

640 Drake Avenue

Parcel Identifier: 002-923-157 in the Municipality of Esquimalt

The following non-financial charges are shown on the current title and may affect the property.

A84872 - Right of Way

A79868 - Right of Way

C4872 - Easement

636 Drake Avenue

Legal: Lot 3, Suburban Lot 41, Esquimalt District, Plan 25565

Parcel Identifier: 002-923-211 in the Municipality of Esquimalt

The following non-financial charges are shown on the current title and may affect the property.

A84872 - Right of Way

LEGEND

Elevations are to geodetic datum.

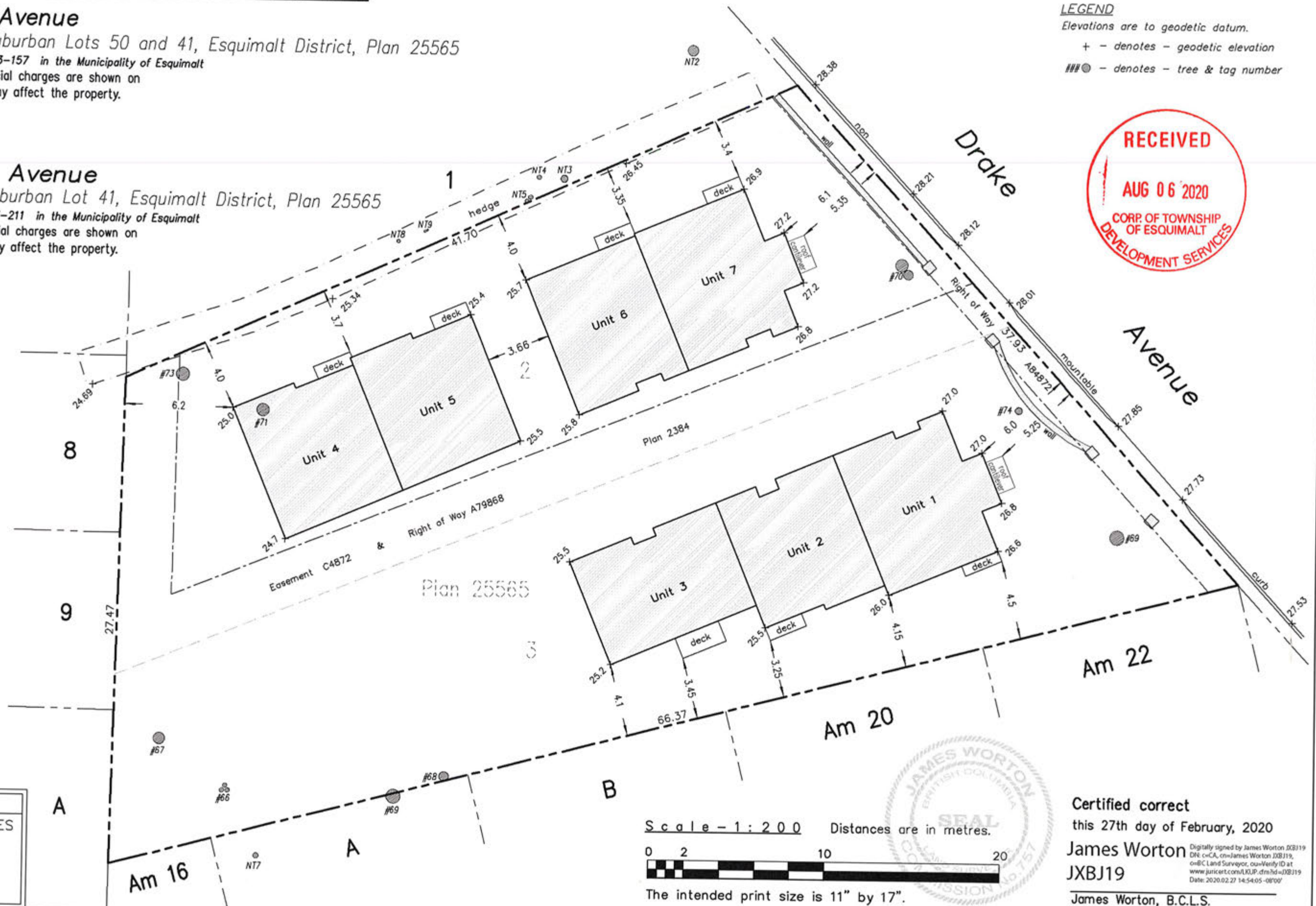
+ - denotes - geodetic elevation

- denotes - tree & tag number

RECEIVED

AUG 06 2020

**CORP. OF TOWNSHIP
OF ESQUIMALT
DEVELOPMENT SERVICES**



File : 12,537 - 19

POWELL & ASSOCIATES

B C Land Surveyors
250-2950 Douglas Street

Victoria, BC V8T 4N4
phone (250) 382-8855

Certified correct
this 27th day of February, 2020

James Worton
JXBJ19

James Worton, B.C.L.S.



BC LAND SURVEYORS SITE PLAN OF:

640 Drake Avenue

Legal: Lot 2, Suburban Lots 50 and 41, Esquimalt District, Plan 25565

Parcel Identifier: 002-923-157 in the Municipality of Esquimalt

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636 Drake Avenue

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A84872 - Right of Way

Summary of Unit Type		
Unit	Type	Size
1	3 BED + GARAGE	121 m ²
2	5 BED + GARAGE	154 m ²
3	2 BED + GARAGE	128 m ²
4	3 BED + GARAGE	127 m ²
5	2 BED + GARAGE	125 m ²
6	3 BED + GARAGE	135 m ²
7	3 BED + GARAGE	134 m ²

636-642 DRAKE AVE		PROPOSED	AS SHOWN
ZONE	R1-B		
LOT SIZE		1625 M ²	2070 M ²
TOTAL FLOOR AREA		8107 SQ FT	8554 SQ FT
FLOOR SPACE RATIO		50%	69%
LOT COVERAGE		4141 SQ FT	4407 SQ FT
LOT COVERAGE		440 SQ M	27%
OPEN SITE SPACE			
BUILDING HEIGHT A		79'6"	80'9"
BUILDING HEIGHT B		21'0"	8'25"
BUILDING HEIGHT C		21'2"	8'25"
NUMBER OF STORIES		5	5
NUMBER OF PARKING STALLS		4	4
NUMBER OF BIKE STALLS		20	6
SETBACKS FRONT		20'4"	6'3"
REAR		15'	4'0"
SIDE		15'	5'8"-5'9"
COMBINED SIDEYARD		25'	0'
NUMBER OF UNITS		7	7
UNIT TYPE		2-5 BEDROOM	
HARD SURFACE AREA		447 SQ M	27%
TOTAL LANDSCAPED AREA		709 SQ M	43%
USABLE OPEN SPACE		217 SQ M	13%

AVERAGE GRADE CALCULATIONS

BUILDING A

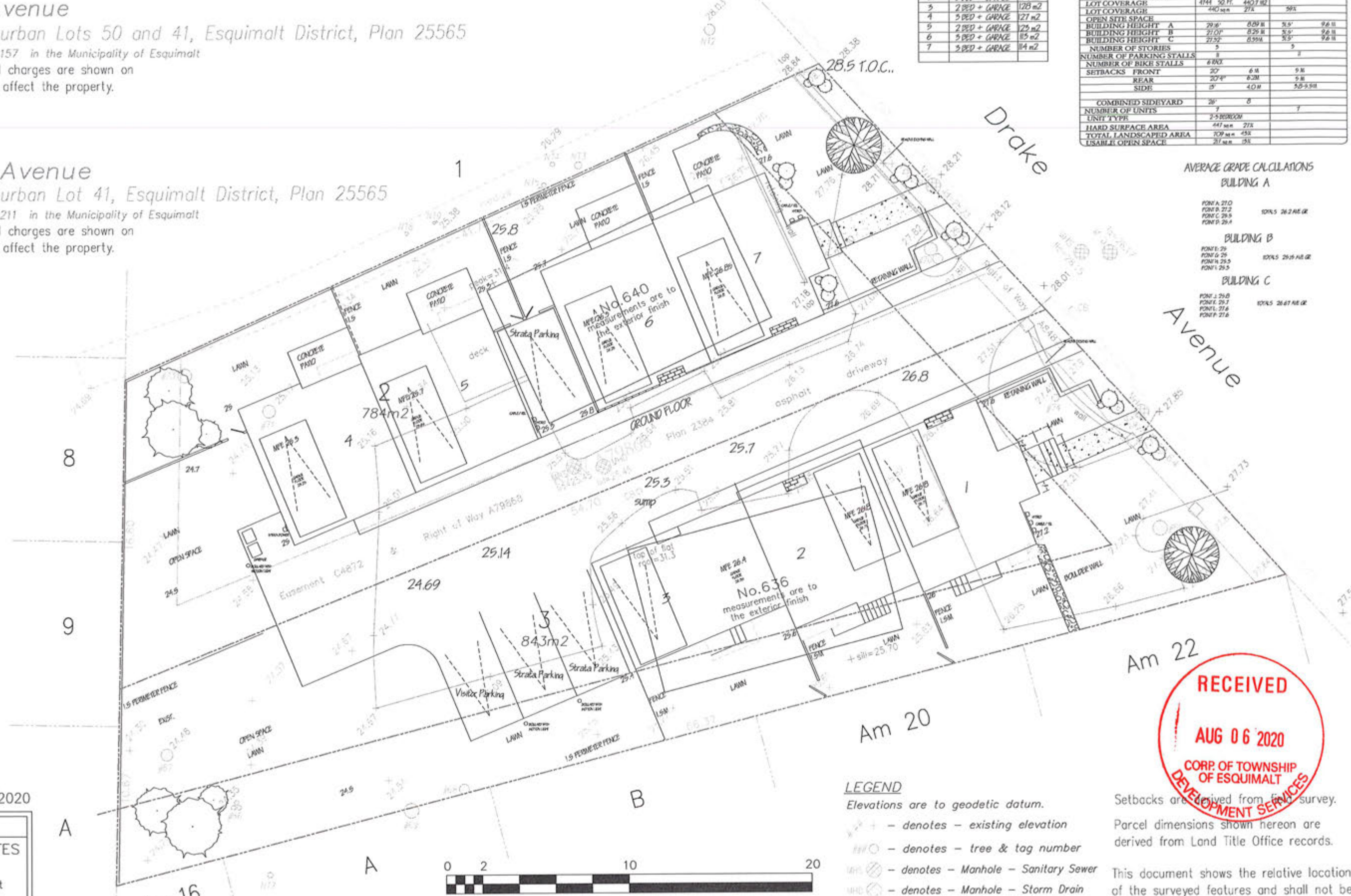
POINT A: 27.0
POINT B: 27.2
POINT C: 26.9
POINT D: 26.4
TOTALS: 26.2 AVE GR

BUILDING B

POINT E: 26.5
POINT F: 26.5
POINT G: 26.5
TOTALS: 26.5 AVE GR

BUILDING C

POINT H: 26.8
POINT I: 26.7
POINT J: 27.6
POINT K: 27.6
TOTALS: 26.67 AVE GR



LEGEND

Elevations are to geodetic datum.

--- denotes - existing elevation

--- denotes - tree & tag number

--- denotes - Manhole - Sanitary Sewer

--- denotes - Manhole - Storm Drain

--- denotes - Catch Basin

Setbacks are derived from field survey.

Parcel dimensions shown hereon are derived from Land Title Office records.

This document shows the relative location of the surveyed features and shall not be used to define property boundaries.

March 5, 2018
REVISED Jan 20/2020

File : 12,537 - 19

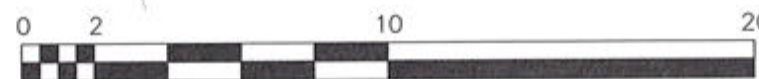
POWELL & ASSOCIATES

B C Land Surveyors

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Victoria, BC V8T 4N4

phone (250) 382-8855



SCALE 1:100

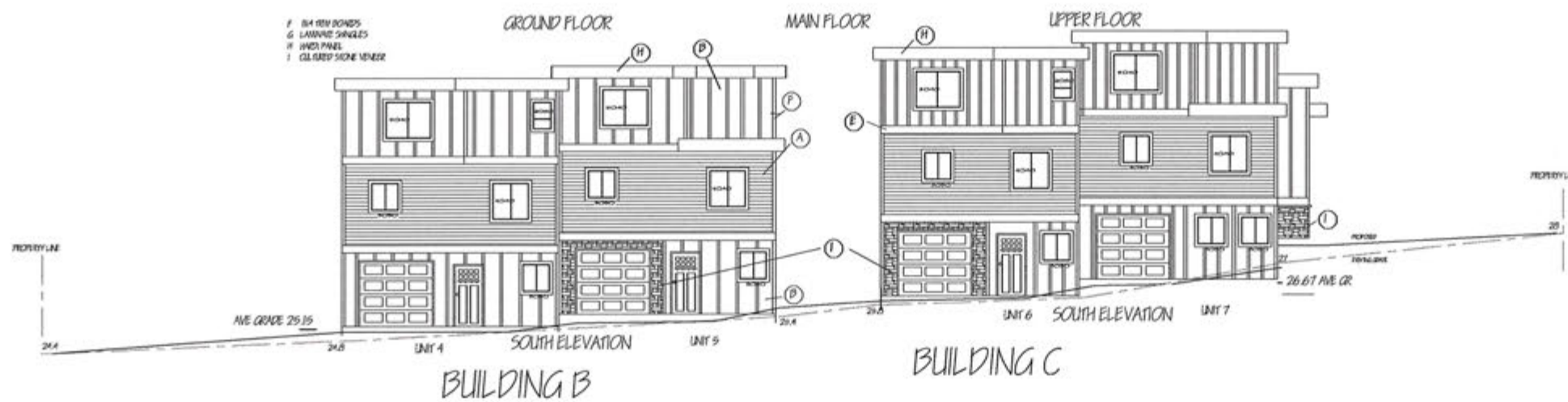
Am 22

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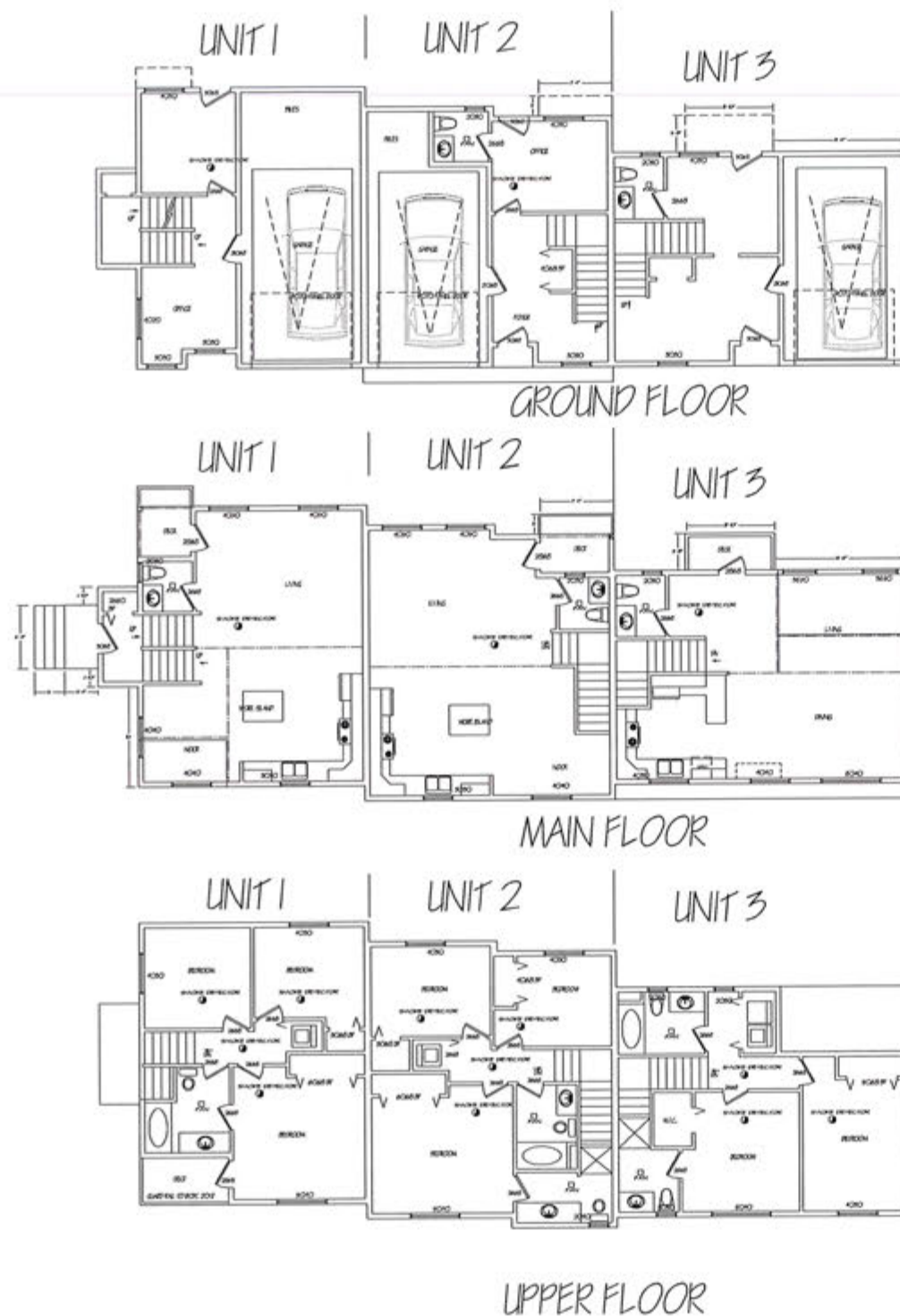
AUG 06 2020

CORP. OF TOWNSHIP
OF ESQUIMALT

DEVELOPMENT SERVICES



No.	Revision/Issue	Date
Burrows Holdings Ltd 2614 Otter Pt Rd Sooke BC V9Z 0J1 250-642-5715		
Project Name and Address 656-642 DRIVE AVE DUMMA PACIFIC PROPERTIES LTD		
Project Robert's Mews	Sheet 1	
Date Jan 20 / 2020	Scale 1:100	



General Notes

1. Contractor to verify all dimensions and details prior to start of construction and notify designer of any errors or discrepancies.
2. Dimensions to take precedence over scaled drawings.
3. Exterior dimensions from face of sheathing/concrete.
4. Where Eng. is specified, all structural components shall be certified by a structural engineer.
5. All work to be carried out using good construction practice and shall conform to local bylaws and current British Columbia Building Code.
6. It is Owner/Contractors responsibility to ensure site is inspected for substandard soil conditions resulting in special foundation design.
7. Provide attic and crawl space ventilation and access in accordance with BCBC Part 9.
8. All wood framing to be #2 or better SPF unless otherwise noted.
9. Provide 8" min. clearance from grade to wood cladding materials.
10. All wood lintels and joists to conform to current wood council of BC span tables.
11. Install smoke detectors in accordance with BCBC Part 9.
12. All wood plates in contact with concrete shall be pressure treated or shall be separated by a sill gasket.
13. Concrete shall be min. 20 mpa for walls and 30 mpa for slabs.
14. Windows shall be installed according to details outlined by warranty provider.
15. All hand rails to be graspable and installed 36" above nosing.
16. All guard rails to be installed as per BCBC.
17. Garage door shall come with self closer and weatherstripping to provide gas tight seal.
18. Provide heating and ventilation in accordance with local bylaws and BCBC.
19. All Bedrooms to have min egress as detail in BCBC.
20. Bathroom fans to be 1.5 some 100 cfm and have 6" smoothwall ducting.

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CORP. OF TOWNSHIP
OF ESQUIMALT
DEVELOPMENT SERVICES

	Remove unit 4	1/20
	Add 3rd floor deck unit 1	1/18
No.	Revision/Issue	Date

Burns Holdings Ltd
2614 Otter Pt Rd Sooke BC V9Z 0J1
250-642-3719

Project Name and Address

656-642 DUNE AVE
DUNN PACIFIC PROPERTIES LTD

Project Robert's News

Date Jan 20 / 2020

Scale 1:100

2



NORTH ELEVATION



EAST ELEVATION
UNIT 1



EAST ELEVATION
UNIT 7



- A HARDPLANK SIDING
- B HARDPANEL SIDING C/ W 1X4 BATTENS
- C HARD SHINGLE
- D HARDPANEL SIDING C/ W 1X2 BATTENS
- E 2X10 COMB FACE
- F 1X4 TRIM BOARDS
- G LAMINATE SHINGLES
- H HARD PANEL
- I CULTURED STONE VENEER

Revised roof lines remove unit 4	1/20
Added 3rd floor deck unit 1, 2	11/18
No.	Revision/Issue
Burnco Holdings Ltd 2814 Oster Pt Rd Suite DC 192 OJ 250-642-5715	
Project Name and Address 656-642 ORME AVE DOWNTOWN PROPERTIES LTD	
Project	Robert's Move
Date	Jan 20/ 2020
Scale	1:50
Sheet	3

**CORP. OF TOWNSHIP
OF ESQUIMALT
DEVELOPMENT SERVICES**



	Remove unit 4 adjust height	1/20
	Added 5th floor deck unit 1	11/18
No.	Revision/Issue	Date

Pioneer Holdings Ltd
 2614 Otter Pt Rd Suite BC V9Z 0J1
 250-642-5715

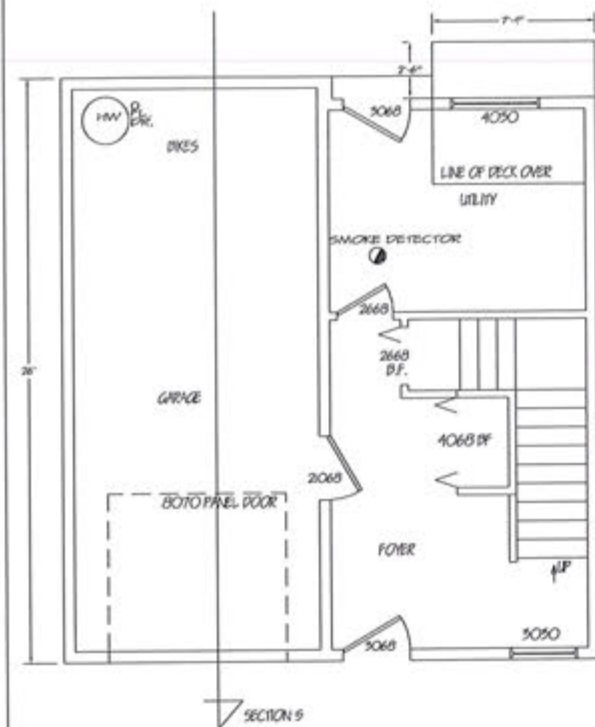
Project Name and Address

656-642 DRIVE AVE
 DIMMA PACIFIC PROPERTIES LTD

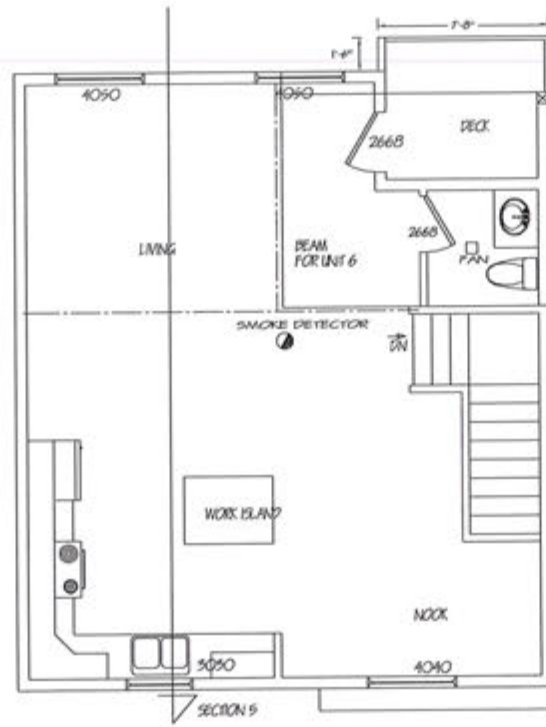
Project Robert's Mews	Sheets 4
Date Jan 20/2020	
Scale 1:50	

SER	REVDATE	FNAME
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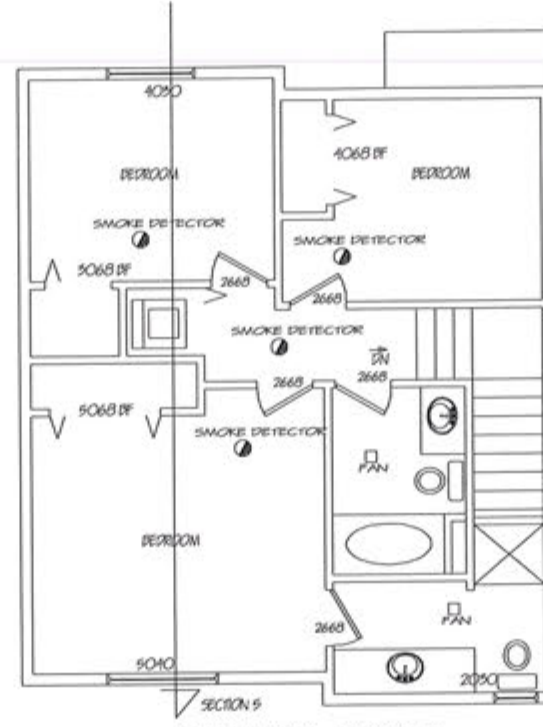
UNIT 4 & 5



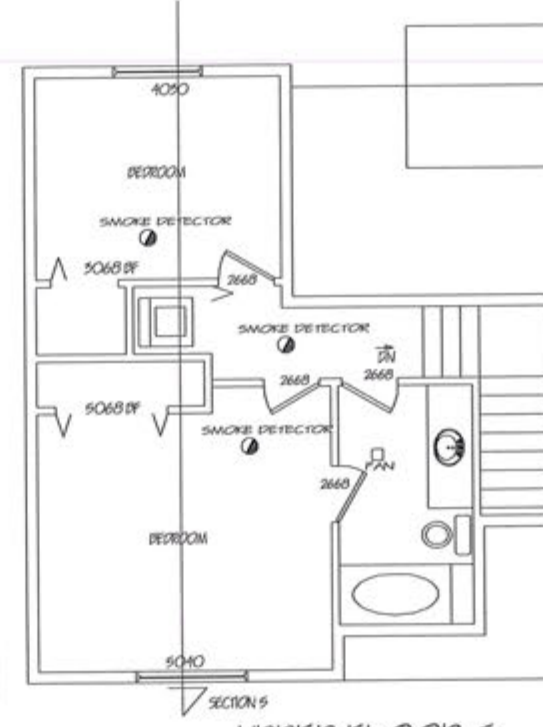
GROUND FLOOR



MAIN FLOOR



UPPER FLOOR 4



UPPER FLOOR 5



SOUTH ELEVATION

UNIT 5



SOUTH ELEVATION

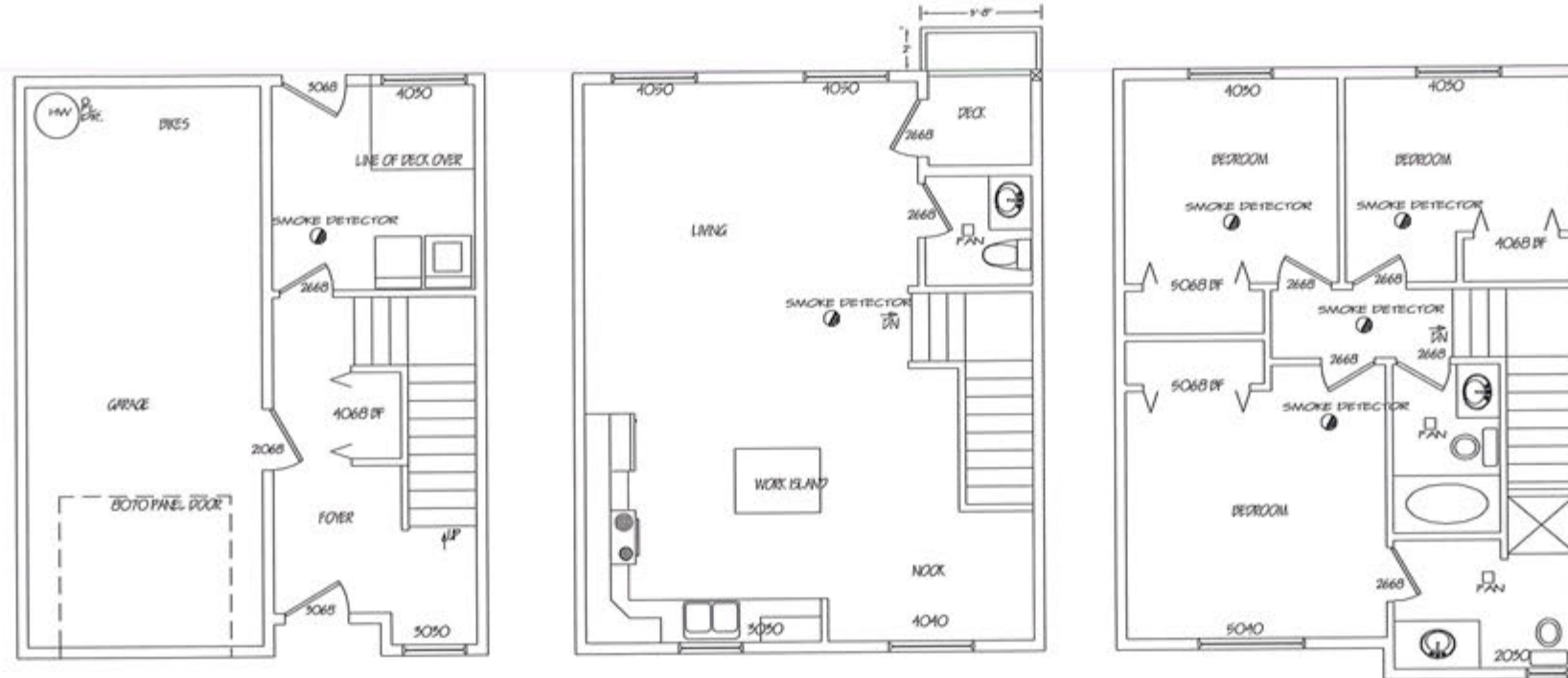
No.		Revision/Issue	Date
1		2014 Alter P3 Rd Sake DC V92 OJ	01/20
Project Name and Address 656-642 DRIVE AVE DUNNAPACIFIC PROPERTIES LTD			
Project		Robert's House	Sheet
Date		Jan 20/2020	5
Scale		1:50	

- A HARDPLANK SIDING
- B HARDIPANEL SIDING C/ W IX4 BATTENS
- C HARDI SHINGLE
- D HARDIPANEL SIDING C/ W IX2 BATTENS
- E 2X10 COMB FACE
- F IX4 TRIM BOARDS
- G LAMINATE SHINGLES
- H HARDI PANEL
- I CULTURED STONE VENER

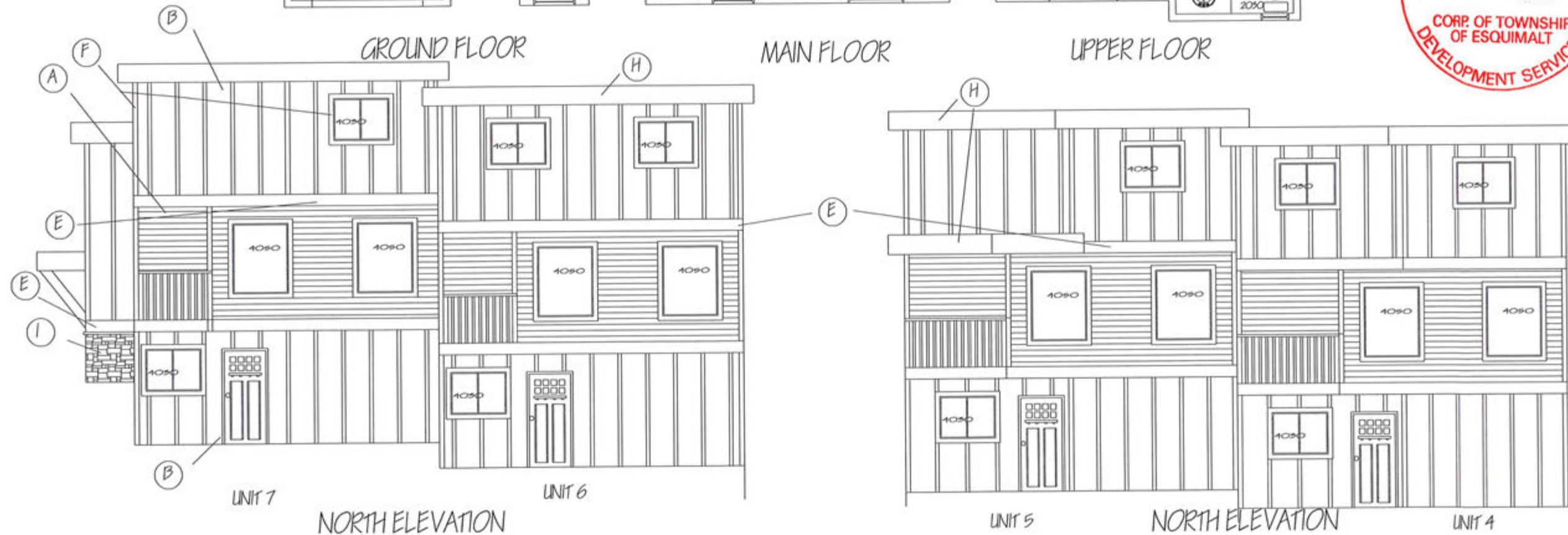


UNIT 6

- A HARDPLANK SIDING
- B HARDIPANEL SIDING C/ W 1X4 BATTENS
- C HARD SHINGLE
- D HARDIPANEL SIDING C/ W 1X2 BATTENS
- E 2X10 COMB FACE
- F 1X4 TRIM BOARDS
- G LAMINATE SHINGLES
- H HARDIPANEL
- I CULTURED STONE VENEER

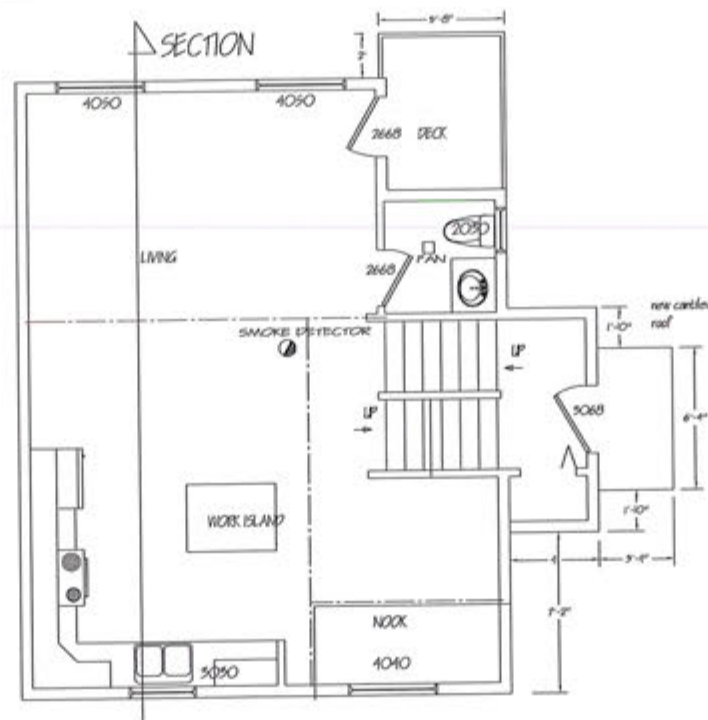


Added 3rd floor deck unit B		11/18
No.	Revision/Issue	Date
Pursons Holdings Ltd 2614 Otter Pt Rd Suite DC V9Z 0J3 250-642-5719		
Project Name and Address		
656-642 DRIVE AVE DIMMA PACIFIC PROPERTIES LTD		
Project	Robert's Memo	Sheet
Date	Jan 20/ 2020	6
Scale	1:50	

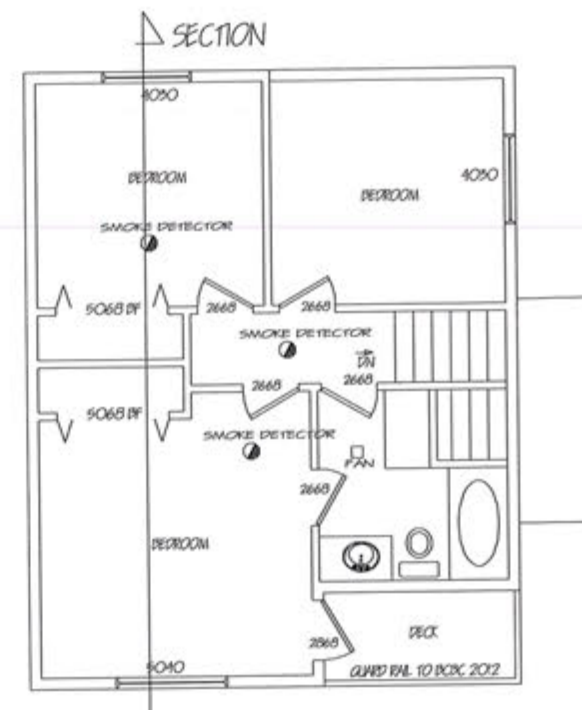




GROUND FLOOR

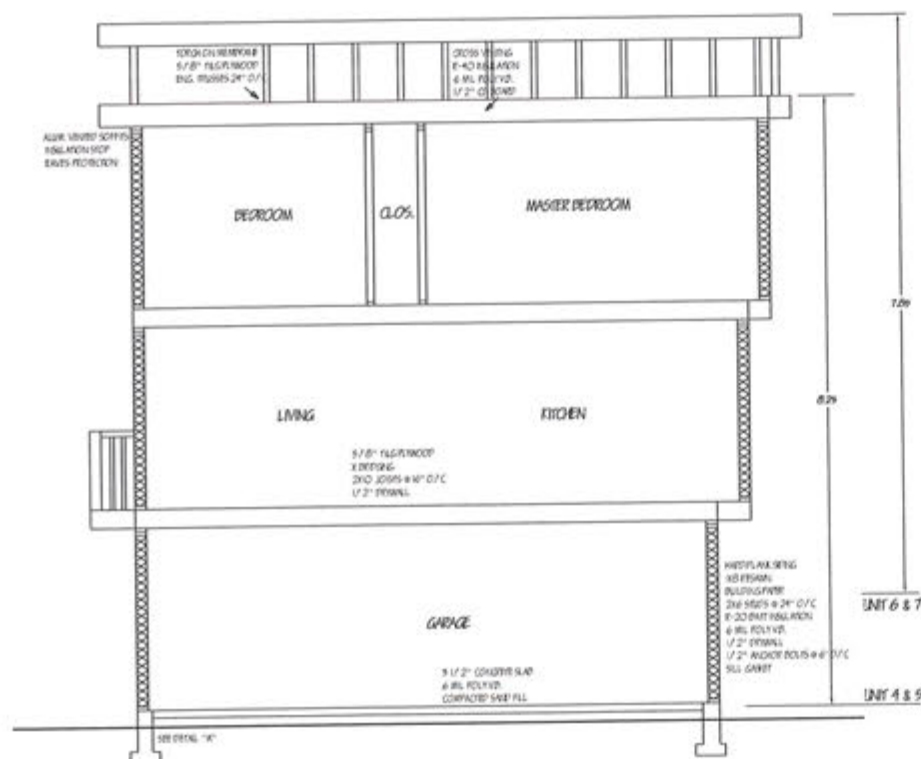


MAIN FLOOR



UPPER FLOOR

UNIT 7



TYP CROSS SECTION

UNIT 4



Added 5th floor deck unit B		
No.	Revision/Issue	Date
Burrus Holdings Ltd 2614 Otter Pt Rd Seaside BC V9Z 0J1 250-642-9715		
Project Name and Address 656-642 DRIVE AVE DUMA PACIFIC PROPERTIES LTD		
Project	Robert's Menu	Sheet
Date	Jan 20/ 2020	7
Scale	1:50	



No.	Revision/Issue	Date
Burrows Holdings Ltd 2644 Otter Pt Rd Suite DC V9Z 0J3 250-642-5775		
Project Name and Address 626-642 DRAKE AVE DINWA PACIFIC PROPERTIES LTD		
Project	Robert's News	Sheet
Date	Jan 20 / 2020	8
Scale	1:100	



CONTEXT DRAWING FROM DRAKE AVE

REYDATE
USER



LEGEND

Elevations are to geodetic datum.

- ##○ - denotes - tree & tag number
- ##○ - denotes - Manhole - Sanitary Sewer
- ##○ - denotes - Manhole - Storm Drain
- ##○ - denotes - Catch Basin

LEGEND

LARGE DECIDUOUS TREES:
QUERCUS COCCINEA (HOLLET OAK),
ACER RUBRA (RED MAPLE),
SIZE 5.0 CM. D.B.H., QUANTITY = 4.

SMALL DECIDUOUS TREES:
ACER CIRCINATUM (YVNE MAPLE),
SYRPHA VULGARIS (FLICK),
VIBURNUM SETTI (BETTY HANDELIA),
SIZE 2.5 CM. D.B.H., QUANTITY = 6.

MEDIUM SHRUBS:
RHODODENDRON SP. (RHODODENDRON),
CORONILLA VARIEGATA (PINK DOGWOOD),
PIERIS JAPONICA (JAPANESE PIERIS),
MAHONIA AQUIFOLIUM (TRESCH SHAW),
SCHOLIA JAPONICA (JAPANESE SCHOLIA),
SIZE #2 & #3 POTS, QUANTITY = 18.

SMALL SHRUBS:
MAHONIA NERVOZA (DWARF MAHONIA),
CORONILLA VARIEGATA (PINK DOGWOOD),
LAVANDULA SPICA (LAVENDER),
POLYSTICHUM MONTANUM (SWOOD FERN),
PASTILICA JULICA (FORNITAL GRASS),
SIZE #1 POTS, QUANTITY = 209.

GROUND COVER:
VICTORIANUS LAM-USE (VINOLOVER JADE),
KINKIKINIO,
SIZE 10 CM. POT, SPACE 48 CM. O.C.

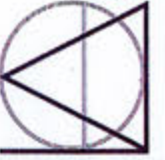
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CORP. OF TOWNSHIP
OF ESQUIMALT
DEVELOPMENT SERVICES

DRAKE AVENUE
TOWNHOUSES
636-640 DRAKE AVENUE, VICTORIA, B.C.

KITH N. GRANT
LANDSCAPE
ARCHITECTURE LTD.

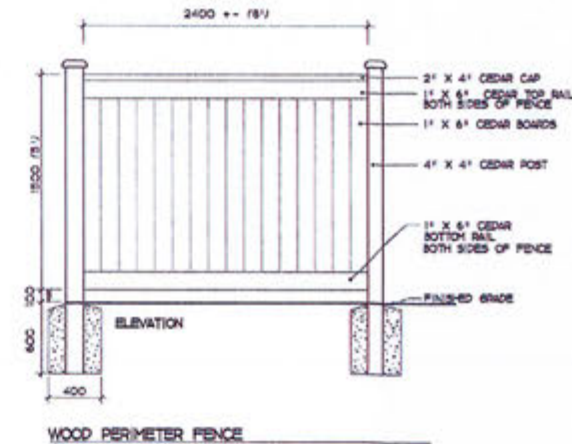


1:100
PLOT 1 = 100

FEBRUARY 10, 2020
570 18 01

NOTES

- SEE DRAWING L2 FOR SOFT LANDSCAPE GRADING INFORMATION.
- SEE ARCHITECT REPORT PREPARED BY TALBOT HICKENSBY & ASSOCIATES, DATED APRIL 2018 FOR TREE RESOURCE INFORMATION.
- NEW ON SITE PLANTING AREAS TO BE IRRIGATED WITH A WATER EFFICIENT AUTOMATIC LANDSCAPE IRRIGATION SYSTEM.
- PLANTING TO BE INSTALLED TO THE STANDARDS IDENTIFIED IN THE BRITISH COLUMBIA LANDSCAPE STANDARD - 2012 EDITION.



LEGEND

Elevations are to geodetic datum.

- ## + - denotes - existing elevation
- ## ● - denotes - tree & tag number
- MHS ⊗ - denotes - Manhole - Sanitary Sewer
- MHD ⊗ - denotes - Manhole - Storm Drain
- CB □ - denotes - Catch Basin

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CORP. OF TOWNSHIP
OF ESQUIMALT
DEVELOPMENT SERVICES

LEGEND

- EXISTING CONIFEROUS TREE TO BE RETAINED
- EXISTING DECIDUOUS TREES TO BE RETAINED
- EXISTING TREES TO BE REMOVED
- EXISTING SPOT ELEVATIONS
- PROPOSED SPOT ELEVATIONS
- PROPOSED BOULDER WALL



LANDSCAPE GRADING PLAN

DRAKE AVENUE TOWNHOUSES

KEITH N. GRANT
LANDSCAPE
ARCHITECTURE LTD.

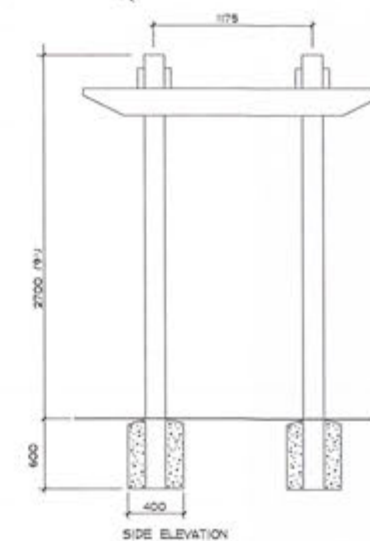
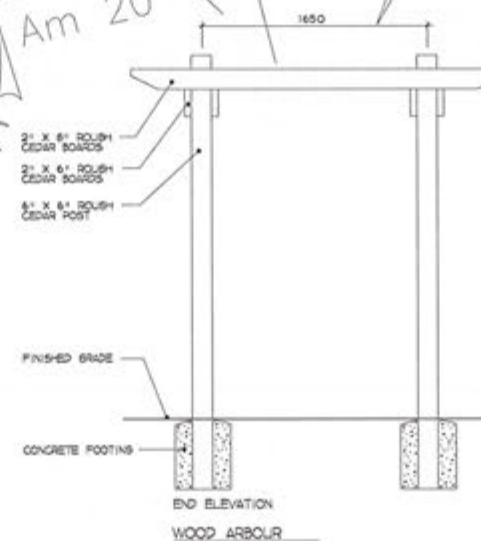


1:100
PLOT: 1 = 100

DATE: AUGUST 27, 2020
FILE: 570 18 01

NOTES

- SEE DRAWING L1 FOR PLANTING PLAN.
- SEE ARBORIST REPORT PREPARED BY TALBOT MACKENZIE & ASSOCIATES, DATED APRIL 2018 FOR TREE RESOURCE INFORMATION.



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LEGEND

LARGE DECIDUOUS TREES
QUERCUS COCCINEA (SCARLET OAK),
ACER RUBRUM (RED MAPLE),
SIZE 5.0 CH. CAL. QUANTITY - 4.

SMALL DECIDUOUS TREES
ACER CIRCINATUM (VINE MAPLE),
SYRINJA VULGARIS (LILAC),
MABOLIA X BETTY (BETTY MABOLIA),
SIZE 2.5 H. 10" CAL. QUANTITY - 8.

MEDIUM SHRUBS
RHODODENDRON SP. (RHODODENDRON),
VIBURNUM OVATUM (REDGREEN HUCKLEBERRY),
PIRIS JAPONICA (JAPANESE PIERIS),
MABOLIA AQUIFOLIUM (OREGON GRAPE),
SKIMMIA JAPONICA (JAPANESE SKIMMIA),
SIZE #2 & #3 POTS, QUANTITY - 13.

SMALL SHRUBS
MABOLIA NERVOZA (DWARF MABOLIA),
CORNUS KILSEYI (DWARF REDTID BUSHWOOD),
LAVANDULA SPICA (LAVENDER),
POLYSTICHUM MUNITUM (SHOED PERN.),
FESTUCA BLAUCA (PORTUGAL GRASS),
SIZE #1 POTS, QUANTITY - 205.

GROUND COVER
ARCTOSTAPHYLOS UVA-URSI (WANDCOVER JADE),
SIZE 10 CH. POT, SPACE 45 CH. O.C.

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OF ESQUIMALT
DEVELOPMENT SERVICES

DRAKE AVENUE
TOWNHOUSES
636 - 640 DRAKE AVENUE, VICTORIA, B.C.

KEITH N. GRANT
LANDSCAPE
ARCHITECTURE LTD.
20-100 ROAD 100, VICTORIA, B.C. V8N 1A1
TEL: 251-1111



1:100
PLOT: 1 = 100

DATE: AUGUST 27, 2020
BY: K. GRANT
570 18 01

NOTES

- SEE DRAWING L2 FOR SOFT LANDSCAPE GRADING INFORMATION.
- SEE ARCHITECT REPORT PREPARED BY TALBOT HICKENIE & ASSOCIATES, DATED APRIL 2018 FOR TREE RESOURCE INFORMATION.
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- PLANTING TO BE INSTALLED TO THE STANDARDS IDENTIFIED IN THE BRITISH COLUMBIA LANDSCAPE STANDARD - 2012 EDITION.

