CORPORATION OF THE TOWNSHIP OF ESQUIMALT

DEVELOPMENT PERMIT

NO. DP000130

Owners: Citta Construction Ltd., Inc. No. BC0212174
101 1763 Seam Heights
Saanichton, BC
V8M 1X6

Lands: PID 008-289-123
Lot 16, Suburban Lot 48, Esquimalt District, Plan 822

Address: 469 Sturdee Street, Esquimalt, B.C.

Conditions:

1. This Development Permit is issued subject to compliance with all of the bylaws of the Municipality applicable thereto, except as specifically varied or supplemented by this permit, for the purpose of authorizing the design of the proposed two family (duplex) residential building within the following Development Permit Areas:
   - the protection of the natural environment, as governed by Development Permit Area No. 1: Natural Environment;
   - authorizing the form and character of the proposed development of a new side by side two family residential building, as governed by Development Permit Area No. 3: Enhanced Design Control Residential;
   - energy conservation and greenhouse gas reduction, as governed by Development Permit Area No. 7: Energy Conservation & Greenhouse Gas Reduction; and
   - water conservation, as governed by Development Permit Area No. 8: Water Conservation.

2. Approval of this Development Permit has been issued in general accordance with the BCLS Site Plan prepared by Brent Mayenburg, Wey Mayenburg Land Surveying Inc., stamped “Received February 10, 2020”, is consistent with the architectural plans prepared by Adapt Design stamped “Received February 19, 2020”, and the landscape plan prepared by Small and Rossell, Landscape Architects Inc., stamped “Received February 4, 2020” and attached hereto as Schedule “A”.

3. This Development Permit is issued in accordance with the landscaping estimate provided by Small & Rossell Landscape Architects, stamped "Received May 7, 2020", attached hereto as Schedule 'B'. Security, in an amount representing 120% of the estimate (120% of $33,610.00 = $40,332.00) must be deposited with the Township of Esquimalt before this permit can be issued.

4. The lands shall be developed in accordance with the terms, conditions and provisions of this Permit.

5. The terms, conditions and covenants contained herein shall enure to the benefit of and be binding upon the Owners, their executors, heirs or administrators, successors and assigns as the case may be or their successors to title in the lands.

6. This Development Permit is not a Building Permit.

7. This Permit lapses two (2) years after the date it is issued if the holder of the Permit does not substantially start any construction with respect to which the Permit was issued.

8. For the purposes of this Development Permit, the holder of the Permit shall be the owner(s) of the lands.

APPROVED BY MUNICIPAL COUNCIL RESOLUTION ON THE ____ DAY OF _____, 2020.

ISSUED BY THE DIRECTOR OF DEVELOPMENT SERVICES THIS ____ DAY OF _____, 2020.

_____
Director of Development Services

_____
Corporate Officer
Corporation of the Township
of Esquimalt

Site Plan Of:
Lot 16, Suburban Lot 48, Esquimalt District, Plan 822. P.I.D. 008-289-123

5 4 3 2 1 0 5 10 15

Scale = 1:200

Dated this 5th day of February, 2020.

Distances and elevations shown are in metres.

Elevations are based on geodetic datum CVD28BC and derived from OCM 84H0154.

This site plan is for building and design purposes and is for the exclusive use of our client.

This document shows the relative location of the surveyed structures and features with respect to the boundaries of the parcel described above. This document shall not be used to define property lines or property corners.

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FEB 10 2020
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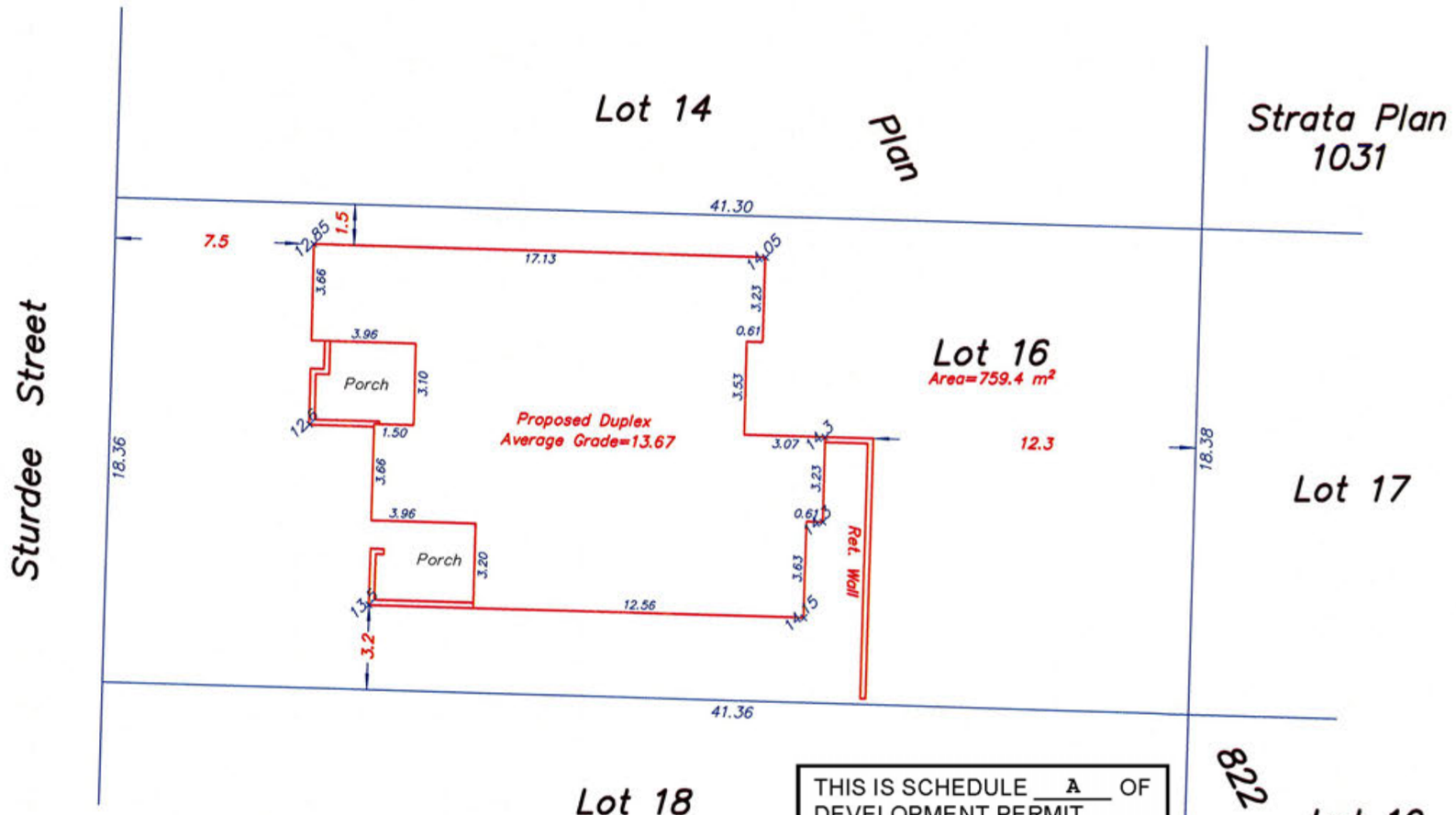


Wey Mayenburg Land Surveying Inc.
www.weysurveys.com
#4-2227 James White Boulevard
Sidney, BC V8L 1Z5
Telephone (250) 656-5155
File: 190258\SIT\GH

Certified Correct this 5th day of February, 2020.

Brent Mayenburg
C5S1Z1
B.C.L.S.

Digitally signed by Brent Mayenburg C5S1Z1
DN: c=CA, cn=Brent Mayenburg C5S1Z1, o=BC Land Surveyor, ou=Verify ID at www.juricert.com/LKUP.cfm?id=C5S1Z1
Date: 2020.02.10 10:18:34 -08'00'

(Not valid unless originally signed & sealed)

THIS IS SCHEDULE A OF DEVELOPMENT PERMIT NO. DP000130

CORPORATE OFFICER

GENERAL NOTES

GENERAL NOTES
ALL MATERIALS AND CONSTRUCTION METHODS TO CONFORM TO THE CURRENT EDITION OF THE BRITISH COLUMBIA BUILDING CODE (BCBC), GOOD CONSTRUCTION PRACTICE, AS WELL AS ANY OTHER LOCAL BUILDING CODES OR BYLAWS WHICH MAY TAKE PRECEDENCE

ALL MEASUREMENTS TO BE VERIFIED ON SITE BY BUILDER PRIOR TO CONSTRUCTION. COMMENCEMENT OF CONSTRUCTION OR ANY PART THEREOF CONSTITUTES ACCEPTANCE OF THE DRAWINGS/SITE CONDITIONS AND MEANS DIMENSIONS & ELEVATIONS HAVE BEEN VERIFIED & ARE ACCEPTABLE

IF ANY DISCREPANCIES ARISE, THEY SHOULD BE REPORTED TO THE DESIGNER

DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALE

FRAMING LUMBER SHALL BE GRADED #2 OR BETTER UNLESS OTHERWISE SPECIFIED

ALL INTERIOR FINISHES, CASINGS, WINDOW TYPES AND MILLWORK TO OWNERS APPROVAL

STAIR TREADS TO BE PLYWOOD OR OTHER ENGINEERED PRODUCT AND SECURED WITH SCREWS AND SUB-FLOOR ADHESIVE

TEMPORARY HEAT REQUIRED PRIOR TO DRYWALL INSTALLATION TO ASSIST IN DRYING OF FRAMEWORK. MOISTURE CONTENT OF FRAMEWORK MUST NOT EXCEED 19%

SITE PLAN
LAYOUT TO BE CONFIRMED BY A CURRENTLY REGISTERED BRITISH COLUMBIA LEGAL LAND SURVEYOR

ALL SET BACKS TO BE CONFIRMED BY THE OWNER AND BUILDER

ALL GRADE ELEVATIONS ARE THE RESPONSIBILITY OF THE OWNER AND BUILDER

VERIFY EXISTING AND PROPOSED GRADES PRIOR TO CONSTRUCTION

FOUNDATION
THE BUILDER IS RESPONSIBLE FOR LOCATING THE FOOT PRINT OF THE STRUCTURE IN THE PROPER PLACE AS PER PLANS

CONCRETE FOUNDATION WALLS NOT SUBJECT TO SURCHARGE SHALL BE INSTALLED ON COMPACTED, UNDISTURBED, INORGANIC STABLE SOILS BELOW THE DEPTH OF FROST PENETRATION WITH AN ALLOWABLE BEARING PRESSURE OF 75 kPa OR GREATER. IF SOFTER CONDITIONS APPLY, THE BEARING CAPACITY AND SIZE OF FOOTINGS ARE TO BE DESIGNED BY A QUALIFIED ENGINEER

THE SILL PLATE IS TO BE FASTENED TO THE FOUNDATION WALL WITH NOT LESS THAN 12.7mm Ø ANCHOR BOLTS SPACED NOT MORE THAN 2.4m O.C. OR FOR BRACED WALL PANELS 2 15mm Ø ANCHOR BOLTS PER BRACED WALL PANEL 500mm FROM THE ENDS OF THE FOUNDATION AND SPACED 1.7m O.C. EMBEDDED 100mm DEEP

ALL LUMBER IN CONTACT WITH CONCRETE SHALL BE TREATED OR PROTECTED BY A MOISTURE RESISTANT GASKET

IT IS THE RESPONSIBILITY OF THE OWNER/CONTRACTOR TO HAVE SITE SOIL CONDITIONS INSPECTED AND ADVISE THE DESIGNER OF ANY SOIL CONDITIONS WHICH MAY REQUIRE ENGINEERING

ALL FOUNDATION WALLS ARE 200mm THICK 20MPa CONCRETE UNLESS OTHERWISE SPECIFIED

FOUNDATION WALLS MAY BE A MAXIMUM OF 4' HIGH FROM GRADE TO UNDERSIDE OF FLOOR IF LATERALLY UNSUPPORTED AT TOP. ALL OTHER CONCRETE FOUNDATION WALLS TO BE ENGINEERED

FRAMING
ALL ENGINEERED COMPONENTS TO BE SIZED BY SUPPLIER

ALL SPANS AND LOADINGS SHALL CONFORM TO THE CURRENT VERSION OF THE BCBC. VERIFICATION OF ALL COMPONENTS IS THE RESPONSIBILITY OF THE OWNER/BUILDER. ANY COMPONENTS WHICH CANNOT BE DESIGNED WITH THE BCBC SHALL BE DESIGNED BY A QUALIFIED ENGINEER

TRUSSES AND LAYOUT ARE TO BE ENGINEERED AND INSTALLED ACCORDING TO MANUFACTURERS SPECIFICATIONS

IT IS ASSUMED THAT THE CONTRACTOR IS FAMILIAR WITH THE 2012 BCBC AND INDUSTRY STANDARDS FOR WOOD FRAME CONSTRUCTION. NOT EVERY DETAIL OF WOOD FRAMING IS SHOWN ON THESE DRAWINGS

ALL LINTELS DOUBLE 2X10 S.S. SPF FOR CLEAR SPANS UP TO 5' UNLESS OTHERWISE NOTED

EXTERIOR WALL THICKNESS SHOWN ARE MEASURED FROM OUTSIDE OF EXTERIOR SHEATHING TO INSIDE OF DRYWALL

INTERIOR WALL THICKNESS SHOWN ARE MEASURED FROM OUTSIDE OF DRYWALL TO OUTSIDE OF DRYWALL

ROOM MEASUREMENTS SHOWN ARE TO THE NEAREST INCH. DIMENSIONS SHOWN ARE TO THE NEAREST ½"

CONFIRM ALL VANITY'S, BATHTUBS, SHOWERS AND KITCHEN CUPBOARDS WITH OWNER PRIOR TO FRAMING AS THESE MAY REQUIRE MODIFICATIONS TO THE ROOM SIZES

TYPICAL DOOR AND WINDOW HEADER HEIGHT"
8' CEILINGS: 6'8"
9' CEILINGS: 7'0"
10' CEILINGS: VARIES

ROOFING
ALL ROOFING SHALL BE APPLIED TO THE MANUFACTURERS SPECIFICATIONS AND SHALL INCLUDE EAVE PROTECTION FROM ICE DAMMING AND SNOW BUILD UP

PLUMBING AND ELECTRICAL
ANY PLUMBING AND ELECTRICAL SHOWN ON THESE PLANS IS FOR ILLUSTRATIONAL PURPOSES ONLY AND MUST BE DESIGNED AND INSTALLED BY A QUALIFIED PROFESSIONAL

FLASHING
ALL PENETRATIONS THROUGH THE ROOF WILL REQUIRE FLASHING.

ALL ROOFING TO INCLUDE STEP FLASHING.

ALL EXPOSED OPENINGS TO INCLUDE FLASHING

ALL FLASHING END DAMS TO BE 25mm (1") HIGH

DOORS
FRAME OPENING TO BE 1 ½" WIDER THAN DOOR
FRAME OPENING 1½" WIDER THAN BIFOLD DOORS AND FRAME HEIGHT IS 81.5"
ALL INTERIOR DOORS TO BE 80" TALL U.N.O. PROVIDE MIN. 2-STUDS AT EACH SIDE OF JAMB FRAMING

FENESTRATION
ALL WINDOWS, DOORS & SKYLIGHTS TO CONFORM TO NAFS-08 AND THE CANADIAN SUPPLEMENT TO NAFS

FENESTRATION PERFORMANCE REQUIREMENTS:
CLASS R - PG 30 - +'VE/-'VE DP = 1440Pa/1440Pa - WATER PENETRATION RESISTANCE = 260Pa - CANADIAN AIR INFILTRATION/EXFILTRATION = A2

WINDOW/DOOR LABELS TO BE LEFT IN PLACE UNTIL FINAL INSPECTION

SUPPLY AND INSTALL ALL WINDOW TYPES, INTERIOR CASINGS AND MILLWORK TO OWNERS APPROVAL

ALL WINDOWS ADJACENT TO BATH TUBS TO BE SAFETY GLASS

GUARDS/HANDRAILS
INSTALL GRASPABLE HANDRAIL TO ALL INTERIOR STAIRS AT 34" TO 38" ABOVE STAIR NOSING

INSTALL GUARDS AT ALL BALCONIES, DECKS AND PORCHES GREATER THAN 2' ABOVE GRADE . INSTALL GUARD AT 42" HEIGHT WHERE SURFACE IS GREATER THAN 6' ABOVE ADJACENT SURFACE, OTHERWISE 36" GUARDRAIL ALLOWABLE

TOPLESS GLASS GUARDS TO BE ENGINEERED WITH SEALED DRAWINGS

VENTILATION
PROVIDE ATTIC AND CRAWLSPACE ACCESS AND VENTILATION IN ACCORDANCE WITH BCBC

PROVIDE HEATING, MECHANICAL VENTILATION, AND AIR CONDITIONING WHERE REQUIRED IN ACCORDANCE WITH BCBC AND LOCAL BYLAWS

MECHANICAL CONTRACTOR TO PROVIDE MECHANICAL CHECKLIST COMPLETE WITH FAN & DUCT SIZES PRIOR TO FRAMING INSPECTION

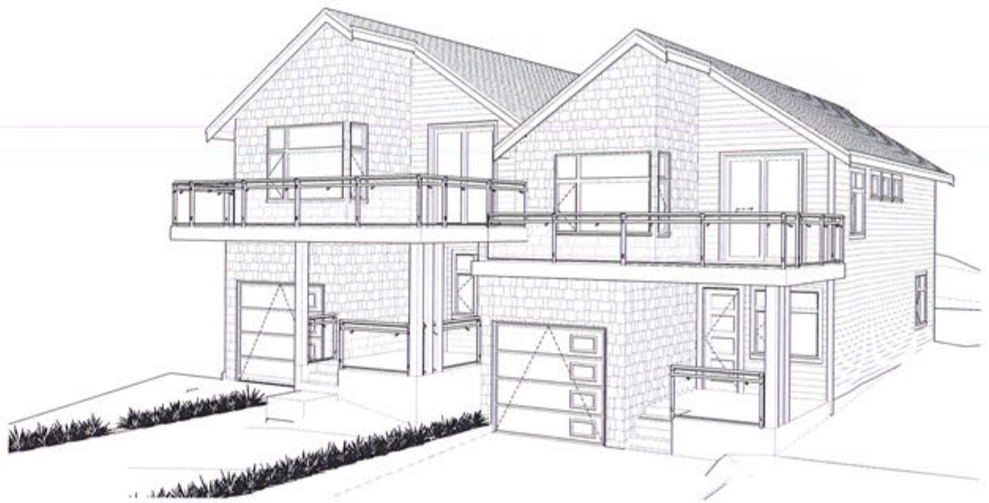
MISC.
SMOKE/CARBON MONOXIDE ALARMS TO BE PROVIDED ON EVERY FLOOR AND ARE TO BE HARDWIRED AND WITHIN 5m OF EACH BEDROOM IN EVERY SUITE AND INTERCONNECTED TO ALL FLOORS. SMOKE ALARMS TO ALSO BE PROVIDED IN EVERY BEDROOM. ALL SMOKE ALARM LOCATIONS WILL HAVE BOTH PHOTOELECTRIC AND IONIC DETECTION SYSTEMS

BEDROOM WINDOWS FOR EGRESS SHALL HAVE OPENINGS WITH AREAS NOT LESS THAN 3.8ft² WITH NO DIMENSION LESS THAN 15"

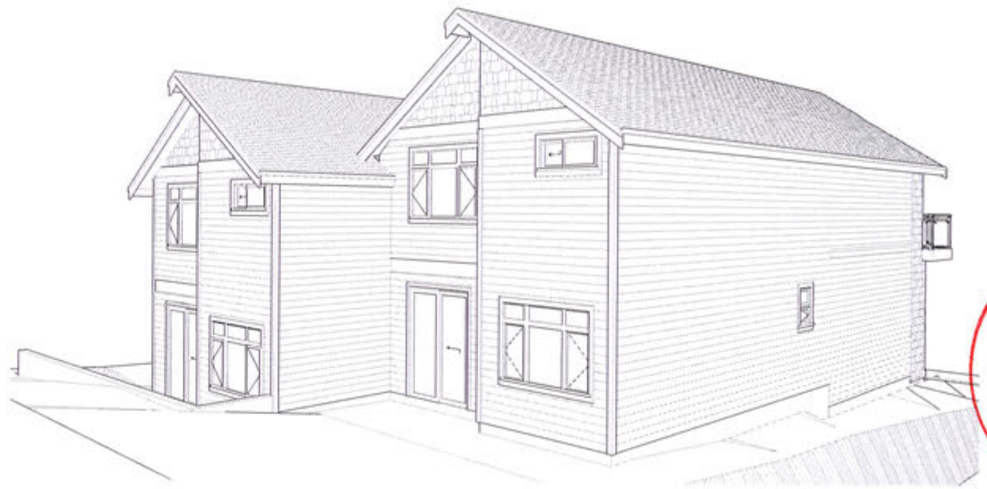
IT IS THE RESPONSIBILITY OF THE CONTRACTOR AND/OR OWNER TO CHECK AND VERIFY ALL ASPECTS OF THESE PLANS PRIOR TO START OF CONSTRUCTION OR DEMOLITION. ADAPT DESIGN DOES NOT ACCEPT RESPONSIBILITY FOR THE FOLLOWING:
-INFORMATION PROVIDED ON EXISTING BUILDINGS OR SITE
-CONFORMITY OF PLANS TO SITE
-ERRORS AND/OR OMISSIONS
-ANY HOUSE BUILT FROM THESE PLANS
THESE PLANS REMAIN THE PROPERTY OF ADAPT DESIGN AND CAN BE RECLAIMED AT ANY TIME

PROJECT:

NEW CUSTOM DUPLEX



1 PERSPECTIVE VIEW 1
NOT TO SCALE



2 PERSPECTIVE VIEW 2
NOT TO SCALE

Issued

COVER SHEET & GENERAL INFO		
A-001	COVER SHEET	☐
A-002	SITE PLAN	☐
PLANS		
A-101	FOUNDATION PLAN	☐
A-102	MAIN FLOOR PLAN	☐
A-103	UPPER FLOOR PLAN	☐
A-104	ROOF PLAN	☐
ELEVATIONS		
A-201	ELEVATIONS	☐
A-202	ELEVATIONS	☐
SECTIONS		
A-301	CROSS SECTION	☐
A-302	CROSS SECTION	☐
DETAILS		
A-401	DETAILS	☐

THIS IS SCHEDULE A OF DEVELOPMENT PERMIT NO. DP000130

CORPORATE OFFICER

ADAPT DESIGN

1500 Shoreciffe Road Victoria BC Canada
250.893.8127
www.adaptdesign.ca

469 STURDEE ST DUPLEX

città group

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FEB 19 2020
CORP. OF TOWNSHIP OF ESQUIMALT
DEVELOPMENT SERVICES

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ISSUED:

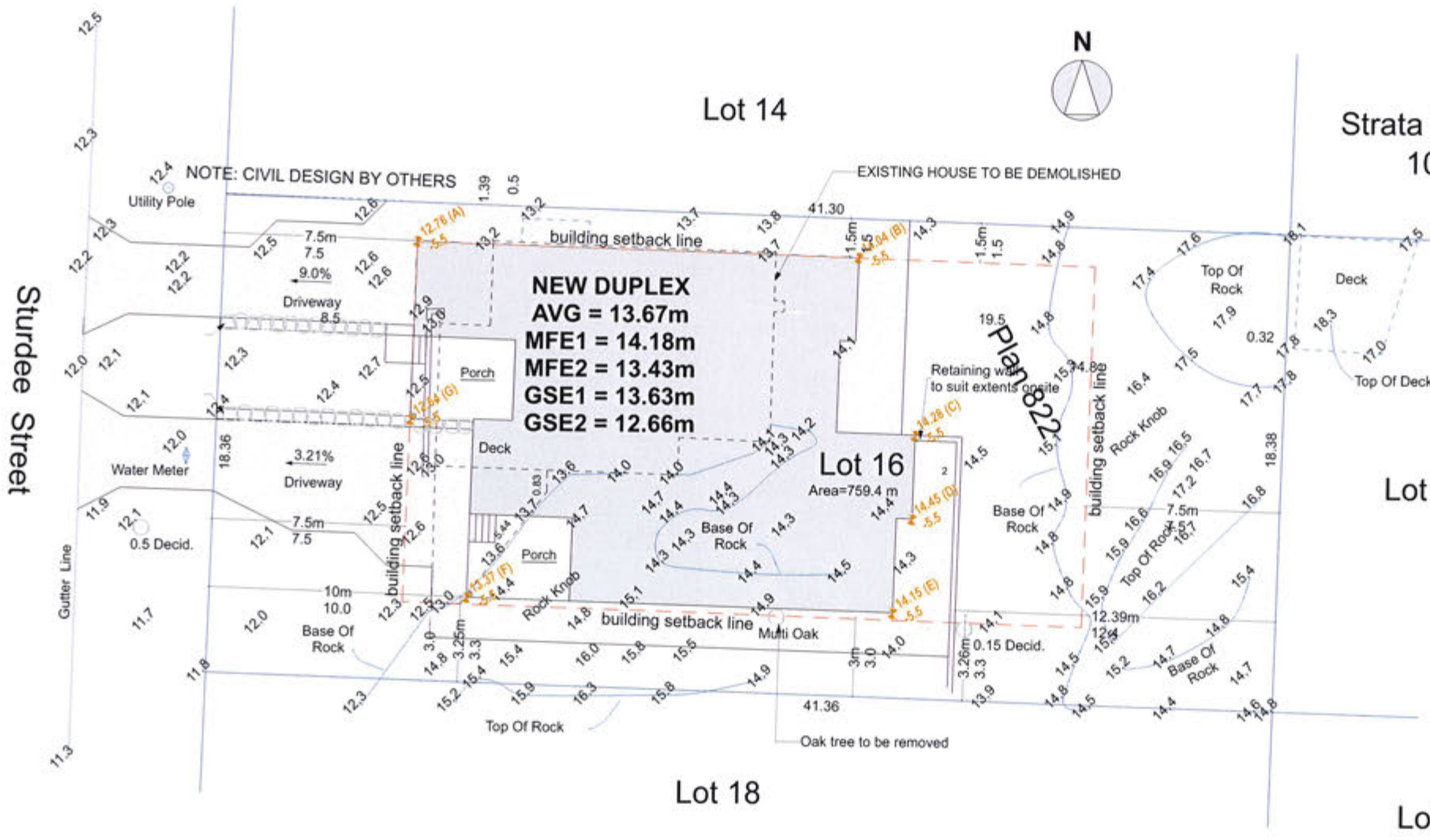
COVER SHEET

A-001

Printed: 2020-02-17

AVERAGE GRADE
A = 12.76m
B = 14.04m
C = 14.28m
D = 14.45m
E = 14.15m
F = 13.37m
G = 12.64m

95.69m/7 = 13.67m



1 SITE PLAN
SCALE: 1:100

Property Information

Project Type: New Duplex

Site Address:

Legal Description:
Lot 16, Suburban Lot 48,Esquimalt District, Plan 822

Zoning: RD-3	Zoning	Proposed Unit1	Proposed Unit2
Setbacks:			
Rear	7.5m	14.85m	12.39m
Left	1.5m	1.5m	/
Right	3m	/	3.25m
Front	7.5m	7.5m	10.5m
Building Height:	7.3m	7.3m	6.55m
Floor Area:			
Main		62.6 m²	62.6 m²
Upper		84.1 m²	84.5 m²
Garage		24.3 m²	24.3 m²
Total		171.0 m²	171.4 m²
Porch		12.17 m²	12.17 m²
Garage Exemption	40m²		
Lot Area:		759.4 m²	
Floor Area Ratio	0.4	0.398	
Building Footprint:		246.0m²	
Lot Coverage:	30%	30%	
Average Grade		13.67m	

Applicable Codes

-BC Building Code Current Edition (2018)

Energy

Compliance path: BCBC 9.36
Requirements applicable to this project: Prescriptive Path

Ventilation

BCBC 9.32

Project Team

DESIGNER:
Adapt Design
1500 Shorncliffe Road Victoria BC Canada
Phone: 250.893.8127
E-mail: josh@adaptdesign.ca
Contact: Josh Collins

BUILDER:
Citta Construction Ltd
Phone: 250.642.4192

SURVEYOR:
Wey Mayenburg Land Surveying
Phone: 250.656.5155

STRUCTURAL ENGINEER:
TBD

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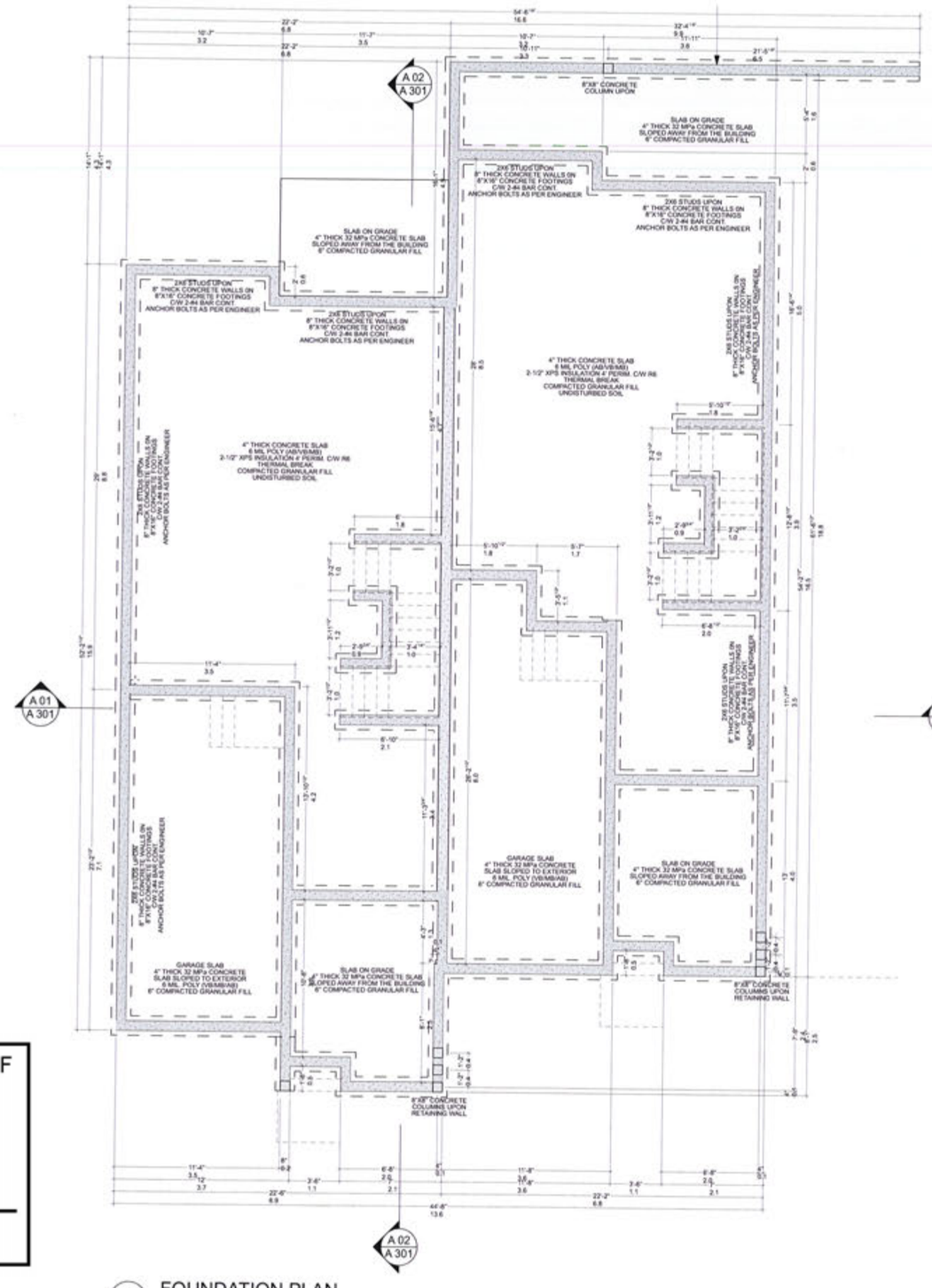
SITE PLAN

A-002

Printed: 2020-02-17



1 FOUNDATION PLAN
SCALE: 1/4" = 1'-0"

THIS IS SCHEDULE A OF
DEVELOPMENT PERMIT
NO. DP000130

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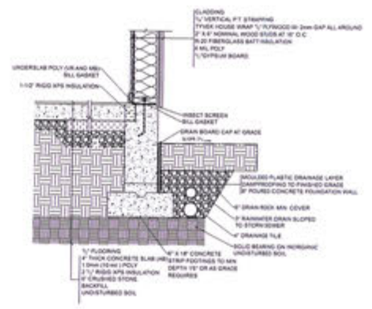
PLAN LEGEND

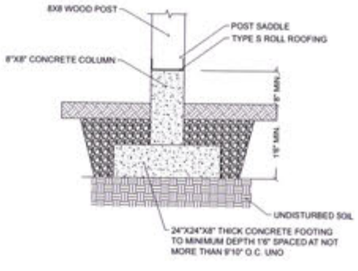
- 2X4 PARTITION WALL
- 2X6 PARTITION WALL
- 2X6 GARAGE WALL
- 2X6 EXTERIOR WALL
- FOUNDATION WALL
- DEMISING WALL
- COLUMN — BEAM — FLOOR DRAIN
- DIMENSION PLACEMENT

ROOM SIZES ARE INTERIOR DIMENSIONS
WIDTH X DEPTH

- HARDWIRED INTERCONNECTED CO DETECTOR
- HARDWIRED INTERCONNECTED IONIC SMOKE DETECTOR
- HARDWIRED PHOTOELECTRIC SMOKE DETECTOR
- BATH FAN: VENTILATION RATE 25 L/S INTERMITTENT
- KITCHEN FAN: VENTILATION RATE 47 L/S INTERMITTENT
- CONTINUOUS PRINCIPAL EXHAUST FAN: VENTILATION RATE AS PER 19.32.3.4 - 9.32.3.5
- F FRESH AIR SUPPLY P PASSIVE AIR INLET



SLAB ON GRADE



COLUMN FOOTING

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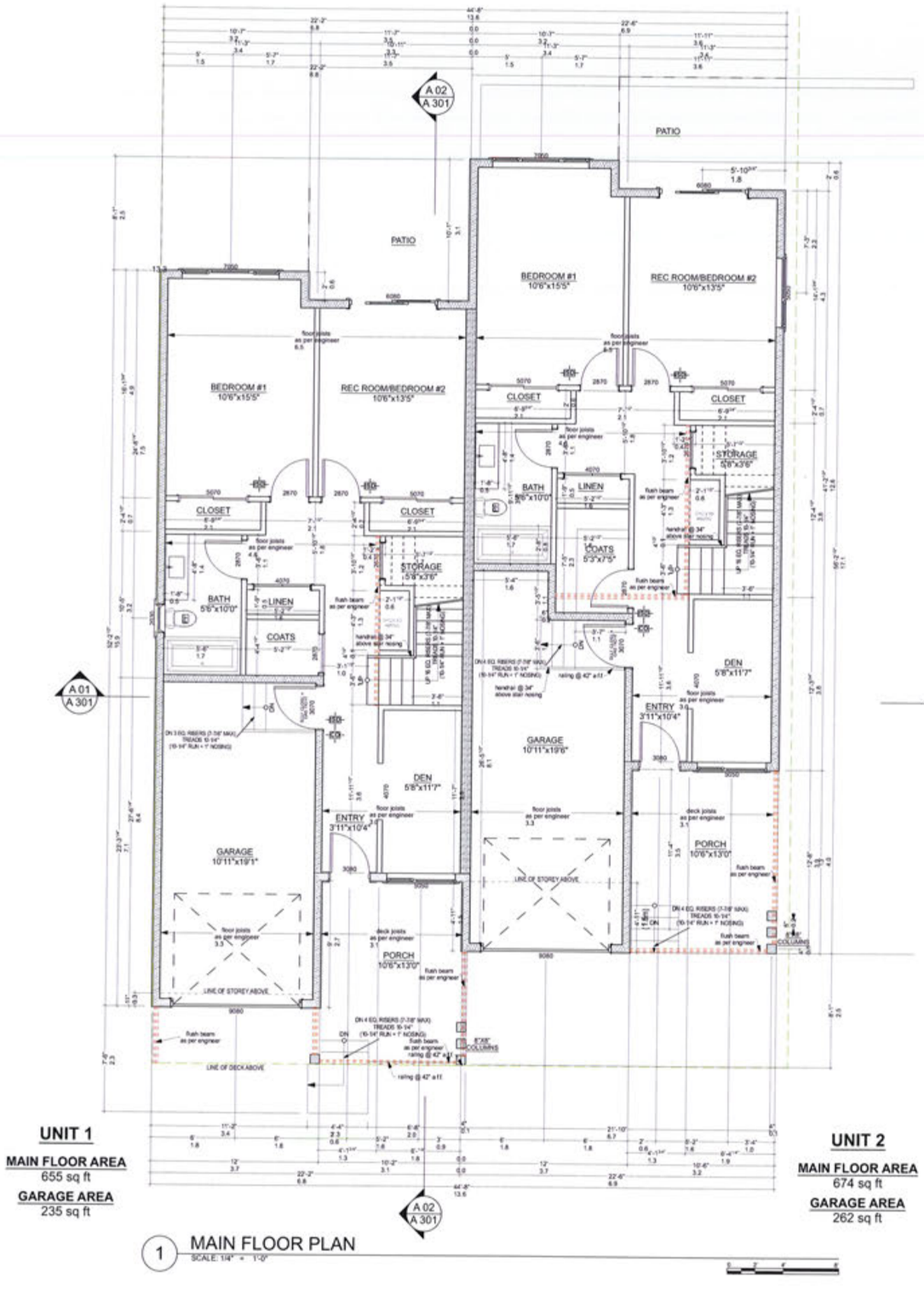
ISSUED:

FOUNDATION PLAN

A 101

Printed: 2020-02-17



1 MAIN FLOOR PLAN
SCALE: 1/4" = 1'-0"

UNIT 1

MAIN FLOOR AREA
655 sq ft

GARAGE AREA
235 sq ft

UNIT 2

MAIN FLOOR AREA
674 sq ft

GARAGE AREA
262 sq ft

PLAN LEGEND

- 2X4 PARTITION WALL
- 2X6 PARTITION WALL
- 2X8 GARAGE WALL
- 2X8 EXTERIOR WALL
- FOUNDATION WALL
- DEMISING WALL
- COLUMN — BEAM — FLOOR DRAIN
- DIMENSION PLACEMENT
- ROOM SIZES ARE INTERIOR DIMENSIONS WIDTH X DEPTH
- HARDWIRED INTERCONNECTED CO DETECTOR
- HARDWIRED INTERCONNECTED IONIC SMOKE DETECTOR
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- CONTINUOUS PRINCIPAL EXHAUST FAN: VENTILATION RATE AS PER TB 02.3.4 - 9.32.3.5
- F FRESH AIR SUPPLY (P) PASSIVE AIR INLET

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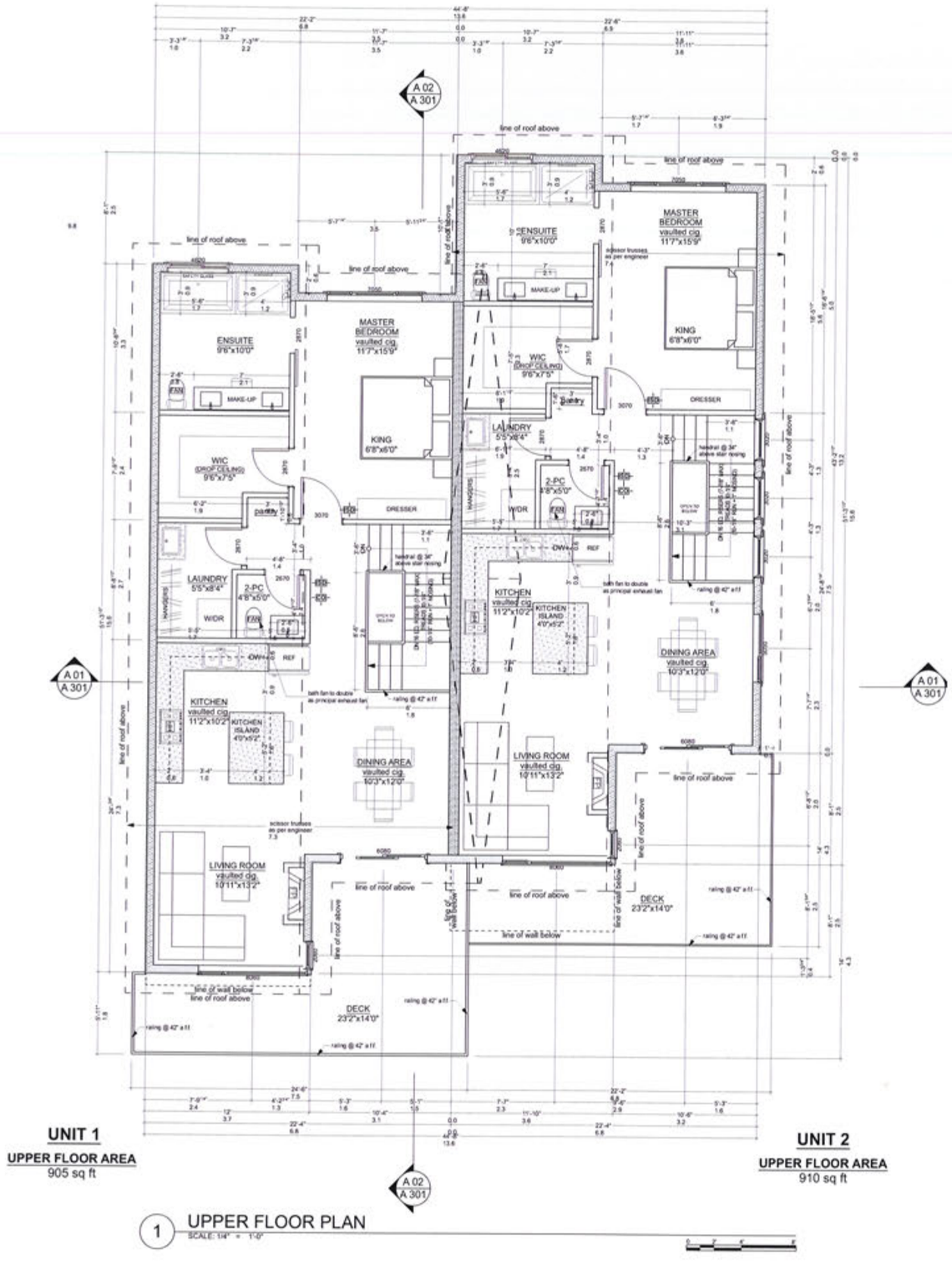
ISSUED:

MAIN FLOOR PLAN

A-102

Printed: 2020-02-17



1 UPPER FLOOR PLAN
SCALE: 1/4" = 1'-0"

PLAN LEGEND

- 2X4 PARTITION WALL
- 2X6 PARTITION WALL
- 2X6 GARAGE WALL
- 2X6 EXTERIOR WALL
- FOUNDATION WALL
- DEMISING WALL
- COLUMN, BEAM, FLOOR DRAIN
- DIMENSION PLACEMENT

ROOM SIZES ARE INTERIOR DIMENSIONS
WIDTH X DEPTH

- HARDWIRED INTERCONNECTED CO DETECTOR
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- KITCHEN FAN: VENTILATION RATE 47 L/S INTERMITTENT
- CONTINUOUS PRINCIPAL EXHAUST FAN: VENTILATION RATE AS PER 79.02.04 - 9.32.3.5
- (F) FRESH AIR SUPPLY (P) PASSIVE AIR INLET

THIS IS SCHEDULE A OF DEVELOPMENT PERMIT NO. DP000130

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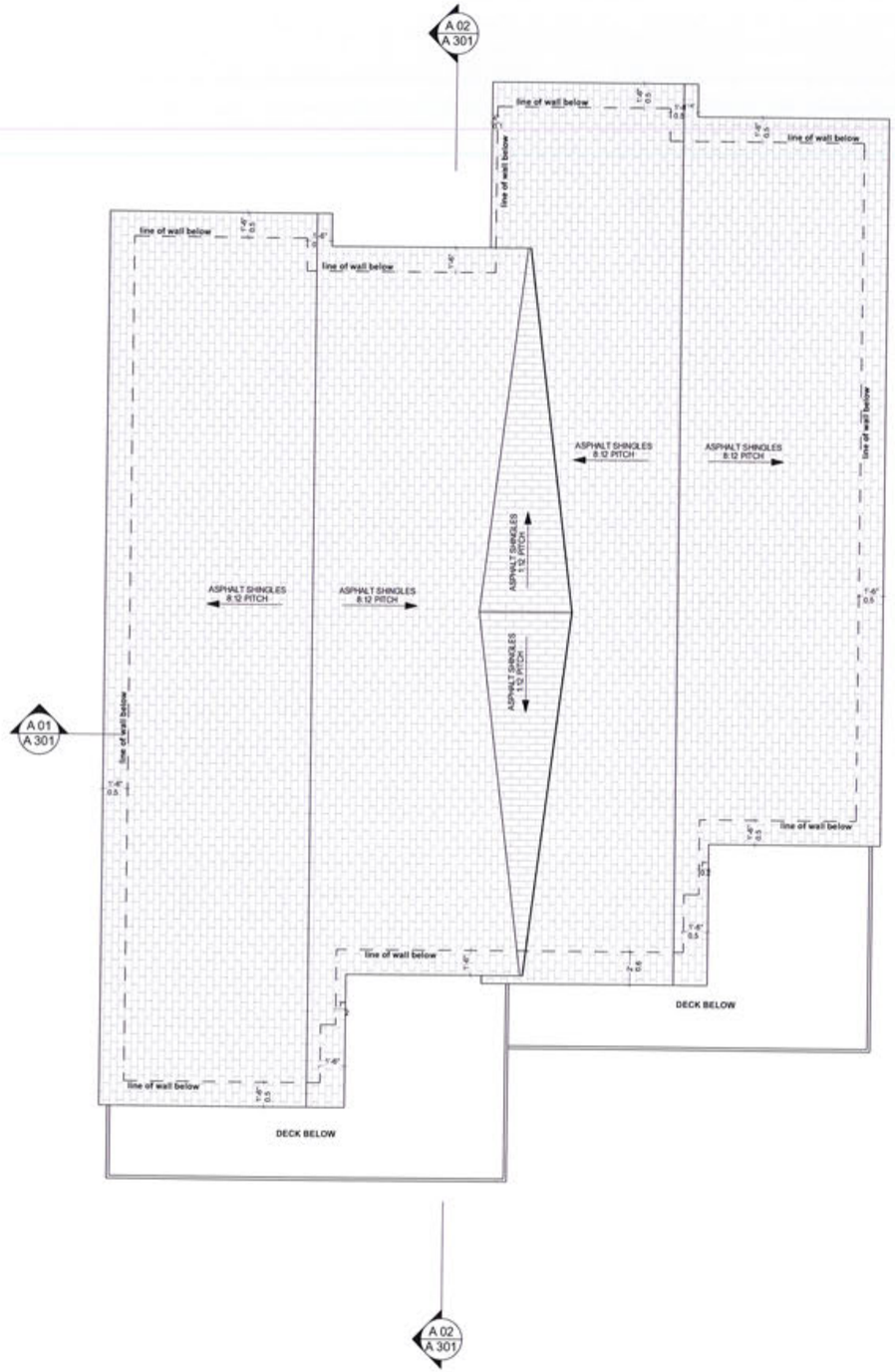
ISSUED:

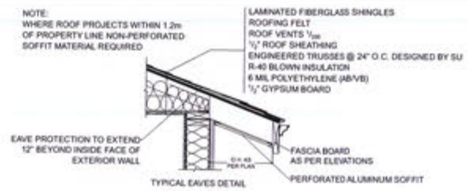
UPPER FLOOR PLAN

A-103

Printed: 2020-02-17



1 ROOF PLAN
SCALE: 1/4" = 1'-0"



- TYPICAL ROOF EAVE

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ISSUED FOR PERMIT

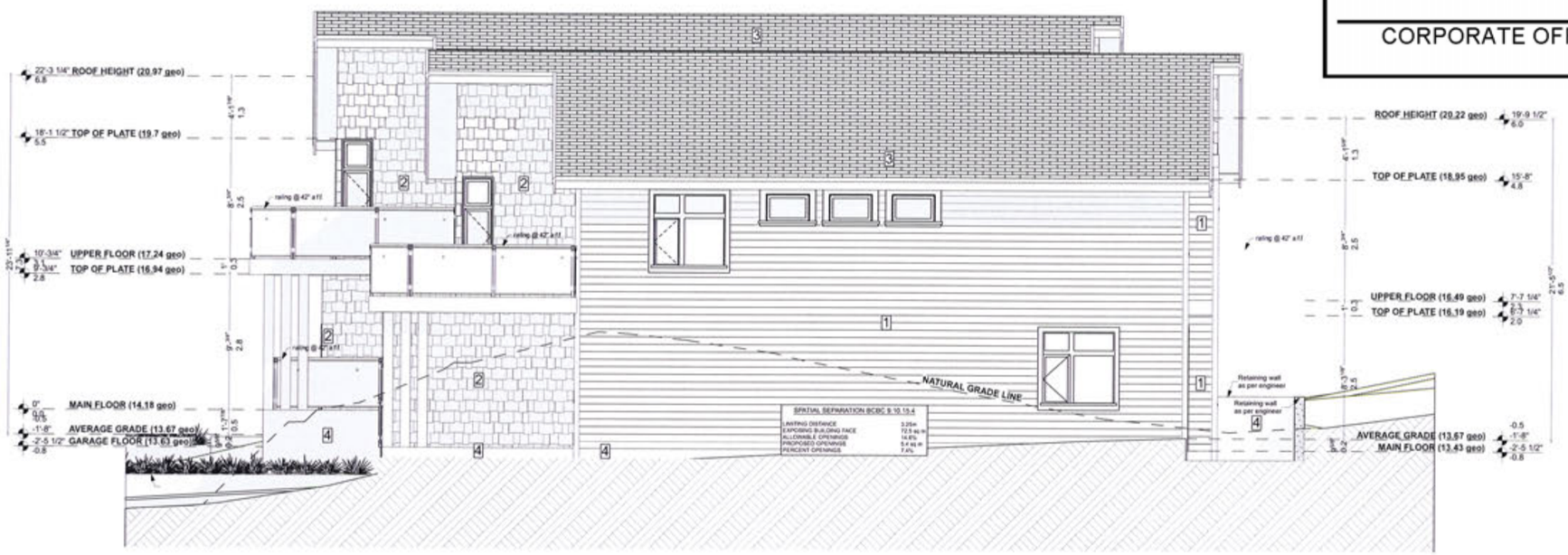
ISSUED:

ROOF PLAN

A-104

Printed: 2020-02-17

1 FRONT ELEVATION
SCALE: 1/4" = 1'-0"



2 RIGHT ELEVATION
SCALE: 1/4" = 1'-0"

EXTERIOR CLADDING LEGEND

1. CEMENT BOARD LAP SIDING PAINTED
2. CEDAR SHINGLE SIDING STAINED
3. ASPHALT ROOFING SHINGLES
4. FINISHED CONCRETE

ADDITIONAL EXTERIOR FINISHINGS

GUTTERS	5" CONTINUOUS ALUMINUM (PREFINISHED)
SOFFIT	CRF 4'X2' ALUMINUM (SOMERSTOLT (PREFINISHED)
FASCIA	VENTED ALUMINUM (PREFINISHED)
WINDOW TRIM	2M CCMS FACED SPF (PAINTED)
DOOR TRIM	2M CCMS FACED SPF TOP/SIDES C/W 2M SLOPED SILL & 2M SUBSILL (PAINTED)
LOUVRE TRIM	2M CCMS FACED SPF (PAINTED)
	2M CCMS FACED SPF (PAINTED)

NOTE
WINDOW OPERATION SHALL BE AS PER OWNERS DIRECTION AND CONFORM TO BCBC 9(2)9(3) REQUIREMENTS. CONTRACTOR TO VERIFY ALL R.O. PRIOR TO ORDERING WDW'S
FLASH OVER ALL WINDOWS, TRANSITIONS, DOOR AND WINDOW HEADERS
ALL COLOURS AS PER OWNER

THIS IS SCHEDULE A OF DEVELOPMENT PERMIT NO. DP000130

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ADAPT DESIGN
1500 Shamcliffe Road Victoria BC Canada
250.893.8127
www.adaptdesign.ca

469 STURDEE ST DUPLEX

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CORP. OF TOWNSHIP OF ESQUIMALT
DEVELOPMENT SERVICES

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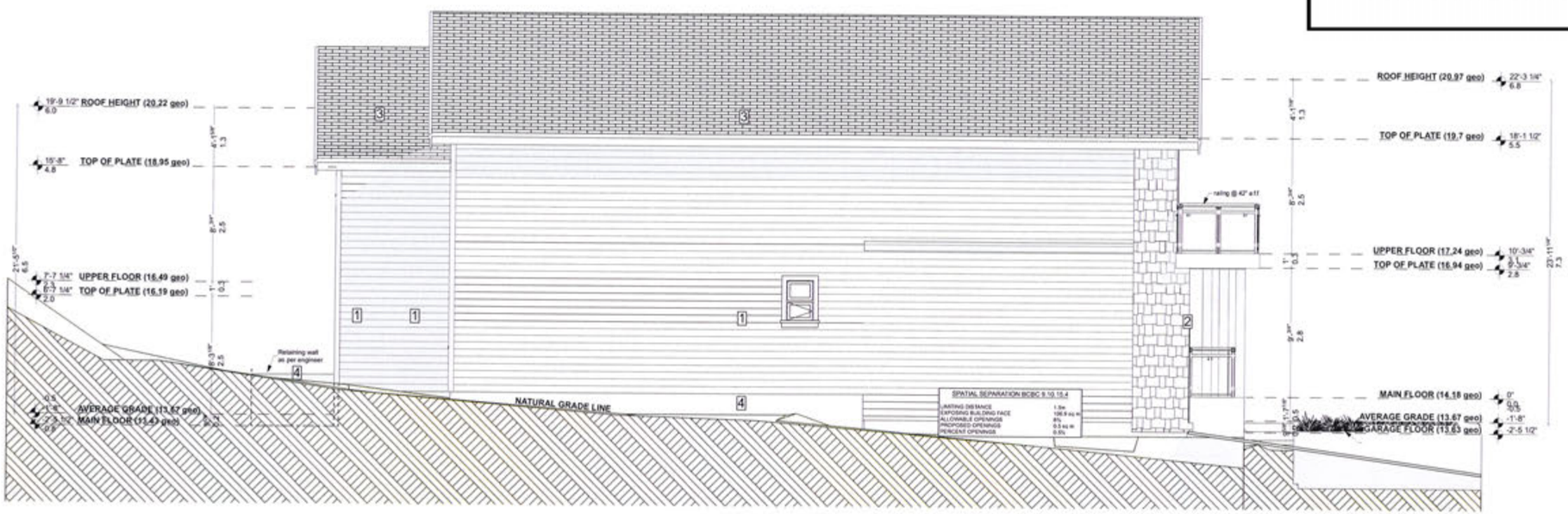
ISSUED:

ELEVATIONS

A-201

Printed: 2020-02-17

3 REAR ELEVATION
SCALE: 1/4" = 1'-0"



4 LEFT ELEVATION
SCALE: 1/4" = 1'-0"

EXTERIOR CLADDING LEGEND

1. CEMENT BOARD LAP SIDING PAINTED
2. CEDAR SHINGLE SIDING STAINED
3. ASPHALT ROOFING SHINGLES
4. FINISHED CONCRETE

ADDITIONAL EXTERIOR FINISHINGS

GUTTERS	5" CONTINUOUS ALUMINUM (PREFINISHED) C/W 4"X3" ALUMINUM DOWNSPOUT (PREFINISHED)
SOFFIT	VENTED ALUMINUM (PREFINISHED)
FASCIA	2X8 CONS FACED SPF (PAINTED)
WINDOW TRIM	2X4 CONS FACED SPF TOP/SIDES C/W 2X4 SLOPED SILL & 2X4 SUBSILL (PAINTED)
DOOR TRIM	2X4 CONS FACED SPF (PAINTED)
CORNER TRIM	1X4 CONS FACED SPF (PAINTED)

NOTE
WINDOW OPERATION SHALL BE AS PER OWNERS DIRECTION AND CONFORM TO BCBC EGRESS REQUIREMENTS. CONTRACTOR TO VERIFY ALL R.O. PRIOR TO ORDERING WORK
FLASH OVER ALL MATERIAL TRANSITIONS. DOOR AND WINDOW HEADERS ALL COLOURS AS PER OWNER

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ISSUED:

ELEVATIONS

A-202

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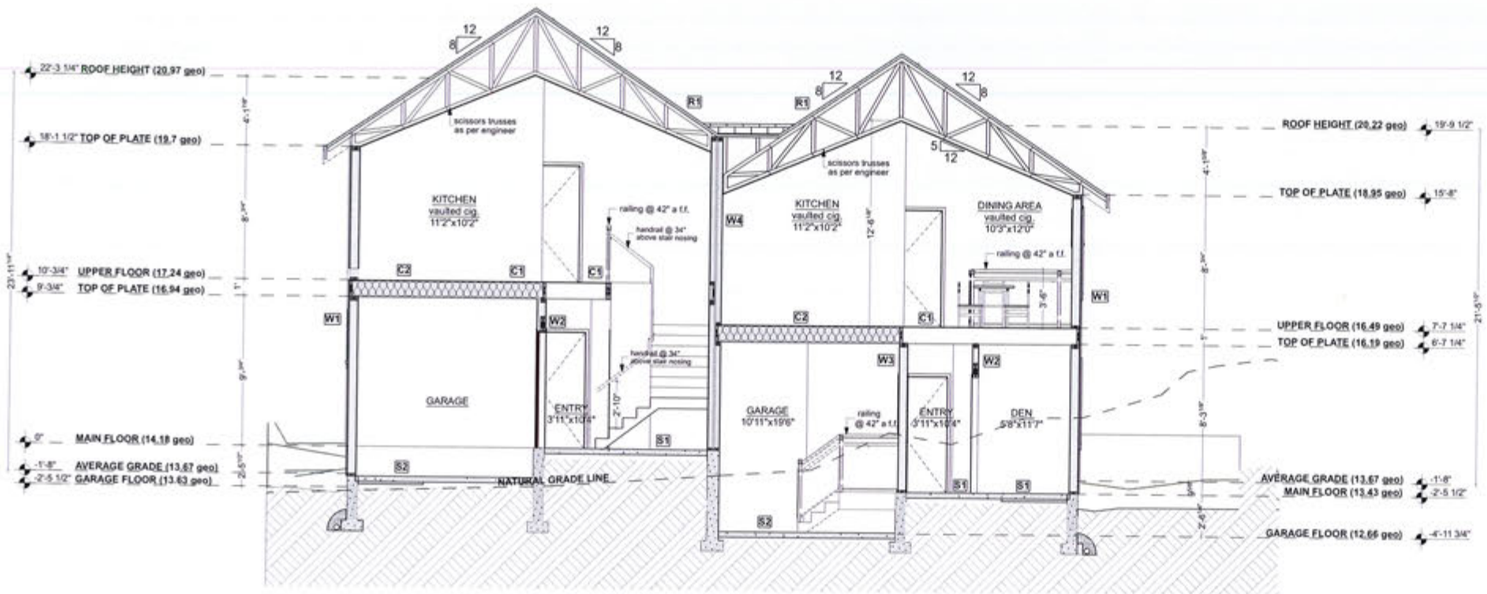

1 CROSS SECTION 01
SCALE: 1/4" = 1'-0"

BCBC 9.36 PRESCRIPTIVE PATH CLIMATE ZONE 4

ASSEMBLY DESCRIPTION	EFF. RSI
TRUSS CEILING	6.91 RSI
CATHEDRAL CEILING & FLAT ROOF	4.67 RSI
EXTERIOR WALLS	2.78 RSI
FLOORS OVER GARAGE/UNHEATED SPACE	4.51 RSI
WALL @ GARAGE	2.62 RSI
HEATED CONCRETE SLABS	2.32 RSI
CONCRETE SLABS	1.96 RSI
FOUNDATION WALL BELOW GRADE	1.99 RSI

EXTERIOR WALL EFFECTIVE THERMAL RESISTANCE

INTERIOR AIR FILM	0.12 RSI
GYPSUM BOARD	0.08 RSI
2X6 STUD	1.19 RSI
7/16" OSB SHEATHING	0.11 RSI
AIR SPACE	0.15 RSI
WOOD SIDING	0.18 RSI
OUTSIDE AIR FILM	0.03 RSI
TOTAL EFF. R VALUE =	1.86 RSI @ 23% WALL AREA
INTERIOR AIR FILM	0.12 RSI
GYPSUM BOARD	0.08 RSI
R20 INSULATION	3.52 RSI
7/16" OSB SHEATHING	0.11 RSI
AIR SPACE	0.15 RSI
WOOD SIDING	0.18 RSI
OUTSIDE AIR FILM	0.03 RSI
TOTAL EFF. R VALUE =	4.19 RSI @ 77% WALL AREA

EFFECTIVE THERMAL RESISTANCE = 3.27 RSI
REQUIRED EFFECTIVE THERMAL RESISTANCE = 2.79 RSI

EXTERIOR WALL EFFECTIVE THERMAL RESISTANCE

INTERIOR AIR FILM	0.12 RSI
GYPSUM BOARD	0.08 RSI
2X6 STUD	1.19 RSI
7/16" OSB SHEATHING	0.11 RSI
AIR SPACE	0.15 RSI
WOOD SIDING	0.18 RSI
OUTSIDE AIR FILM	0.03 RSI
TOTAL EFF. R VALUE =	1.86 RSI @ 23% WALL AREA
INTERIOR AIR FILM	0.12 RSI
GYPSUM BOARD	0.08 RSI
R20 INSULATION	3.52 RSI
7/16" OSB SHEATHING	0.11 RSI
AIR SPACE	0.15 RSI
WOOD SIDING	0.18 RSI
OUTSIDE AIR FILM	0.03 RSI
TOTAL EFF. R VALUE =	4.19 RSI @ 77% WALL AREA

EFFECTIVE THERMAL RESISTANCE = 3.27 RSI
REQUIRED EFFECTIVE THERMAL RESISTANCE = 2.79 RSI

WALL @ GARAGE EFFECTIVE THERMAL RESISTANCE

INTERIOR AIR FILM	0.12 RSI
GYPSUM BOARD	0.08 RSI
POLYETHYLENE	NIL
2X6 STUD	1.19 RSI
GYPSUM BOARD	0.08 RSI
INTERIOR AIR FILM	0.12 RSI
TOTAL EFF. R VALUE =	1.59 RSI @ 23% WALL AREA
INTERIOR AIR FILM	0.12 RSI
GYPSUM BOARD	0.08 RSI
POLYETHYLENE	NIL
R20 INSULATION	3.52 RSI
GYPSUM BOARD	0.08 RSI
INTERIOR AIR FILM	0.12 RSI
TOTAL EFF. R VALUE =	3.92 RSI @ 77% WALL AREA

EFFECTIVE THERMAL RESISTANCE = 2.93 RSI
REQUIRED EFFECTIVE THERMAL RESISTANCE = 2.62 RSI

VAULTED CEILING EFFECTIVE THERMAL RESISTANCE

INTERIOR AIR FILM	0.11 RSI
GYPSUM BOARD	0.08 RSI
2X10 RAFTERS	2.0 RSI
EXTERIOR AIR FILM	0.03 RSI
TOTAL EFF. R VALUE =	2.22 RSI @ 13% CEILING
INTERIOR AIR FILM	0.11 RSI
GYPSUM BOARD	0.08 RSI
R20 BATT INSULATION	3.52 RSI
R12 BATT INSULATION	2.11 RSI
OUTSIDE AIR FILM	0.03 RSI
TOTAL EFF. R VALUE =	5.85 RSI @ 87% CEILING

EFF. THERMAL RESISTANCE = 4.82 RSI
REQUIRED EFF. THERMAL RESISTANCE = 4.67 RSI

BASEMENT SLAB ABOVE FROST LINE EFFECTIVE THERMAL RESISTANCE

INTERIOR AIR FILM (FLOOR)	0.16 RSI
CONCRETE SLAB	0.04 RSI
RADIANT IN FLOOR HEATING	N/A
2-1/2" XPS	2.15 RSI

EFF. THERMAL INSULATION = 2.35 RSI (R13.3)
REQUIRED EFF. THERMAL INSULATION = 1.96 RSI (R13.2)

BASEMENT HEATED FLOOR EFFECTIVE THERMAL RESISTANCE

INTERIOR AIR FILM (FLOOR)	0.16 RSI
CONCRETE SLAB	0.04 RSI
RADIANT IN FLOOR HEATING	N/A
2-1/2" XPS	2.15 RSI

EFF. THERMAL RESISTANCE = 2.35 RSI
REQUIRED EFF. THERMAL RESISTANCE = 2.32 RSI

TRUSS ROOF EFFECTIVE THERMAL RESISTANCE

INTERIOR AIR FILM	0.11 RSI
GYPSUM BOARD	0.08 RSI
3-1/2" BOTTOM CHORD	0.76 RSI
OUTSIDE AIR FILM	0.03 RSI
TOTAL EFF. R VALUE @ 11% =	0.98 RSI
INTERIOR AIR FILM	0.11 RSI
GYPSUM BOARD	0.08 RSI
3-1/2" BLOWN INSULATION	1.67 RSI
OUTSIDE AIR FILM	0.03 RSI
TOTAL EFF. R VALUE @ 89% =	1.89 RSI

EFFECTIVE THERMAL INSULATION @ CAVITY = 1.71 RSI
1/2" BLOWN FG ABOVE FRAMING = 5.63 RSI

TOTAL EFF. THERMAL RESISTANCE = 7.34 RSI
REQUIRED EFF. THERMAL RESISTANCE = 6.91 RSI

THERMAL BREAK BETWEEN SLAB AND FOUNDATION WALL EFFECTIVE INSULATION

1-1/2" XPS	1.32 RSI

50% REQUIRED HEATED CONCRETE SLAB 2.35 RSI X 50% = 1.18 RSI REQUIRED

EFF. THERMAL INSULATION = 1.32 RSI
REQUIRED EFF. THERMAL INSULATION = 1.18 RSI

CRAWLSPACE FOUNDATION WALLS EFFECTIVE INSULATION

INTERIOR AIR FILM (FLOOR)	0.16 RSI
R12 FOIL BACK INSULATION	0.04 RSI
8" THICK CONCRETE WALL	2.11 RSI

EFF. THERMAL RESISTANCE = 2.31 RSI
REQUIRED EFF. THERMAL RESISTANCE = 1.99 RSI

FLOOR OVER UNHEATED SPACE EFFECTIVE THERMAL RESISTANCE

INTERIOR AIR FILM	0.11 RSI
FLOORING	0.12 RSI
1/2" SHEATHING	0.16 RSI
2X10 JOISTS	2.0 RSI
EXTERIOR AIR FILM	0.03 RSI
WOOD SOFFIT	0.12 RSI
TOTAL EFF. R VALUE =	2.54 RSI @ 13% FLOOR AREA
INTERIOR AIR FILM	0.11 RSI
FLOORING	0.12 RSI
1/2" SHEATHING	0.16 RSI
R28 BATT INSULATION	4.93 RSI
EXTERIOR AIR FILM	0.03 RSI
WOOD SOFFIT	0.12 RSI
TOTAL EFF. R VALUE =	5.47 RSI @ 87% FLOOR AREA

EFF. THERMAL RESISTANCE = 4.75 RSI
REQUIRED EFF. THERMAL RESISTANCE = 4.67 RSI

FOUNDATION WALL BELOW GRADE INTERIOR FURRING WALL

200mm CONCRETE	0.08 RSI
1/2" AIR SPACE	0.16 RSI
2X4 @ 24" OC FRAMING (13%)	0.76 RSI
R12 FG BATTS (87%)	2.11 RSI
1/2" GYPSUM BOARD	0.08 RSI
INTERIOR AIR FILM	0.12 RSI

ACTUAL EFF. THERMAL INSULATION = 2.22 RSI
REQUIRED EFF. THERMAL INSULATION MIN. = 1.99 RSI

FOUNDATION WALL BELOW GRADE EXTERIOR INSULATION

200mm CONCRETE	0.08 RSI
2-1/2" XPS CONTINUOUS INSULATION	2.15 RSI
INTERIOR AIR FILM	0.12 RSI

ACTUAL EFF. THERMAL RESISTANCE = 2.35 RSI
REQUIRED EFF. THERMAL RESISTANCE MIN. = 1.99 RSI

FLOORS OVER GARAGE EFFECTIVE THERMAL RESISTANCE

INTERIOR AIR FILM	0.16 RSI
WOOD FLOORING	0.12 RSI
SUB FLOOR	O.16 RSI
R28 INSULATION	4.93 RSI
GYPSUM BOARD	0.08 RSI
INTERIOR AIR FILM	0.11 RSI
TOTAL EFF. R VALUE =	5.56 RSI @ 87%
INTERIOR AIR FILM	0.16 RSI
WOOD FLOORING	0.12 RSI
SUB FLOOR	0.16 RSI
2X10 FLOOR JOISTS	1.99 RSI
GYPSUM BOARD	0.08 RSI
INTERIOR AIR FILM	0.03 RSI
TOTAL EFF. R VALUE =	2.46 RSI @ 13%

EFF. THERMAL RESISTANCE = 4.77 RSI
REQUIRED EFF. THERMAL RESISTANCE > 4.51 RSI

SECTION LEGEND

CEILING TYPES

C1 - INTERIOR FLOOR
FINISHED FLOORING
¾" T&G PLYWOOD
FLOOR JOISTS AS PER ENGINEER
CROSS BREDGING
½" GYPSUM BOARD PAINTED

C2 - GARAGE CEILING
FINISHED FLOORING
¾" T&G PLYWOOD
FLOOR JOISTS AS PER ENGINEER
CROSS BREDGING
R28 BATT INSULATION
½" GYPSUM BOARD PAINTED

C3 - DECK (NOT SHOWN)
DECKING MEMBRANE
¾" T&G PLYWOOD
FLOOR JOISTS AS PER ENGINEER
CROSS BREDGING
PERFORATED ALUMINUM SOFFIT

ROOF TYPES

R1 - TRUSS ROOF
ASPHALT ROOFING SHINGLES
1/2" PLYWOOD C/W H CLIPS
TRUSSES AS PER MANUFACTURER
R28 BLOWN CELLULOSE INSULATION
6 MIL. POLY (AB/VB)
½" GYPSUM BOARD PAINTED
ROOF VENTED 1:150

SLAB TYPES

S1 - FLOOR SLAB
4" THICK CONCRETE SLAB
6 MIL. POLY
2-1/2" XPS RIGID INSULATION 4' PERIMETER
2" THERMAL BREAK @ SLAB EDGE
COMPACTED ¾" MINUS
UNDISTURBED SOIL

S2 - GARAGE SLAB
4" THICK CONCRETE SLAB 32 MPa
6 MIL. POLY
COMPACTED ¾" MINUS
UNDISTURBED SOIL

WALL TYPES

W1 - EXTERIOR WALL
CLADDING AS PER ELEVATIONS
¾" P.T. STRAPPING FASTENED TO FRAMING
TYVEK HOUSE WRAP (MB)
7/16" OSB SHEATHING OR AS PER ENGINEER
2"X6" STUDS @ 16" O.C.
R-19 (COMPRESSED) BATT INSULATION
6 MIL. POLY. (AB/VB)
½" GYPSUM BOARD PAINTED

W2 - INTERIOR WALL
½" GYPSUM BOARD PAINTED
2X4 STUDS @ 16" OC
R12 BATT INSULATION (OPTIONAL)
½" GYPSUM BOARD PAINTED

W3 - GARAGE WALL
½" GYPSUM BOARD PAINTED
2X6 STUDS @ 16" OC
R20 BATT INSULATION
½" GYPSUM BOARD PAINTED

W4 - DEMISING WALL 1 HR FRR
⅝" TYPE X GYPSUM BOARD PAINTED
2X4 STUDS @ 16" OC
R12 BATT INSULATION
1" AIR GAP
R12 BATT INSULATION
2X4 STUDS @ 16" OC
⅝" TYPE X GYPSUM BOARD PAINTED

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BCBC 9.32 MECHANICAL VENTILATION REQUIREMENTS INDEPENDENT HRV

PROVIDE SUPPLY AIR THROUGH DEDICATED DUCTING TO EACH BEDROOM & EACH FLOOR LEVEL WITHOUT A BEDROOM

HRV DRAWS EXHAUST AIR, THROUGH DEDICATED DUCTING, ONE OF WHICH IS ATLEAST 2M ABOVE THE FLOOR LEVEL OF THE UPPERMOST FLOOR LEVEL

THE CAPACITY OF THE HRV IS TO BE NO LESS THAN THE AIR FLOW RATE AS PER BCBC 19.32.3.5

PRINCIPAL EXHAUST FAN AS SHOWN ON PLANS

CONTRACTOR TO SUPPLY BUILDING OFFICIAL WITH MECHANICAL VENTILATION CHECKLIST ON OR PRIOR TO FRAMING INSPECTION

- MECHANICAL VENTILATION REQUIREMENTS

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CROSS SECTION

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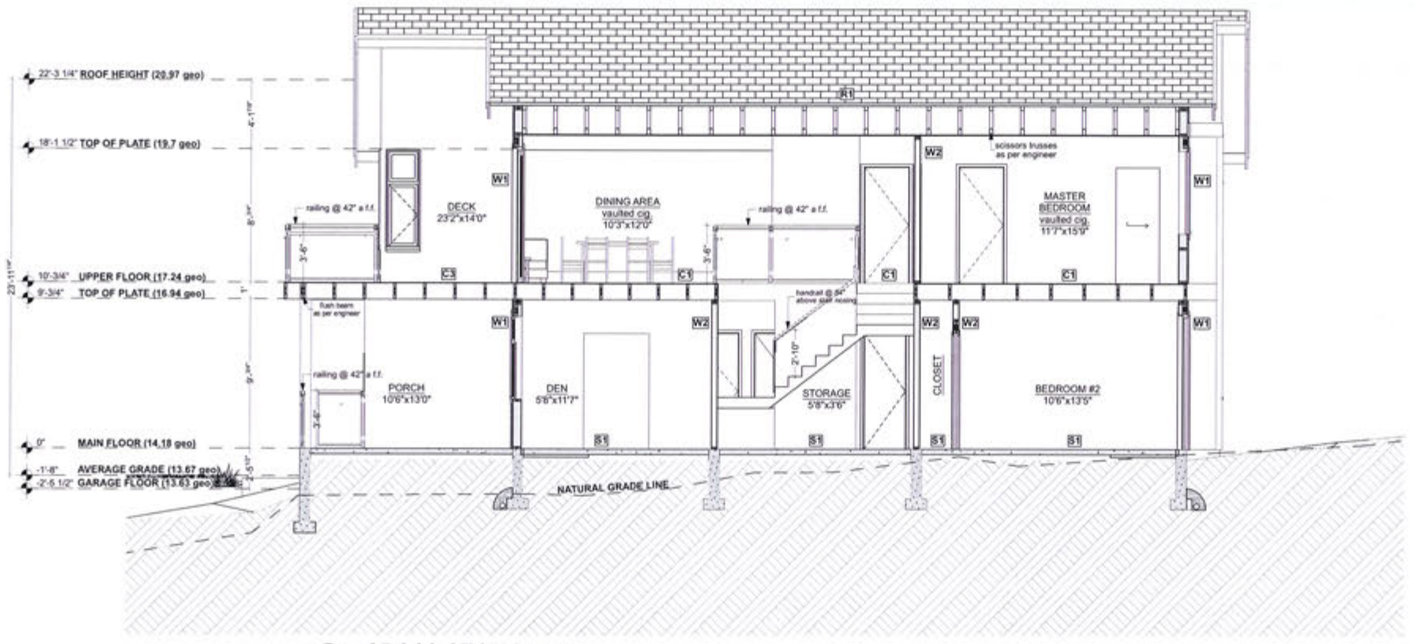

2 CROSS SECTION 02
SCALE: 1/4" = 1'-0"

SECTION LEGEND

CEILING TYPES

C1 - INTERIOR FLOOR
FINISHED FLOORING
¾" T&G PLYWOOD
FLOOR JOISTS AS PER ENGINEER
CROSS BRIDGING
½" GYPSUM BOARD PAINTED

C2 - GARAGE CEILING
FINISHED FLOORING
¾" T&G PLYWOOD
FLOOR JOISTS AS PER ENGINEER
CROSS BRIDGING
R28 BATT INSULATION
½" GYPSUM BOARD PAINTED

C3 - DECK (NOT SHOWN)
DECKING MEMBRANE
¾" T&G PLYWOOD
FLOOR JOISTS AS PER ENGINEER
CROSS BRIDGING
PERFORATED ALUMINUM SOFFIT

ROOF TYPES

R1 - TRUSS ROOF
ASPHALT ROOFING SHINGLES
1/2" PLYWOOD C/W H CLIPS
TRUSSES AS PER MANUFACTURER
R28 BLOWN CELLULOSE INSULATION
6 MIL POLY (AB/VB)
½" GYPSUM BOARD PAINTED
ROOF VENTED 1:150

SLAB TYPES

S1 - FLOOR SLAB
4" THICK CONCRETE SLAB
6 MIL POLY
2-1/2" XPS RIGID INSULATION 4' PERIMETER
2" THERMAL BREAK @ SLAB EDGE
COMPACTED ¾" MINUS
UNDISTURBED SOIL

S2 - GARAGE SLAB
4" THICK CONCRETE SLAB 32 MPa
6 MIL POLY
COMPACTED ¾" MINUS
UNDISTURBED SOIL

WALL TYPES

W1 - EXTERIOR WALL
CLADDING AS PER ELEVATIONS
¾" P.T. STRAPPING FASTENED TO FRAMING
TYVEK HOUSE WRAP (MB)
7/16" OSB SHEATHING OR AS PER ENGINEER
2"X6" STUDS @ 16" O.C.
R-19 (COMPRESSED) BATT INSULATION
6 MIL POLY (AB/VB)
½" GYPSUM BOARD PAINTED

W2 - INTERIOR WALL
½" GYPSUM BOARD PAINTED
2X4 STUDS @ 16" OC
R12 BATT INSULATION (OPTIONAL)
½" GYPSUM BOARD PAINTED

W3 - GARAGE WALL
½" GYPSUM BOARD PAINTED
2X6 STUDS @ 16" OC
R20 BATT INSULATION
½" GYPSUM BOARD PAINTED

W4 - DEMISING WALL 1 HR FRR
⅝" TYPE X GYPSUM BOARD PAINTED
2X4 STUDS @ 16" OC
R12 BATT INSULATION
1" AIR GAP
R12 BATT INSULATION
2X4 STUDS @ 16" OC
⅝" TYPE X GYPSUM BOARD PAINTED

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CROSS SECTION

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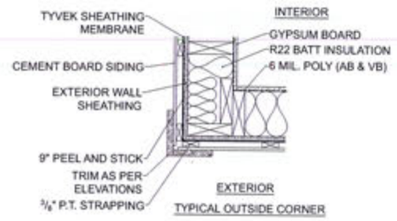
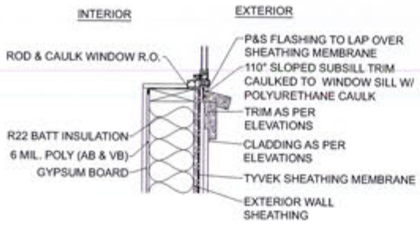
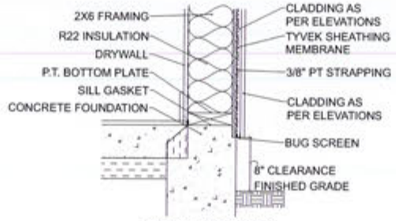


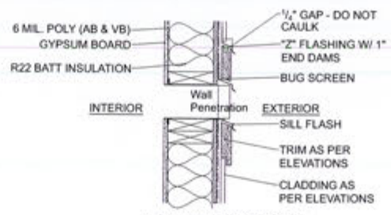
TYPICAL OUTSIDE CORNER



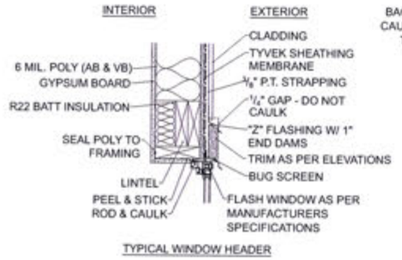
TYPICAL WINDOW SILL



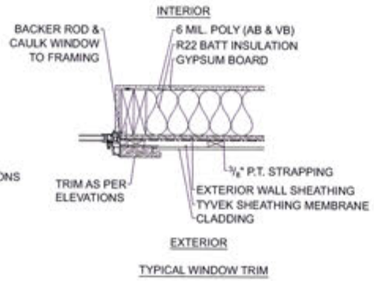
TYPICAL FOUNDATION



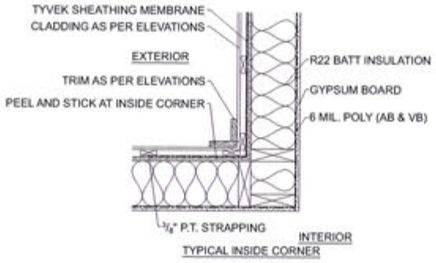
TYPICAL WALL PENETRATION



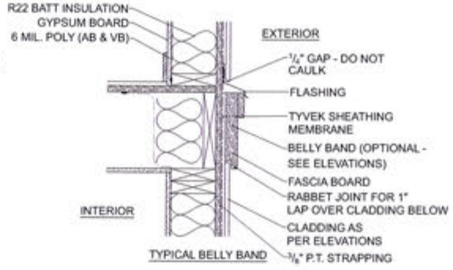
TYPICAL WINDOW HEADER



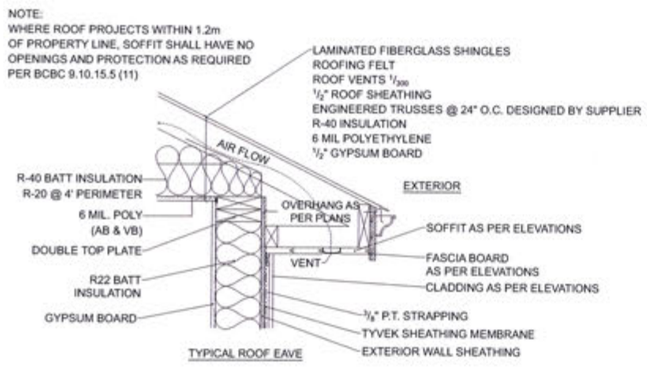
TYPICAL WINDOW TRIM



TYPICAL INSIDE CORNER

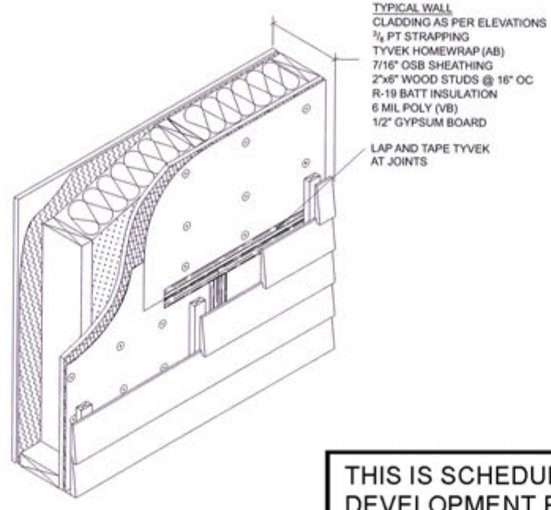


TYPICAL BELLY BAND



TYPICAL ROOF EAVE

NOTE:
THESE ARE 'TYPICAL' CLADDING DETAILS AND DO NOT DETAIL EVERY ASPECT OF THE EXTERIOR CLADDING APPLICATION. FOR MORE INFORMATION REFER TO:
*A REFERENCE GUIDE OF TYPICAL RAINSCREEN WALL & WINDOW DETAILS & THE MANUFACTURERS SPECIFICATIONS



TYPICAL WALL ISOMETRIC

- TYPICAL CLADDING DETAILS

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DETAILS

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LANDSCAPE FEATURES

1. Boulevard tree protected during construction
2. Driveway rainwater directed to swale
3. Path, concrete with gravel edge next to rock for drainage
4. Steps up to rear garden
5. Patio spaces
6. Privacy screen, see sketch
7. Existing rock preserved, invasive weeds to be removed

PLANTING & HARD SURFACES LEGEND

PROPOSED TREES

ORNAMENTAL GRASSES

HEDGE

GROUND COVER SHRUBS

GRASS / SOD

POURED CONCRETE WITH SAW CUT JOINTS

RIVER ROCK & BOULDERS

12.9 (13.8) proposed grade (existing grade)

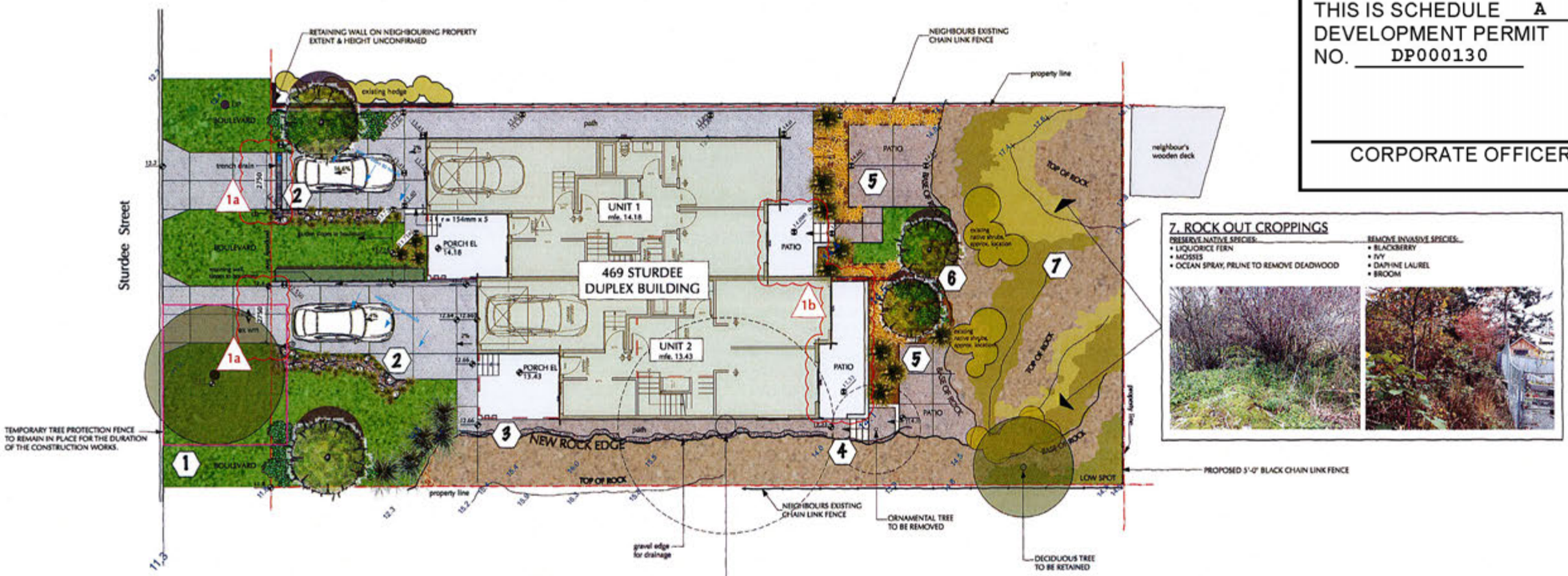
PRIVACY SCREEN

PLANT SPECIES

PLANT SCHEDULE				
ALL PLANT MATERIAL TO BE No. 1 CNLA QUALITY				
SPECIES	COMMON NAME	NURSERY SIZE	QUANTITY	NOTES
TREES				
ACER GRISEUM	PAPERBARK MAPLE	5cm CALIPER / MULTISTEM	2	STAKED
PARROTIA PERSICA "INGES RUBY VASE"	COLUMNAR IRONWOOD	5cm CALIPER	1	STAKED
RHUS TYPHINA "TIGER EYES"	GOLDEN LEAF SUMAC	#20 POT	1	
SHRUBS		APPROXIMATE #	45	
COTONEASTER HORIZONTALIS	WALL SPRAY	#2 POT		
CHOISYA TERNATA	MEXICAN ORANGE BLOSSOM	#1 POT		
CISTUS "GREYSWOOD PINK"	ROCK ROSE	#1 POT		HEDGE
NANDINA DOMESTICA "MOON BAY"	DWARF HEAVENLY BAMBOO	#2 POT		
SPIREA JAPONICA "MAGIC CARPET"	COMPACT SPIREA	#1 POT		
GROUND COVER PLANTS & PERENNIALS		APPROXIMATE #	140	
CAREX MORROWII "ICE DANCE	SEDGE	#1 POT		
KNIPHOFIA MANGO POPSICLE	TORCH LILY, ORANGE FLS	#1 POT		
GERANIUM MACRORRHIZUM	CRANESBILL	#1 POT		
LAVENDULA ANGUSTIFOLIA "HIDCOTE"	LAVENDER	#1 POT		
MISCANTHUS S. "GRACILLIMUS"	MAIDEN GRASS	#2 POT		

PROPOSED PLANT SPECIES AND NUMBERS ARE A GUIDE AND MAY BE MODIFIED AS A RESULT OF FUTURE HOME OWNERS PREFERENCES.

SMALL & ROSSELL
LANDSCAPE ARCHITECTS INC
3012 manser road, sooke, b.c., v9z 0c9
t: 250.642.6967
design@smallandrossell.com
www.smallandrossell.com



PLAN
Scale 1:100

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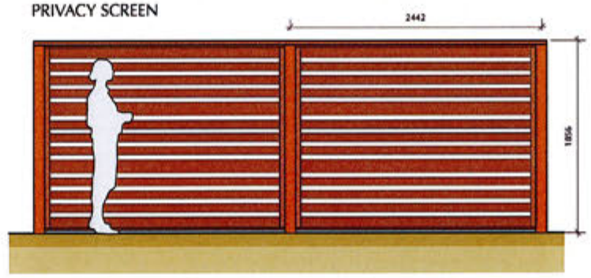
PRIVACY SCREEN



7. ROCK OUT CROPPINGS

PRESERVE NATIVE SPECIES:
- LIQUORICE FERN
- MOSSES
- OCEAN SPRAY, PRUNE TO REMOVE DEADWOOD

REMOVE INVASIVE SPECIES:
- BLACKBERRY
- IVY
- DAPHNE LAUREL
- BROOM

THIS IS SCHEDULE A OF DEVELOPMENT PERMIT NO. DP000130

CORPORATE OFFICER

RECEIVED
FEB 04 2020
CORP. OF TOWNSHIP OF ESQUIMALT
DEVELOPMENT SERVICES

REVISION 1 - 17 January 2020
1a - driveway widths at property line reduced to aggregate 5.5m.
1b - reference to decks above removed.

ISSUED FOR	DATE
■ DEVELOPMENT PERMIT	18 NOVEMBER 2019
□ DISCUSSION	14 NOVEMBER 2019

Sheet Information	
Date	14/11/2019
Drawn	car
Checked	SRLA
Scale	1:100

Title

PROPOSED DUPLEX
469 STURDEE STREET,
ESQUIMALT, BC.

LANDSCAPE CONCEPT PLAN

Revision # R1

Sheet L1

SMALL & ROSSELL LANDSCAPE ARCHITECTS

3012 manzer road
sooke, b.c. v9z 0c9

469 STURDEE STREET, ESQUIMALT, BC.					
ESTIMATE OF PROBABLE COST FOR LANDSCAPE WORK					
ON-SITE LANDSCAPE WORKS					
ITEM #	DESCRIPTION	QUANTITY	UNIT	RATE	AMOUNT
1.0	GROWING MEDIUM				
1.1	GROWING MEDIUM - TREES & SHRUBS	73	sq.m.	$50.00	$3,650.00
1.2	GROWING MEDIUM - GRASS AREAS	48	sq.m.	$30.00	$1,440.00
2.0	PLANTING				
2.1	TREES, 5 CM CALIPER / # 20 POT	4	no.	$450.00	$1,800.00
2.2	SHRUBS	45	no.	$40.00	$1,800.00
2.3	GROUND COVERS / GRASSES	140	no.	$25.00	$3,500.00
2.4	SOD	48	sq.m.	$15.00	$720.00
3.0	IRRIGATION				
3.1	IRRIGATION SYSTEM WITH BACKFLOW PREVENTER, STOP VALVES, SMART CONTROLLER & DRIP TUBE	ITEM	-	-	$8,000.00
4.0	MULCH				
4.1	MULCH	73	sq.m.	$20.00	$1,460.00
5.0	PATIOS / PATHS - POURED CONCRETE	82	sq.m.	$120.00	$9,840.00
6.0	PRIVACY SCREEN	5.6	lin. m.	$250.00	$1,400.00
				TOTAL	$33,610.00
					+ TAXES
	ALL RATES ARE ESTIMATES AND EXCLUDE:				
	TAXES, CONTINGENCIES, ESCALATION,				
	GENERAL CONTRACTORS PROFIT AND OVERHEAD				
	18 November 2019				
	Carole Rossell, MA, BCSLA, CSLA.				
	Small & Rossell Landscape Architects Inc.				

THIS IS SCHEDULE B OF
DEVELOPMENT PERMIT
NO. DP000130

CORPORATE OFFICER

RECEIVED
MAY 07 2020
CORP. OF TOWNSHIP OF ESQUIMALT
DEVELOPMENT SERVICES