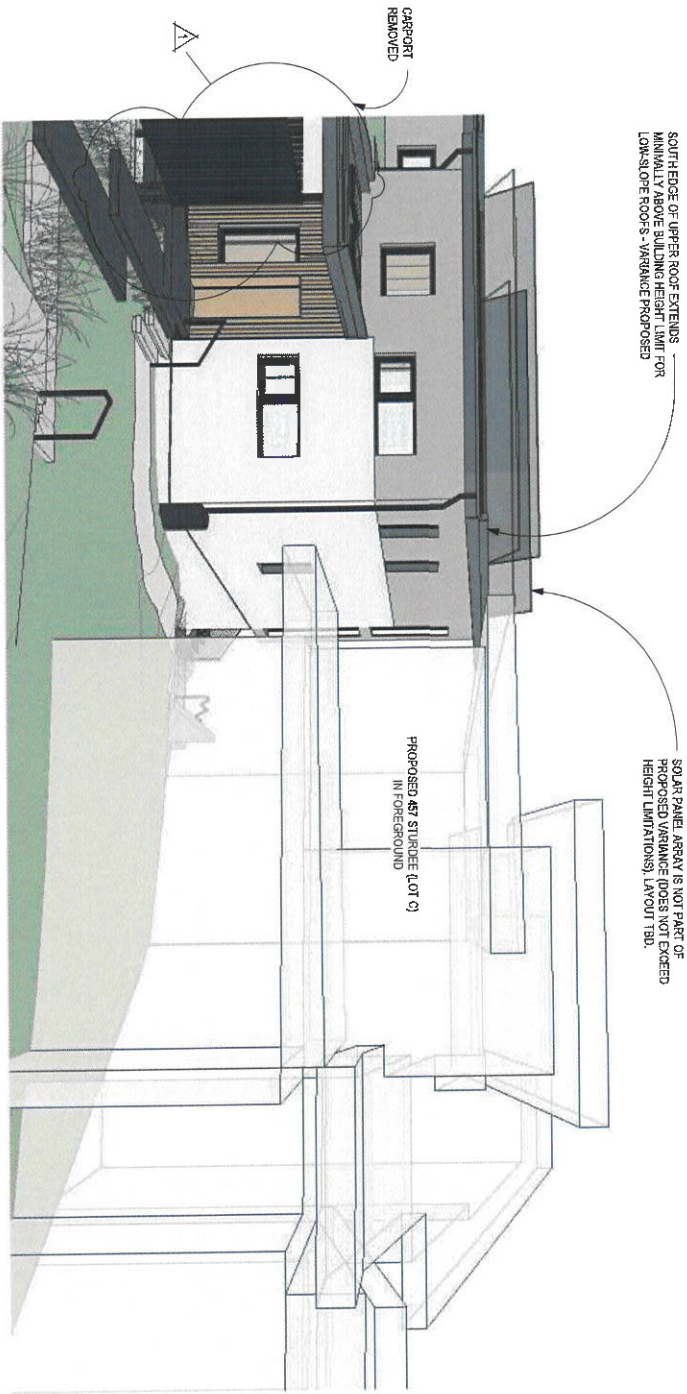
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TARLING
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Strata Lot B Suburban Lot
46, 453 Sturdee Street

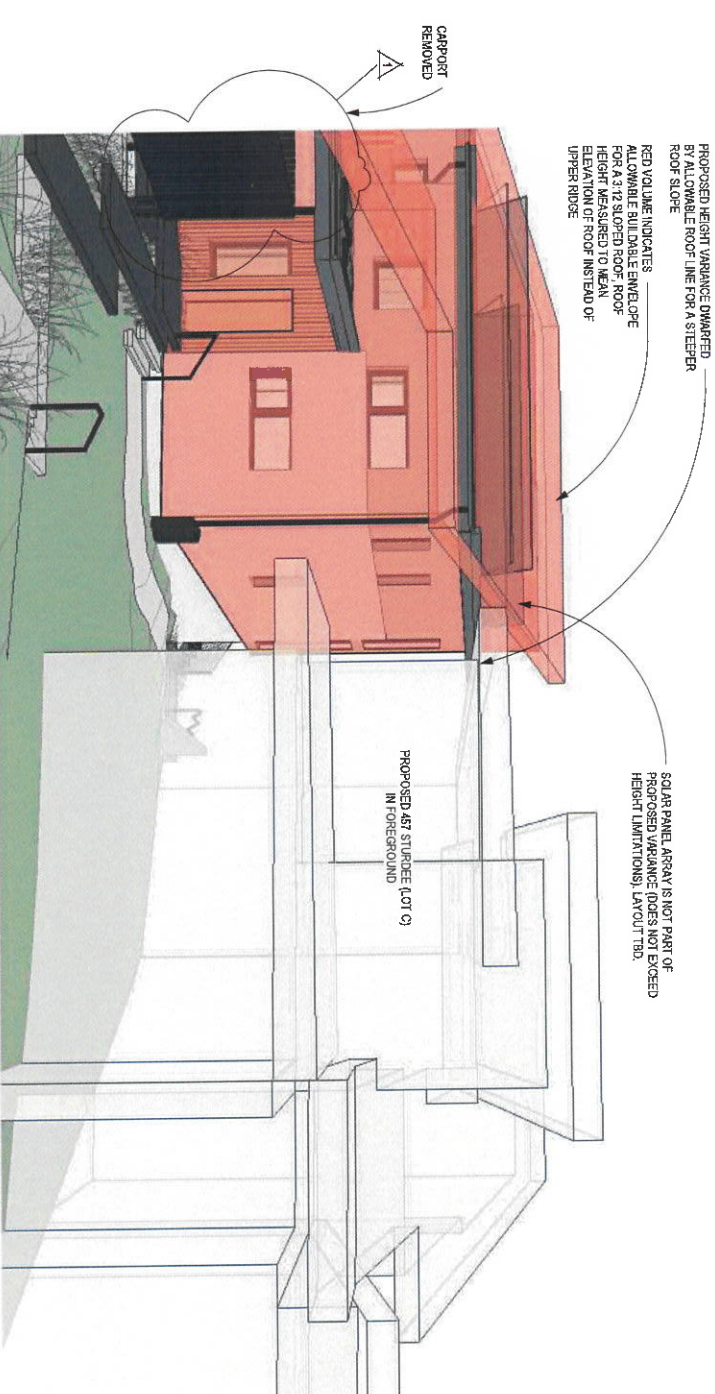
VIEW STUDY FROM
450 Nelson

Project Name	Project Number
LE DVP	200214
Design	Design
HC	AHP/HG
Client	AHP
Date	OCT. 27, 2020
Scale	Scale 1/8" = 1'-0"

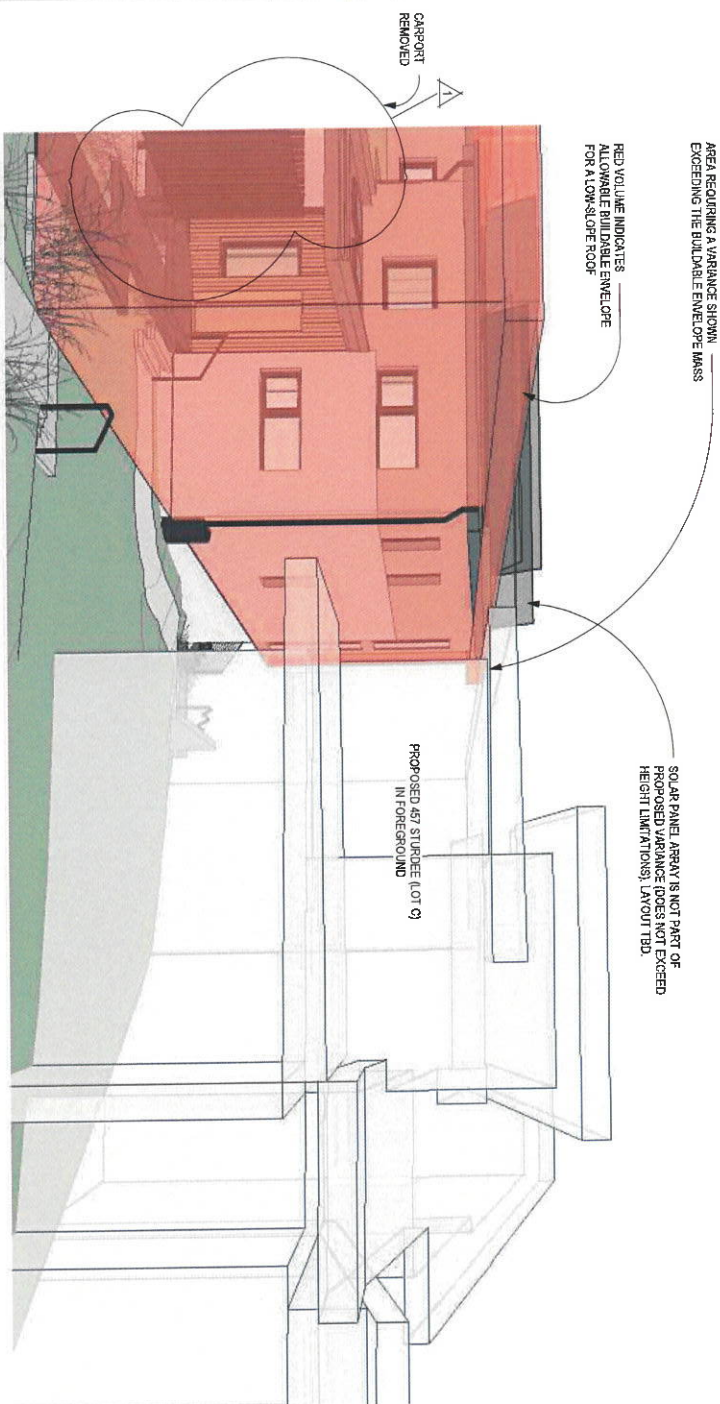
A033



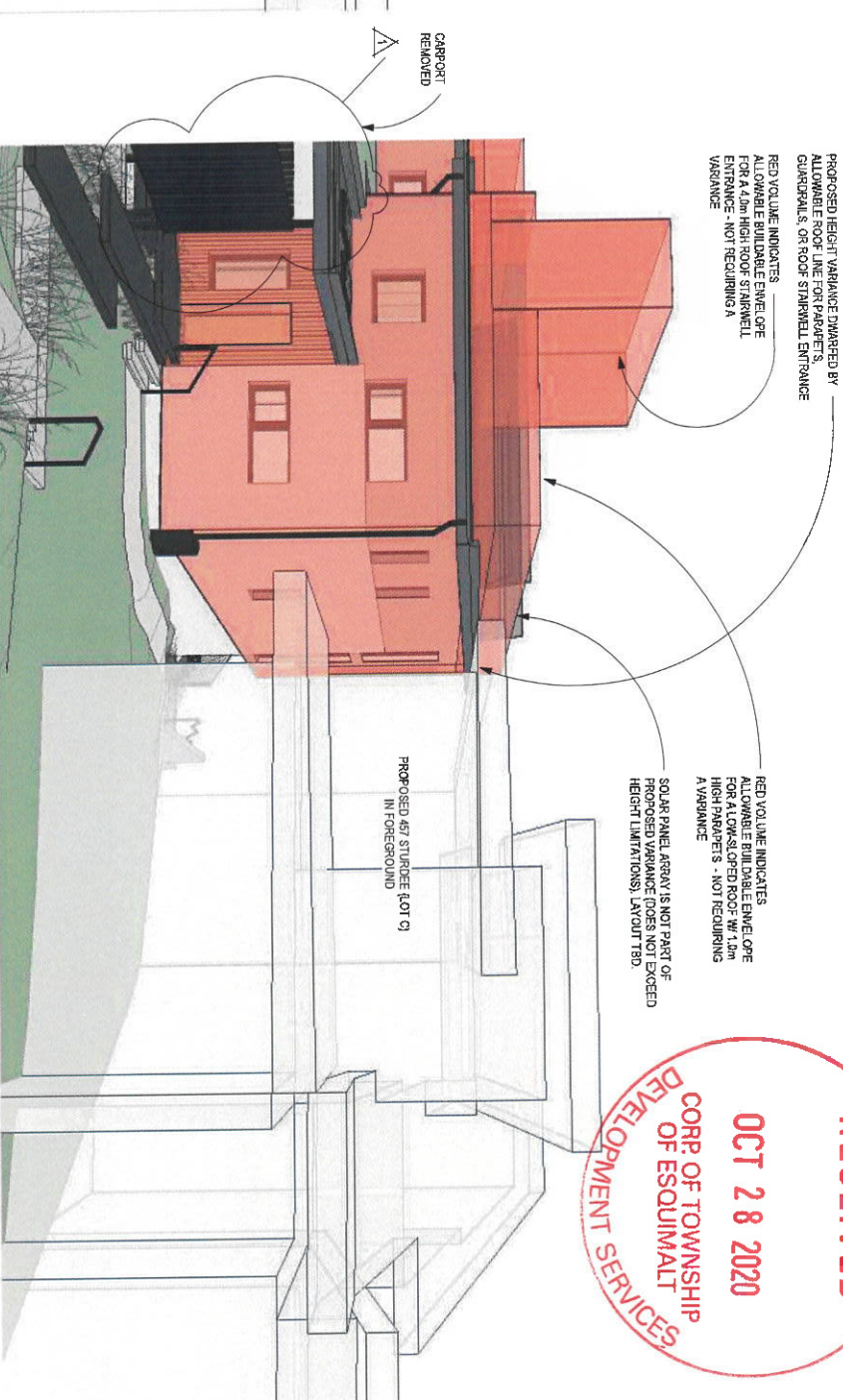
1 PROPOSED VIEW FROM LOT A - PROPOSED ROOFLINE REQUIRING VARIANCE
EYE LEVEL AT EL. 14.8m = SIGHT LINE FROM SOUTH CORNER OF ROOF TOP PATIO



3 PROPOSED VIEW FROM LOT A - COMPARED TO ALLOWABLE 3 TO 12 ROOF SLOPE + SAME FOOTPRINT
EYE LEVEL AT EL. 14.8m = SIGHT LINE FROM SOUTH CORNER OF ROOF TOP PATIO



2 PROPOSED VIEW FROM LOT A - COMPARED TO MAX. BUILDABLE ENVELOPE
EYE LEVEL AT EL. 14.8m = SIGHT LINE FROM SOUTH CORNER OF ROOF TOP PATIO



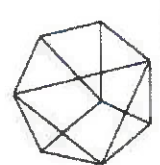
4 PROPOSED VIEW FROM LOT A - COMPARED TO ALLOWABLE FLAT ROOF W/ PARAPET AND ROOF STAIR
EYE LEVEL AT EL. 14.8m = SIGHT LINE FROM SOUTH CORNER OF ROOF TOP PATIO

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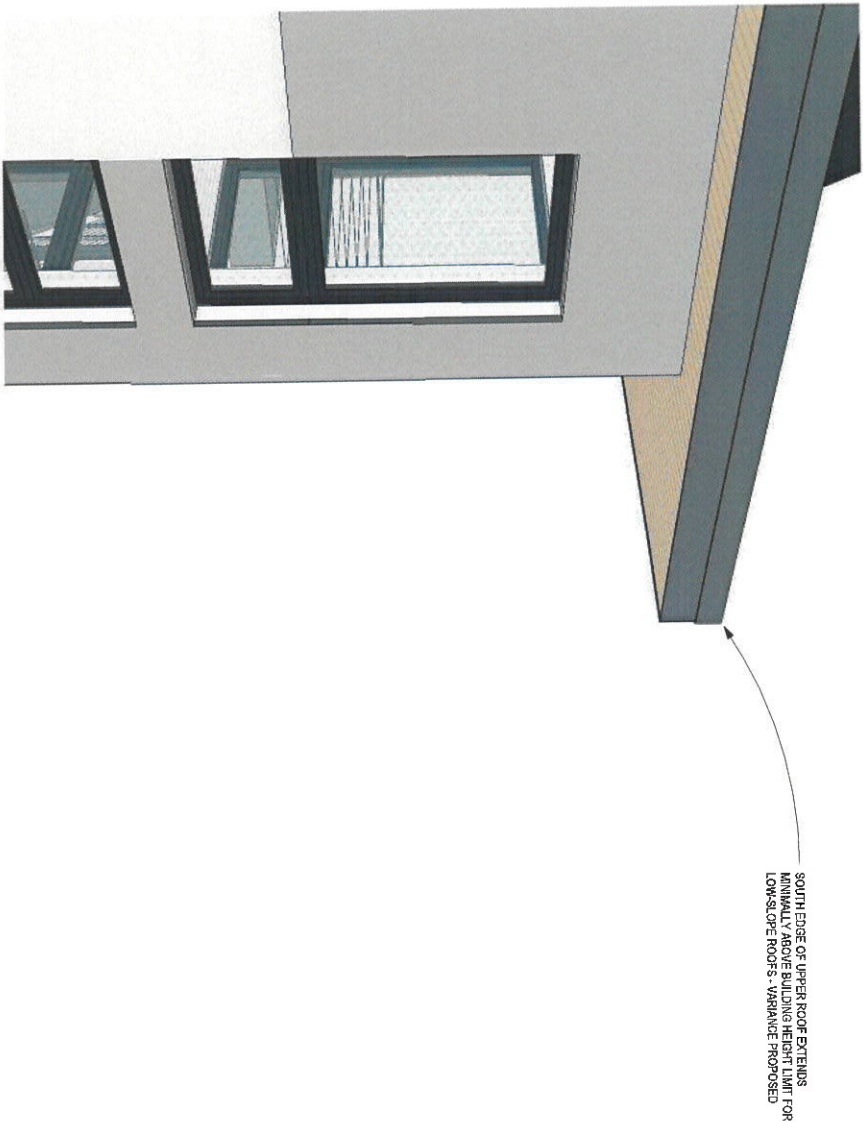
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TARLING
ECO HOUSE
Strata Lot B Suburban Lot
46, 455 Sturdee Street

VIEW STUDY FROM
459 STURDEE (A)

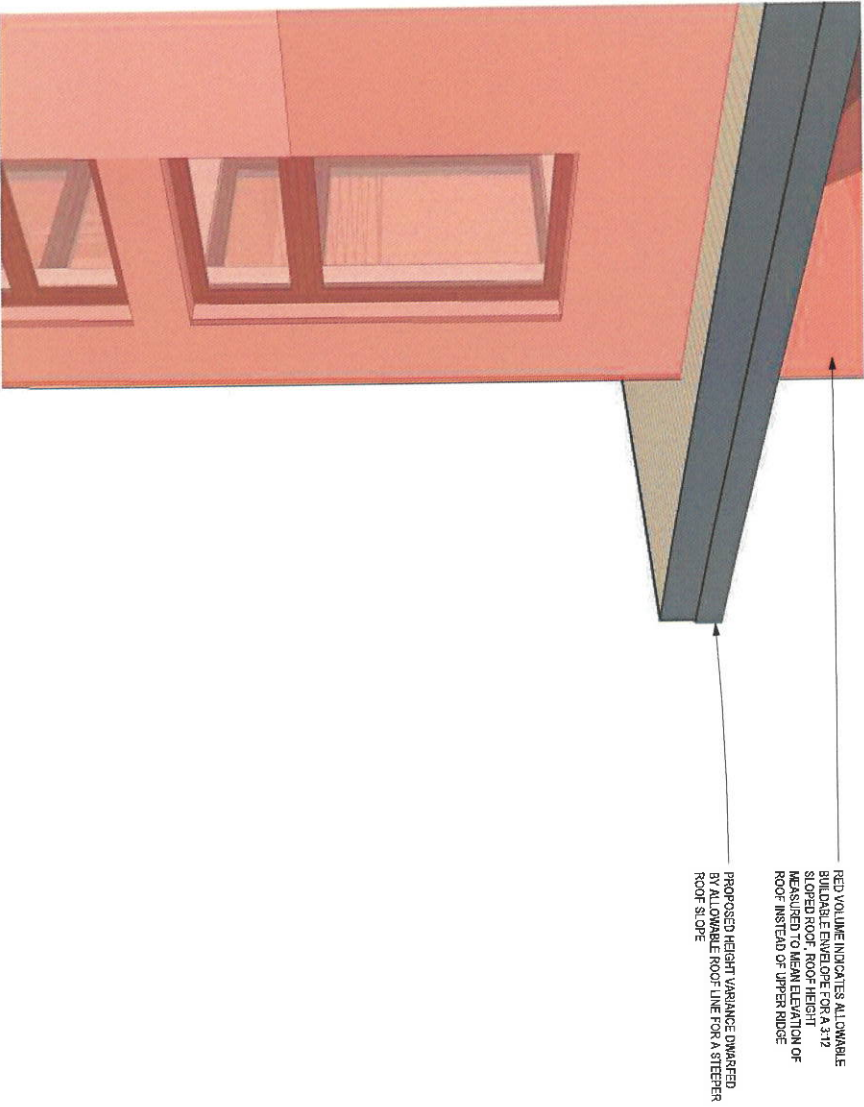
Project Name	15 DVP	Project Number	200214
Drawn	HG	Designed	AHP/HG
Date	OCT. 27, 2020	Checked	AHP
Scale	1/8" = 1'-0"	Scale	1/8" = 1'-0"

A034



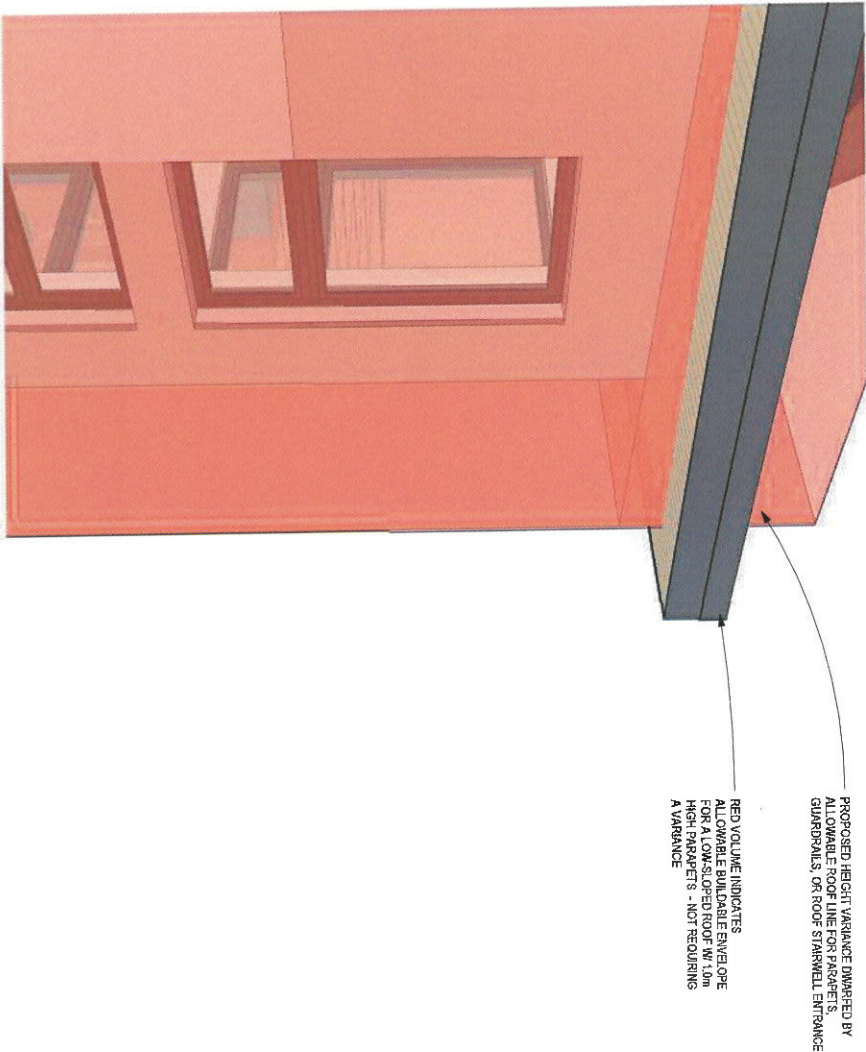
1 PROPOSED VIEW FROM LOT C - PROPOSED ROOFLINE REQUIRING VARIANCE

EYE LEVEL AT EL. 14.2m - SIGHT LINE FROM SOUTHEAST CORNER OF BUILDABLE FOOTPRINT FOR LOT C AT 2nd FLOOR



2 PROPOSED VIEW FROM LOT C - COMPARED TO MAX. BUILDABLE ENVELOPE

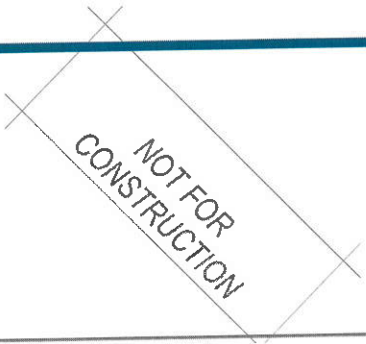
EYE LEVEL AT EL. 14.2m - SIGHT LINE FROM SOUTHEAST CORNER OF BUILDABLE FOOTPRINT FOR LOT C AT 2nd FLOOR



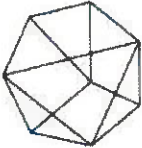
4 PROPOSED VIEW FROM LOT C - COMPARED TO ALLOWABLE FLAT ROOF W/ PARAPET AND ROOF STAIR

EYE LEVEL AT EL. 14.2m - SIGHT LINE FROM SOUTHEAST CORNER OF BUILDABLE FOOTPRINT FOR LOT C AT 2nd FLOOR

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no.	issue / revision	date	by / revision



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604-564-8908 one@seed.ca

TARLING
ECO HOUSE
Strata Lot B Suburban Lot
455, 457 Sturdee Street

VIEW STUDY FROM
457 STURDEE (C)

Project Name:	Project Number:
LE DVP	200214
Drawn:	Designed:
HG	AHP / HG
Date:	Checked:
OCT 27, 2020	AHP
Scale: 1/8" = 1'-0" (2:1)	

A035

Contractor and all sub-trades shall verify dimensions on site. Do not scale these drawings. Any discrepancies to be reported immediately to the architect.

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**TARLING
ECO HOUSE**
Strata Lot B Suburban Lot
48, 455 Sturdee Street

**SURVEY EXISTING
(BY OTHERS)**

Project Phase: I.F.D.V.P.		Project Number 200214	
Diameter: HG	Design: AHP/HG	Checked: AHP	
Date: OCT 27, 2020			
Scale full size (1:23.617) 1" = 30'-0"			

A100

A100

Civic: 455 Sturdee Street

Esquimalt District, Strata Plan EPS5951

Parcel Identifier: 031-023-908
in the Township of Esquimalt

The following non-financial charges are shown on the current title and may affect the property.

Covenant - CA802261

Statutory Right of Way - CA7397875

Strata Plan
760

Elevations are to geodetic datum.

TP	+	- denotes - test pit stake
###	+	- denotes - existing eleva

Tree diameters are in centimetres.

Lot Area = 687 m²

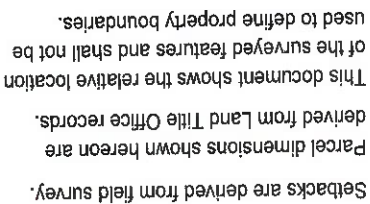
Contour interval = 0.50 metres

Contours have been derived by digital terrain

be verified by field survey.

be verified by field survey.

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May 22, 2020

POWELL & ASSOCIATES

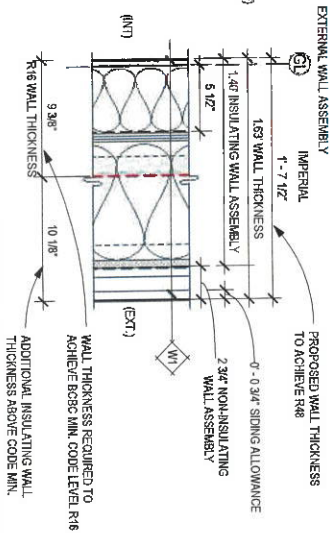
B C Land Surveyors
250-2950 Douglas Street
Victoria, BC V8T 4N4
phone (250) 382-8855

The intended print size is 11" by 17"

Scale 1:200 Distances are in meters

Lot Coverage

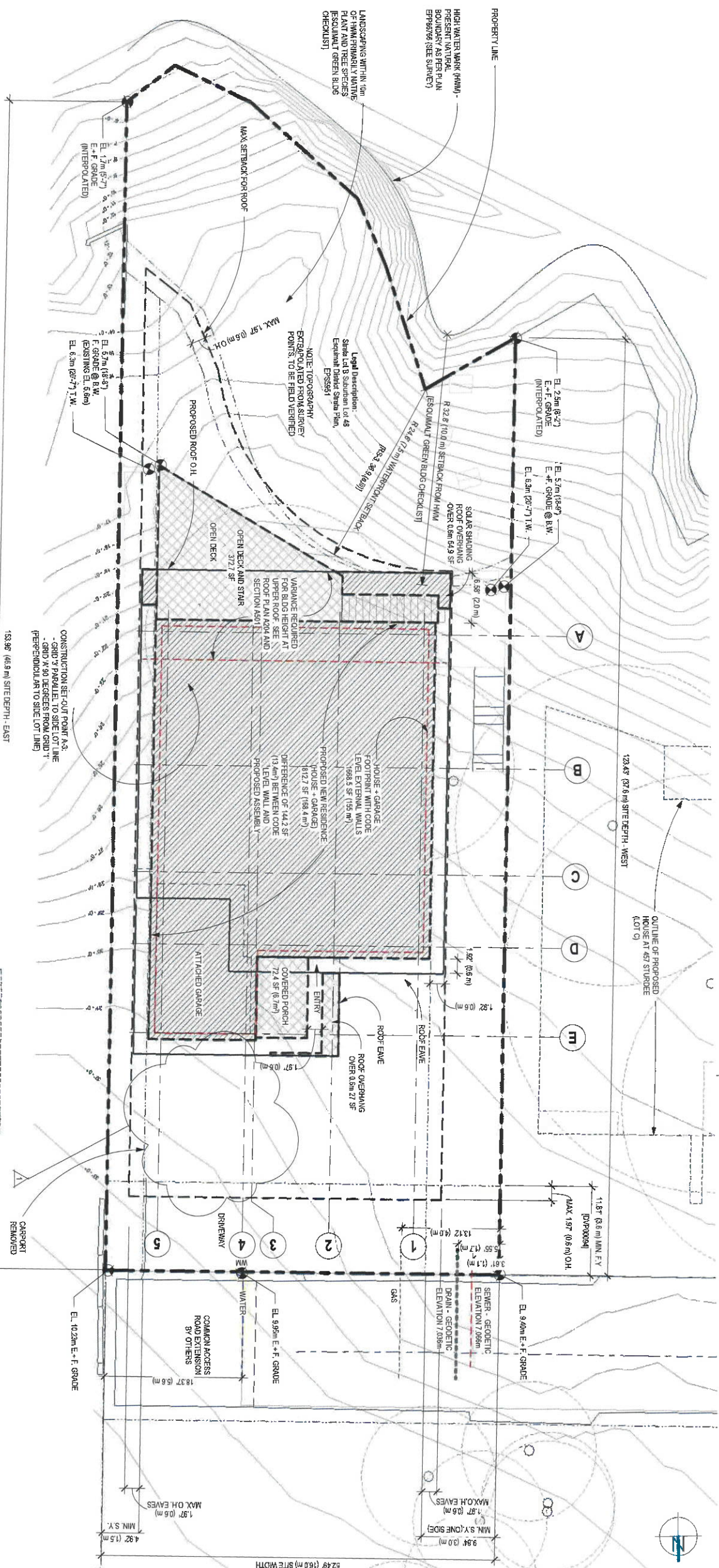
LOT COVERAGE			
Lot Area: 7,384.8 SF (687 m ²)	Proposed Max:	Difference 1.5%	121.3 (11.3m ²)
Lot Coverage: 30%	2,219.4 SF (205.1m ²)	2,339.7 SF (217.4m ²)	
- area that is covered by all buildings and structures, including: - landscaping, including trees less than 0.4m above the existing ground, - existing gutters, eaves, etc., complete that extend no more than 0.6m from the building face and no more than 0.25m at the building corner Part 1 Interpolation, 2. Definition			
PROPOSED:			
House + Garage	1,412.7 SF	1,412.7 SF	1,412.7 SF
House + Deck (from 0.4m)	372.2 SF	34.6m ²	34.6m ²
Solar Shading Roof Overhang Part 0.6m	54.9 SF	5.1m ²	5.1m ²
Covered Porch @ Entry	72.4 SF	6.7m ²	6.7m ²
Roof (Attached Part 0.6m @ Entry)	27 SF	2.5m ²	2.5m ²
TOTAL	2,339.7 SF	217.4m ²	
%	31.6%		



Requesting a relaxation of Lot Coverage due to the proposed thickness of the external walls. Additional insulating wall thickness is proposed to reduce the carbon footprint, reduce energy use and improve the comfort and long term sustainability of the house.

* If the house were built to meet BCRC Code Level 'The House' - Change = 1568.5 SF (156m²) Difference of 144.2 SF to what has been proposed.

Proposed Variance:
Additional 1.5% of lot coverage = 121.3 SF (11.3m²)



Site Plan Legend

	BUILDING FOOTPRINT
	DECK FOOTPRINT
	OVERHEAD
	SETBACK LINES
	SITE ELEMENTS, HATCH PATTERN VARIES BY SURFACE MATERIAL
	INTER = INTERPOLATED ELEVATION FROM SURVEY
	E. GRADE = EXISTING GRADE ELEVATION
	F. GRADE = PROPOSED FINISH GRADE ELEVATION
	O.H. = OVERHANGING
	T.W. = TOP OF WALL
	B.M. = BOTTOM OF WALL

Development Variance Permit Note

THE REQUESTED VARIANCE IS FOR AN INCREASE IN BUILDING HEIGHT AT THE RIDGE OF THE UPPER ROOF ONLY. OTHER ASPECTS OF DESIGN ARE SUBJECT TO CHANGE.

PLEASE NOTE: FOR A LOW SLOPED ROOF (PITCH LESS THAN 3:12), HEIGHT IS MEASURED FROM THE 3.0m BEYONDS ELEVATION (FROM 162.2m TO 162.2m) TO THE HIGHEST POINT OF THE LOW SLOPED ROOF (BEYONDS 162.2m TO 162.2m).

RE: 1 - REQUESTED VARIANCE FOR AN INCREASE IN LOT COVERAGE.

BY-LAW SECTION & REQUIREMENT	PERMITTED	PROPOSED	DIFFERENCE
BUILDING HEIGHT	7.3m	7.3m	0.33 metres
LOT COVERAGE	30% (2219.4 SF)	31.6% (2339.7 SF)	1.5% (121.3 SF)

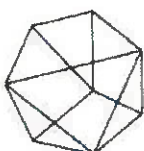
General Notes:

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TARLING ECO HOUSE
Sitraia Let B Suburban Lot
46, 455 Spruce Street

Project Name	Project Number	Drawn	Engineered	Checked
LF DVP	200214	AHP/HG	AHP	AHP
HG				
Date	OCT 27, 2020	Scale	As Indicated	

A101

General Notes:
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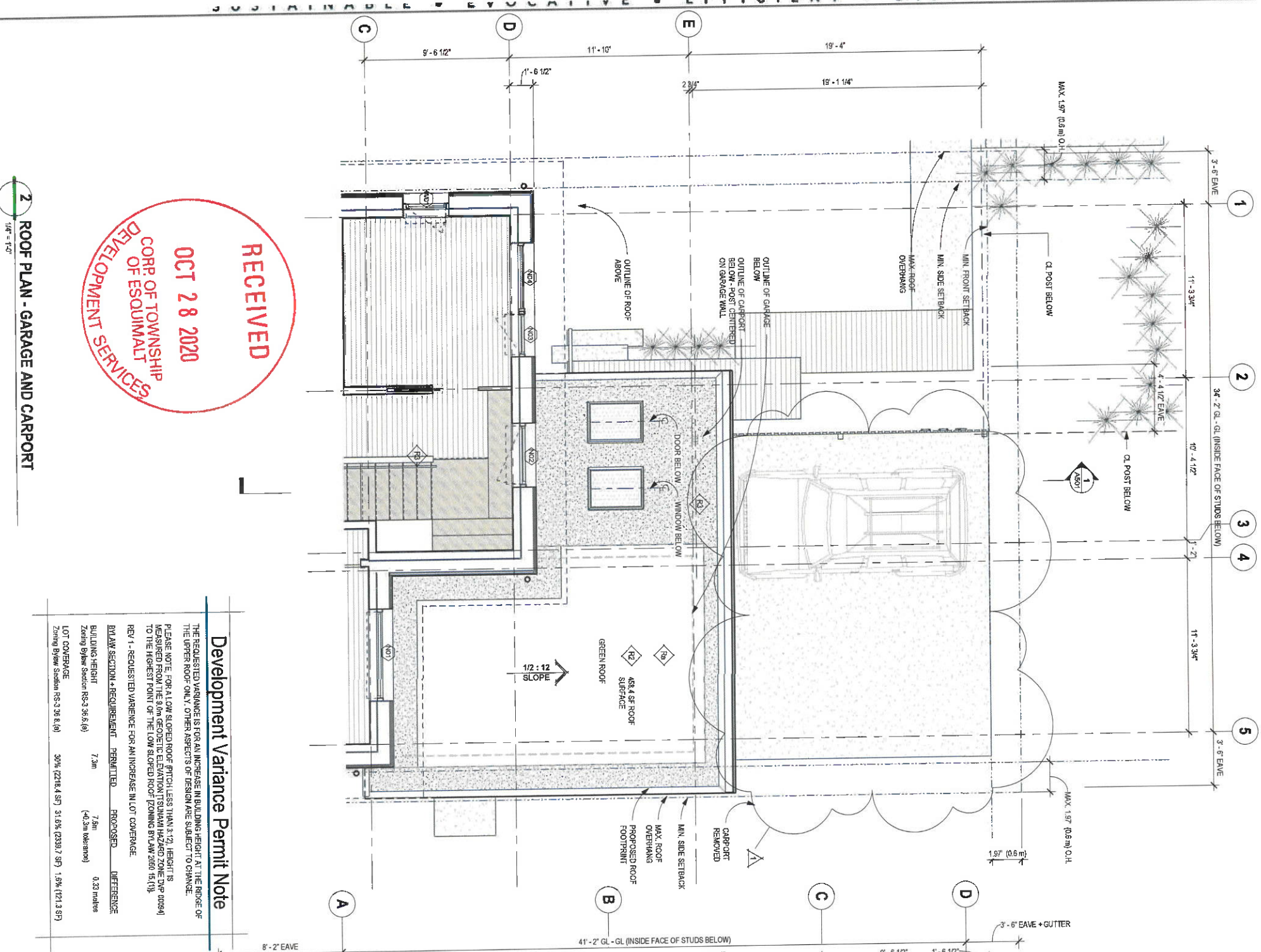
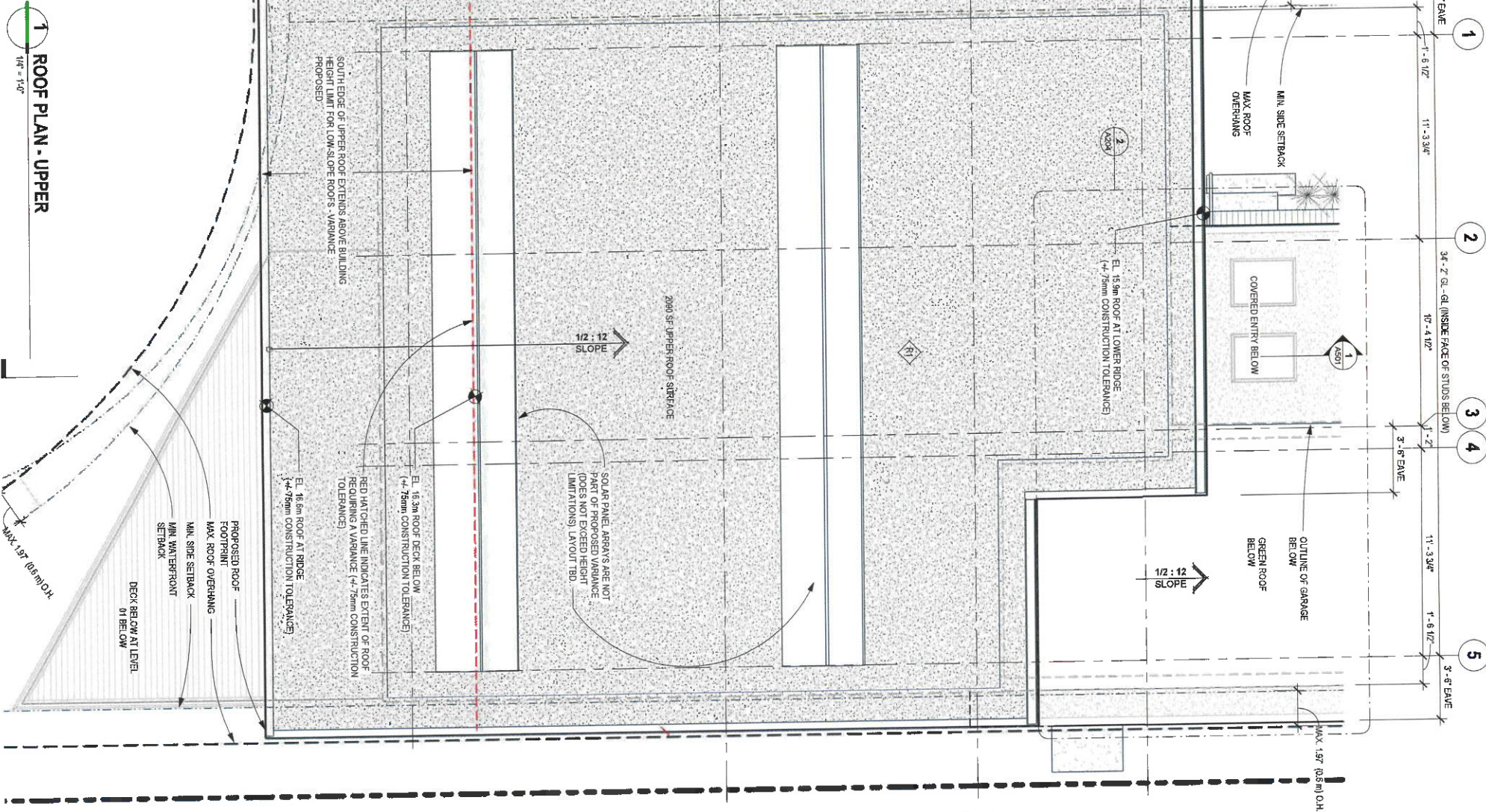


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TARLING
ECO HOUSE
Strata Lot B Suburban Lot
461-455 Sutherland Street

ROOF PLAN

Project Name	Tarling Eco House		
Project Number	200214		
Drawn	AHP / HG	Checked	AHP
Date	OCT 27, 2020		
Scale	1/4" = 1'-0"		



Development Variance Permit Note

THE REQUESTED VARIANCE IS FOR AN INCREASE IN BUILDING HEIGHT AT THE RIDGE OF THE UPPER ROOF ONLY. OTHER ASPECTS OF DESIGN ARE SUBJECT TO CHANGE.

PLEASE NOTE: FOR A LOW SLOPED ROOF PITCH LESS THAN 3:12, HEIGHT IS MEASURED FROM THE 0.1m GEODESIC ELEVATION (TERRAIN HAZARD ZONE DVP #0084) TO THE HIGHEST POINT OF THE LOW SLOPED ROOF ZONING BY-LAW 2060 15 (1).

REV 1 - REQUESTED VARIANCE FOR AN INCREASE IN LOT COVERAGE

BY-LAW SECTION	REQUIREMENT	PERMITTED	PROPOSED	DIFFERENCE
BUILDING HEIGHT	Zoning RS-3 36.5 (b)	7.3m	7.5m (+/- 3m Maximum)	0.2m max
LOT COVERAGE	Zoning RS-3 36.5 (b)	30% (2218.4 SF)	31.0% (2339.7 SF)	1.5% (121.3 SF)

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2 ROOF PLAN - GARAGE AND CARPORT

1 ROOF PLAN - UPPER

General Notes:

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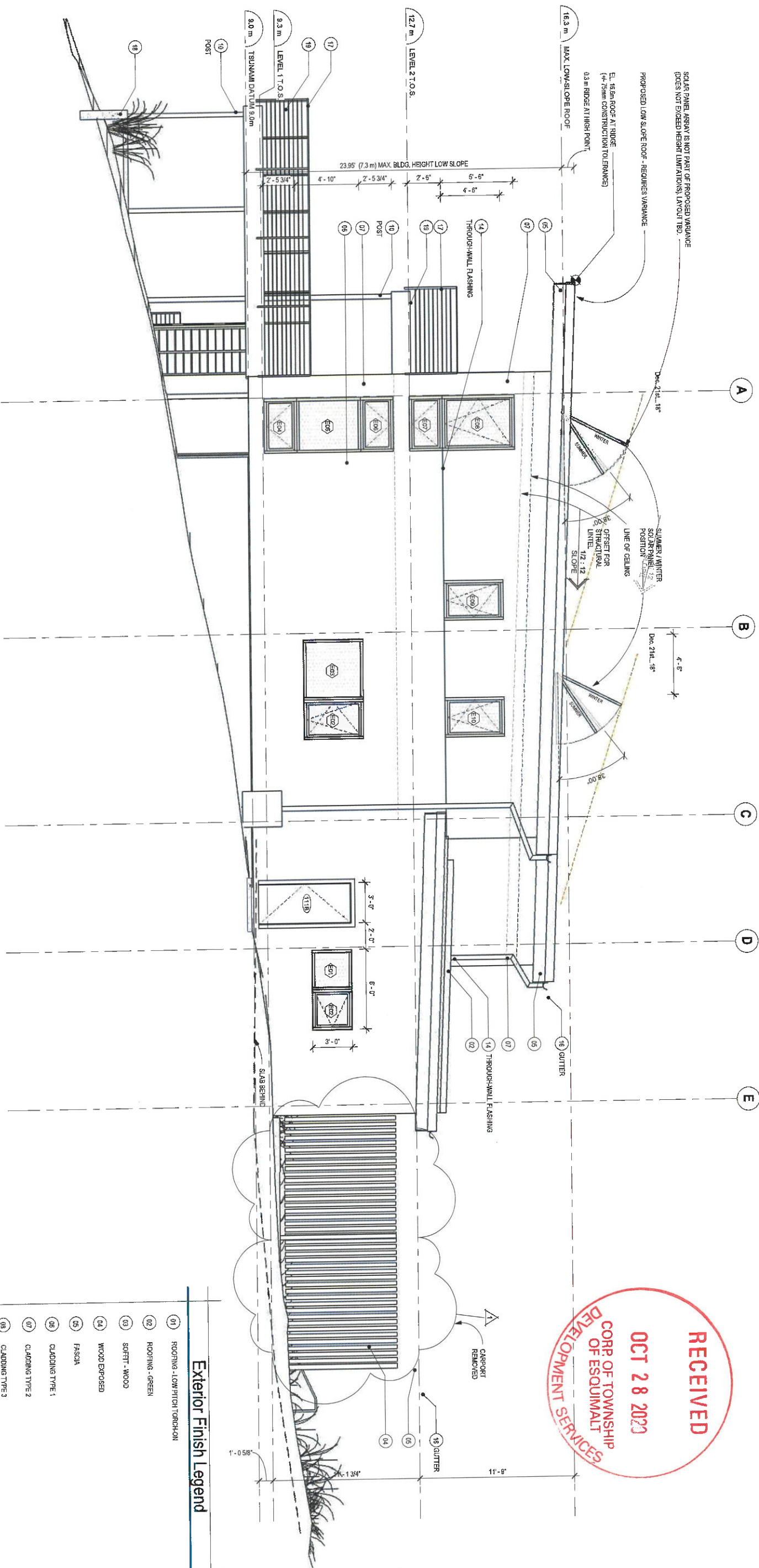
**TARLING
ECO HOUSE**
Strata Lot B Suburban Lo
48,455 Sturdee Street

**EAST ELEVATION
(SIDE)**

Project Phase: I.E. DVP.	Project Number 200214
Drawing: HG	Designed: AHP / HG
	Checked: AHP
Date: OCT. 27, 2020	
Scale full size (2:1 x 4") As indicated	

A402

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Exterior Finish Legend

- | | |
|----|---|
| 01 | ROOFING - LOW PITCH TORCH-ON |
| 02 | ROOFING - GREEN |
| 03 | SOFFIT - WOOD |
| 04 | WOOD EXPOSED |
| 05 | FASCIA |
| 06 | CLADDING TYPE 1 |
| 07 | CLADDING TYPE 2 |
| 08 | CLADDING TYPE 3 |
| 09 | CLADDING - PROTECTION BOARD |
| 10 | MISC. METAL POWDER COATED |
| 11 | FLASHING - COLOUR TO MATCH WINDOWS |
| 12 | FLASHING - COLOUR TO MATCH ROOFING |
| 13 | FLASHING - COLOUR TO MATCH CLADDING TYPE 06 |
| 14 | FLASHING - COLOUR TO MATCH CLADDING TYPE 07 |
| 15 | FLASHING - COLOUR TO MATCH CLADDING TYPE 08 |
| 16 | GUTTERS, SCUPERS AND RAILS |
| 17 | GUARDRAIL - CABLE RAILING |
| 18 | CONCRETE EXPOSED |
| 19 | DECKING - COMPOSITE |
| 20 | PAVERS |
| 21 | DECORATIVE HARDWARE |

Elevation Legend

DIMENSIONING:
- EXTERIOR DOORS AND WINDOWS ARE DIMENSIONED TO THE OUTSIDE EDGE OF THE FRAME (FRAME HEAD, JAMB OR SILL OR HEATER). SILL OR HEATER UNLESS NOTED OTHERWISE.
- LABELS REFER TO WHICH SIDE OF THE FRAME DIMENSIONS ARE MEASURED TO. SEE SCHEDULE A AND FOR FRAME DIMENSIONS, AND MIN. 3/8" TO EACH SIDE OF FRAME FOR ROUGH OPENING.
- SEE SECTION DETAILS FOR REFERENCE POINT IN DIMENSIONING FOR OTHER ITEMS (EX. MATERIAL TRANSITIONS).
- NOTE E DIMENSIONS ARE TAKEN FROM TOOF OR TO TOP OF FINISH FLOOR.

Development Variance Permit Note

THE REQUESTED VARIANCE IS FOR AN INCREASE IN BUILDING HEIGHT AT THE RIDGE OF THE UPPER ROOF ONLY. OTHER ASPECTS OF DESIGN ARE SUBJECT TO CHANGE.

PLEASE NOTE: FOR A LOW SLOPED ROOF (PITCH LESS THAN 3:12), HEIGHT IS MEASURED FROM THE 3.0m GEODETIC ELEVATION (TSUNAMI HAZARD ZONE DHP 00094) TO THE HIGHEST POINT OF THE LOW SLOPED ROOF (ZONING BYLAW 2020 15.4(1)).

REV 1 - REQUESTED VARIANCE FOR AN INCREASE IN LOT COVERAGE

BAY/SECTION	REQUIREMENT	PERMITTED	PROPOSED	DIFFERENCE
BUILDING HEIGHT	7.3m	7.6m	0.33 metres	

LOT COVERAGE:	30% (2218.4 SF)	31.5% (2339.7 SF)	1.5% (121.3 SF)
Zoning Bylaw Section RS-3 36.8.(a)			

A402

General Notes:

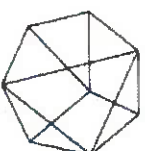
General Notes:

Contractor and all sub-trades shall verify dimensions on site. Do not scale these drawings. Any discrepancies to be reported immediately to the architect.

Contractor shall be responsible for all conditions on the job. All work completed on site is to conform to current applicable bylaws and codes (British Columbia Building Code, Vancouver Building Bylaw).

This set of drawings and the design as shown remain the property of the architect.

NOT FOR
CONSTRUCTION



ONE SEED
ARCHITECTURE - INTERIORS
611-575 Seymour Street, Vancouver, BC, V6B 3H7
c: 604.666.9008 one@seed.ca

**TARLING
ECO HOUSE**
Strata Lot B Suburban Lot
48, 455 Sturdee Street

[illegible]

Project Phase:	Project Number	
1.F.D.V.P.	200214	
Drawing:	Designed:	Checked:
HG	AHP / HG	AHP

DATE
OCT. 27, 2020
Scale full size (22"x34")
As indicated

RECEIVED
OCT 28 2020
CORP OF TOWNSHIP
OF ESQUIMALT
DEVELOPMENT SERVICES

Exterior Finish Legend

01	ROOFING - LOW PITCH TORCH-ON
02	ROOFING - GREEN
03	SOFTI - WOOD
04	WOOD EXPOSED
05	FASCHA
06	CLADDING TYPE 1
07	CLADDING TYPE 2
08	CLADDING TYPE 3
09	CLADDING - PROTECTION BOARD
10	MISC. METAL POWDER COATED
11	FLASHING - COLOUR TO MATCH WINDOWS
12	FLASHING - COLOUR TO MATCH ROOFING
13	FLASHING - COLOUR TO MATCH CLADDING TYPE 06
14	FLASHING - COLOUR TO MATCH CLADDING TYPE 07
15	FLASHING - COLOUR TO MATCH CLADDING TYPE 08
16	GUTTERS, SCUPPERS AND DRAINS
17	GUARDRAIL - CABLE RAILING
18	CONCRETE EXPOSED
19	DECKING - COMPOSITE
20	PAVERS
21	DECORATIVE HARDWARE

Development Variance Permit Note

THE REQUESTED VARIANCE IS FOR AN INCREASE IN BUILDING HEIGHT AT THE RIDGE OF THE UPPER ROOF ONLY. OTHER ASPECTS OF DESIGN ARE SUBJECT TO CHANGE...

PLEASE NOTE, FOR A LOW SLOPED ROOF (PITCH LESS THAN 3:12), HEIGHT IS MEASURED FROM THE 9.0m GEODETIC ELEVATION (TSUNAMI HAZARD ZONE DVP 000394) TO THE HIGHEST POINT OF THE LOW SLOPED ROOF. [ZONING BYLAW 2050 15.1(1)].

REV 1 - REQUESTED VARIANCE FOR AN INCREASE IN LOT COVERAGE

BUILDING HEIGHT	PERMITTED	PROPOSED	DIFFERENCE
7.3m	7.6m	0.33 metres	

Section	Lot Coverage	30% (2218.4 SF)	31.6% (2339.7 SF)	1.6% (121.3 SF)
Zoning Bylaw Section RS-3 56.6.(a)	(+0.3m tolerance)			

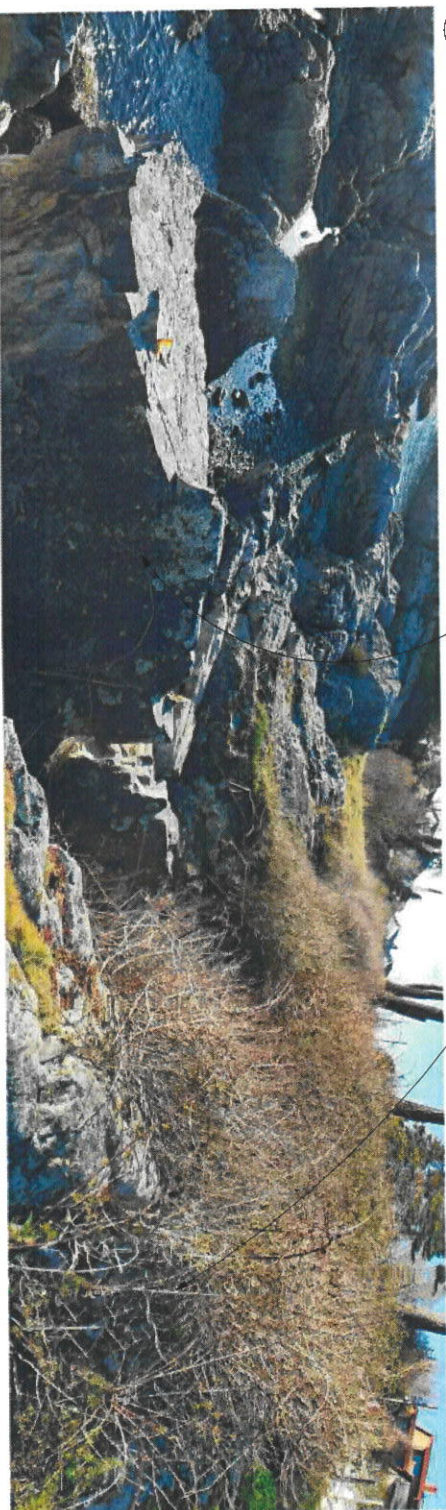
Elevation Legend

DIMENSIONING:

- ENTRANCE DOORS AND WINDOWS ARE DIMENSIONED TO THE OUTSIDE EDGE OF THE FRAME (FRAME FEEL, UNLESS NOTED OTHERWISE). SILL OR HEATER LABELS REFER TO MEASURED SIDE OF THE FRAME DIMENSIONS ARE MEASURED TO SEE SCHEDULE A200 FOR FRAME DIMENSIONS, AND MIN. 3/8" TO EACH SIDE OF FRAME FOR ROUGH OPENING. SEE SECTION DETAILS FOR REFERENCE POINT IN DIMENSIONING FOR OTHER ITEMS (EX. MATERIAL TRANSITIONS).



1 SOUTH ELEVATION (OCEAN FRONT)



General Notes:

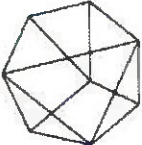
Contractor and all sub-trades shall verify dimensions on site. Do not scale these drawings. Any discrepancies to be reported immediately to the architect.

Contractor shall be responsible for all conditions on the job. All work completed on site is to conform to current applicable bylaws and codes (British Columbia Building Code, Vancouver Building Bylaw).

This set of drawings and the design as shown remain the property of the architect.

NOT FOR CONSTRUCTION

no.		Issue / revision	DATE
			by: [signature]



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TARLING
ECO HOUSE
Strata Lot B Sutherland, lot
48, 455 Sturdee Street

WEST ELEVATION
(SIDE)

Project Name	Project Number
TARLING ECO HOUSE	202214
DATE	DATE
OCT 27, 2020	OCT 27, 2020
As indicated	As indicated



Development Variance Permit Note

THE REQUESTED VARIANCE IS FOR AN INCREASE IN BUILDING HEIGHT AT THE RIDGE OF THE UPPER ROOF ONLY. OTHER ASPECTS OF DESIGN ARE SUBJECT TO CHANGE.

PLEASE NOTE, FOR A LOW SLOPED ROOF (PITCH LESS THAN 3:12), HEIGHT IS MEASURED FROM THE 9.0m GEODETIC ELEVATION (TSUNAMI HAZARD ZONE DVP 00094) TO THE HIGHEST POINT OF THE LOW SLOPED ROOF (DVP 00094 16.11).

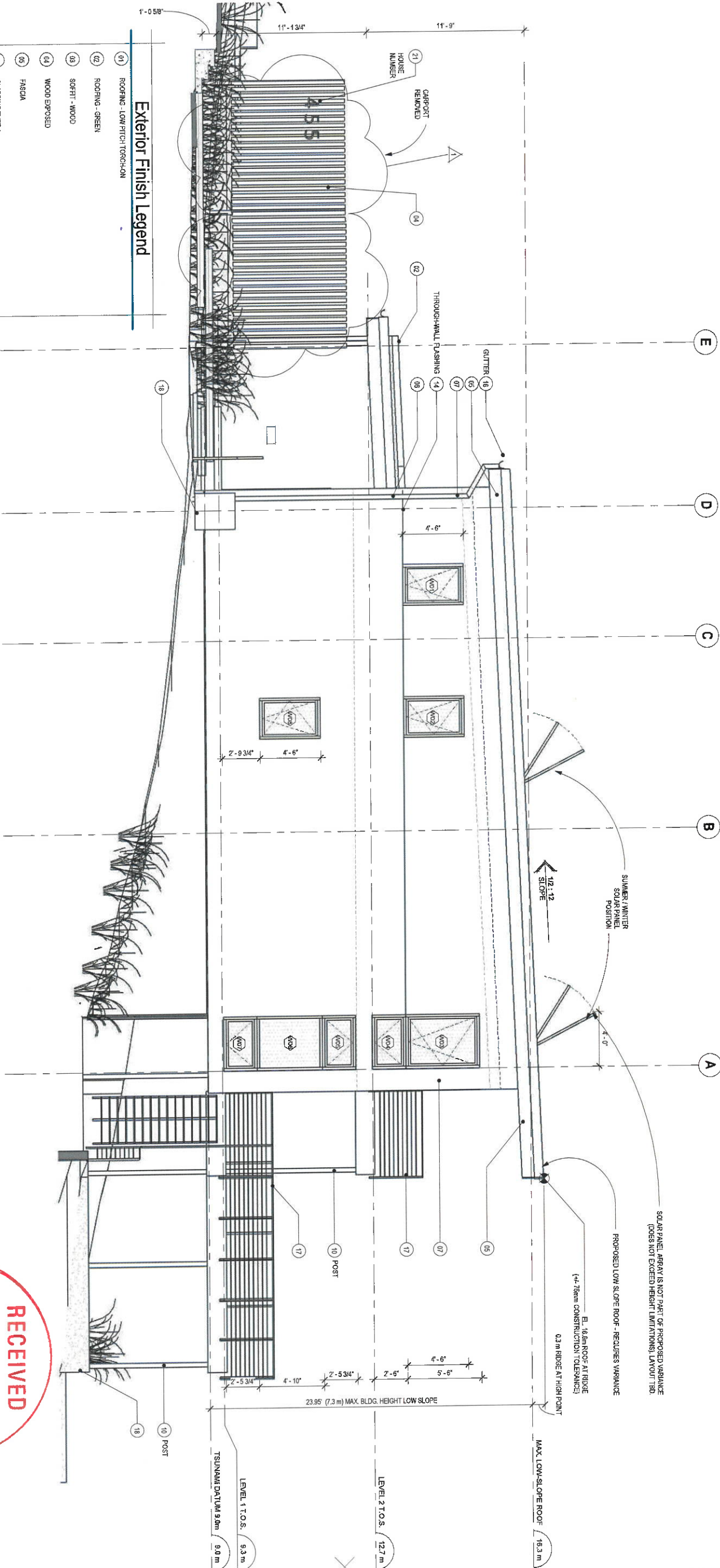
REV 1 - REQUESTED VARIANCE FOR AN INCREASE IN LOT COVERAGE.

BYLAW SECTION 4 - REQUIREMENT PERMITTED PROPOSED DIFFERENCE

BUILDING HEIGHT 7.3m 7.3m (+0.3m tolerance) 0.33 metres

LOT COVERAGE

Zoning Bylaw Section RS-3 36.4 (a) 30% (2218.4 SF) 31.5% (2388.7 SF) 1.5% (121.3 SF)



Exterior Finish Legend

- 01 ROOFING - LOW PITCH TORCH-ON
- 02 ROOFING - GREEN
- 03 SOFFIT - WOOD
- 04 WOOD EXPOSED
- 05 FASCIA
- 06 CLADDING TYPE 1
- 07 CLADDING TYPE 2
- 08 CLADDING TYPE 3
- 09 CLADDING - PROTECTION BOARD
- 10 MISC. METAL POWDER COATED
- 11 FLASHING - COLOUR TO MATCH WINDOWS
- 12 FLASHING - COLOUR TO MATCH ROOFING
- 13 FLASHING - COLOUR TO MATCH CLADDING TYPE 06
- 14 FLASHING - COLOUR TO MATCH CLADDING TYPE 07
- 15 FLASHING - COLOUR TO MATCH CLADDING TYPE 08
- 16 GUTTERS, SLOTTERS AND RAILS
- 17 GUTTERGAL - CABLE RAILING
- 18 CONCRETE EXPOSED
- 19 DECKING - COMPOSITE
- 20 PAVERS
- 21 DECORATIVE HARDWARE

Elevation Legend

DIMENSIONS:
- EXTERIOR DOORS AND WINDOWS ARE DIMENSIONED TO THE OUTSIDE EDGE OF THE FRAME (FRAME HERE), UNLESS NOTED OTHERWISE. SILL OR HEADER LABELS REFER TO WHICH SIDE OF THE FRAME DIMENSIONS ARE MEASURED TO. SEE SCREENLET APP FOR FRAME DIMENSIONS, AND MIN. SIP TO EACH SIDE OF FRAME DIMENSIONS. SEE SECTION DETAILS FOR REFERENCE POINT IN DIMENSIONING FOR OTHER ITEMS EX MATERIAL.
- NOTE IF DIMENSIONS ARE TAKEN FROM TOP OF TOU.

