



RECEIVED

APR 17 2019

CORP. OF TOWNSHIP
OF ESQUIMALT
DEVELOPMENT SERVICES



COVER SHEET & GENERAL INFO

A-001 COVER SHEET
A-002 SITE PLAN

PLANS

A-101 FOUNDATION PLAN
A-102 BASEMENT AND ROOF PLAN
A-103 MAIN AND UPPER FLOOR PLAN

ELEVATIONS

A-201 ELEVATIONS
A-202 ELEVATIONS

SECTIONS

A-301 SECTIONS

A-501 PERSPECTIVE VIEWS

NEW MODERN DUPLEX

1072/1076 COLVILLE ROAD,
ESQUIMALT, BC

ISSUED FOR
DESIGN
REVIEW

ISSUED:

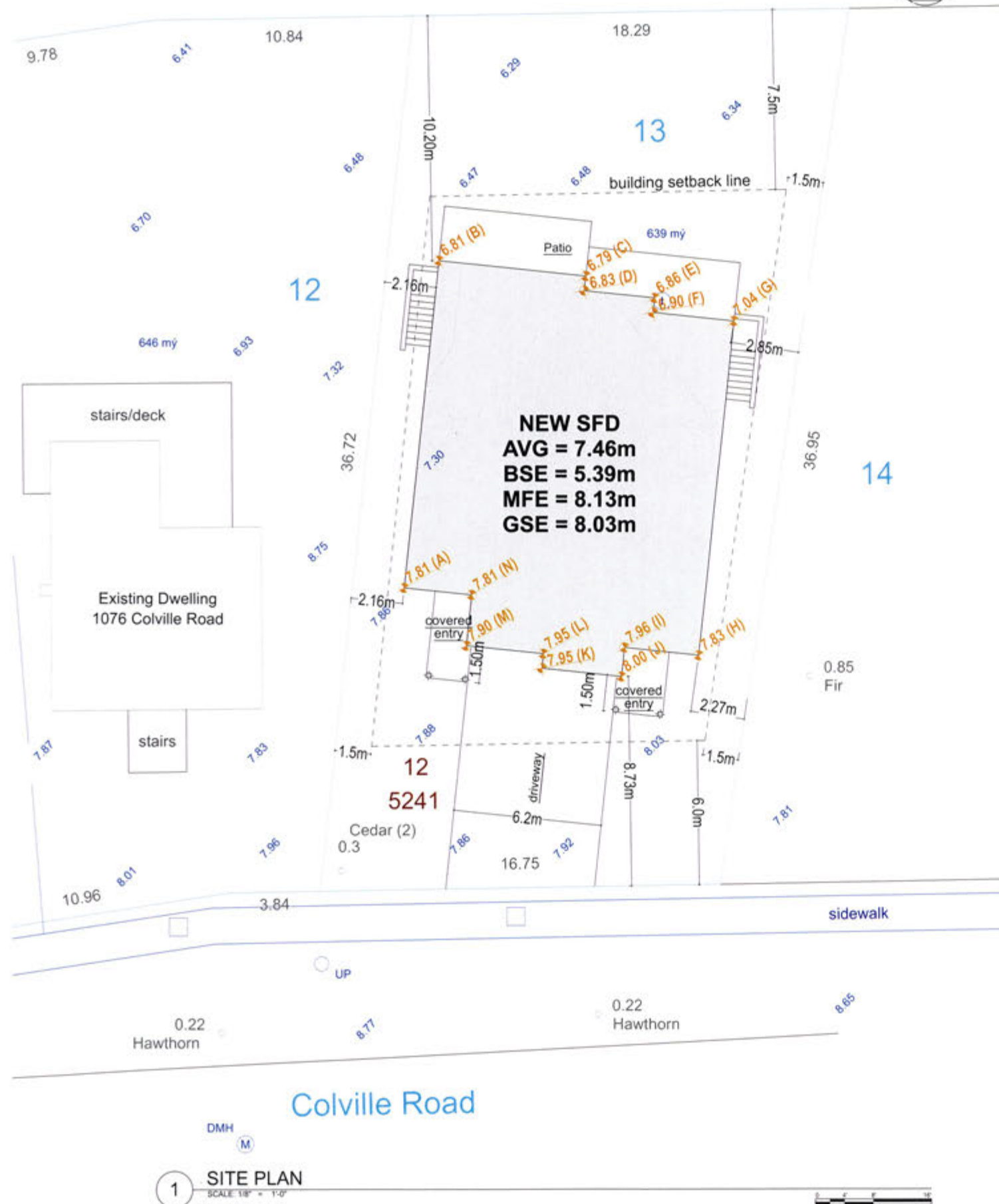
COVER SHEET

A-001

Printed: 2019-04-09

AVERAGE GRADE
 A = 7.81m
 B = 6.81m
 C = 6.79m
 D = 6.83m
 E = 6.86m
 F = 6.90m
 G = 7.04m
 H = 7.83m
 I = 7.96m
 J = 8.00m
 K = 7.95m
 L = 7.95m
 M = 7.90m
 N = 7.81m
 $104.44\text{m}/14 = 7.46\text{m}$

Rem A
Plan VIP70825



Property Information

Project Type: New Duplex

Owner: David Kindrat

Address: 1072 Colville Road, Esquimalt, BC

Legal Description: LOT 11, BLOCK 6, SECTION 10,
ESQUIMALT DISTRICT, PLAN 5240.
PID: 001-478-656

Zoning: Proposed CD

	Zoning	Proposed
<u>Setbacks:</u>		
Rear	7.5m	11.20m
Side	1.5m/1.5m	2.16m/2.22m
Front	7.5m	8.73m
Garage Setback from Front Face	1.5m	1.5m
Height	7.3m	7.24m

Floor Area:

Basement	1258 SF
Main	1362 SF
Garage	546 SF
Upper	1559 SF
Total	<u>4725 SF</u>
Lot Area :	7028.83 SF
Building Footprint :	1908 SF

Lot Coverage	30%	27.14%
Floor Area Ratio	0.4	0.4

Main Floor Elevation	8.13m
Average Grade	7.46m

Applicable Codes

-BC Building Code Current Edition (2018)

Energy

Compliance path: BCBC 9.36
Requirements applicable to this project: Prescriptive Path

Ventilation

BCBC 9.32



ADAPT
DESIGN

1500 Shorncliffe Road Victoria BC Canada
250.893.8127
www.adaptivdesign.ca

COLVILLE
ROAD 1072

Drawings and Specifications as instruments of service are and shall remain the property of Adapt Design. They are not to be used on extensions of the project, or other projects, except by agreement in writing and appropriate compensation to the Designer.

The General Contractor is responsible for confirming and correlating dimensions at the job site. The Designer will not be responsible for construction means, methods, techniques, sequences, or procedures, or for safety precautions and programs in connection with the project.

© Adapt Design.

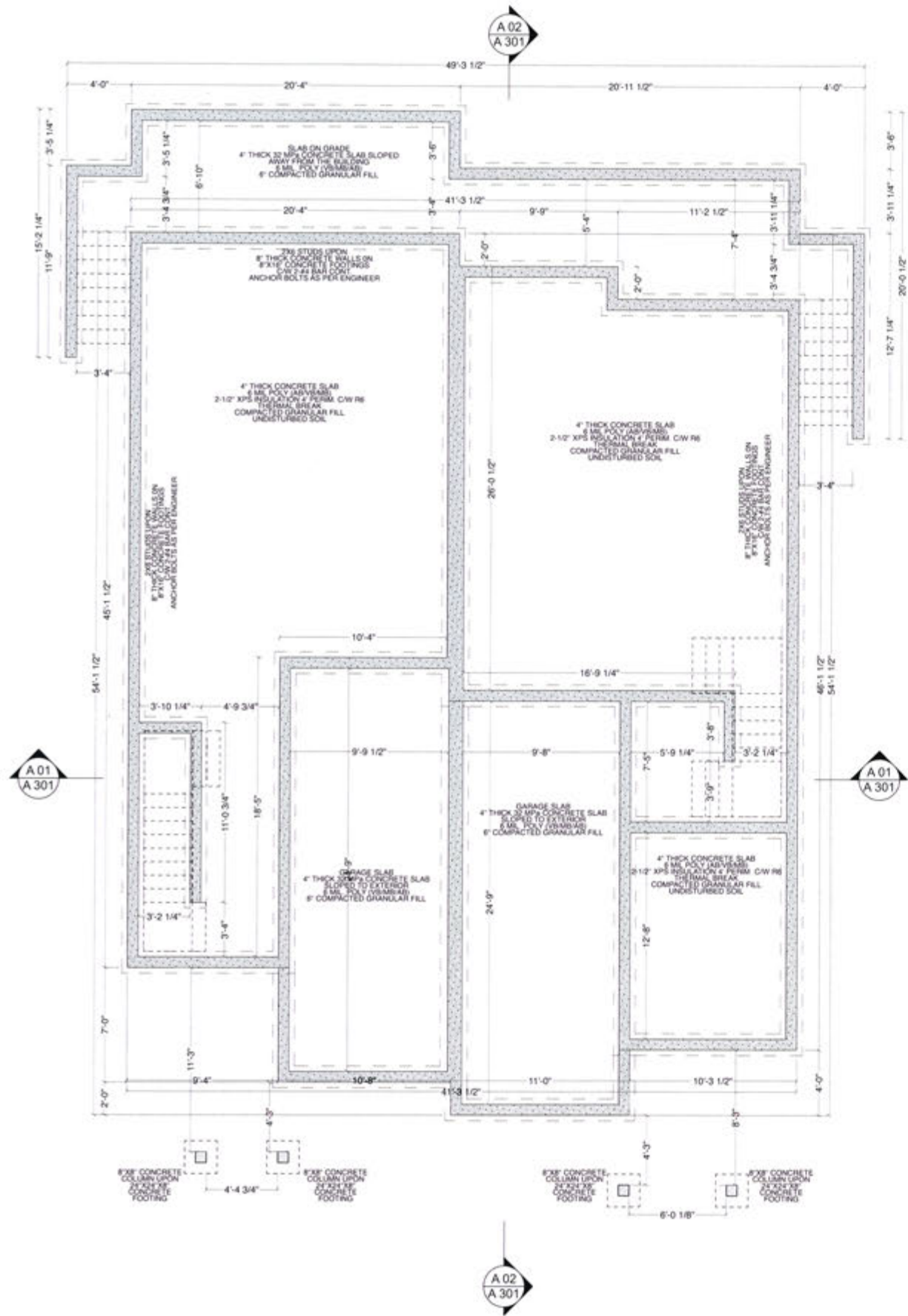
ISSUED FOR
DESIGN
REVIEW

ISSUED

SITE PLAN

A-002

Received: 2019-04-08



1 Foundation Plan
SCALE: 1/4" = 1'-0"

PLAN LEGEND

- EXTERIOR WALL
- PARTITION WALL
- FOUNDATION WALL
- FROST WALL
- BEAM COLUMN FLOOR DRAIN
- DIMENSION PLACEMENT

ROOM SIZES ARE INTERIOR DIMENSIONS
WIDTH X DEPTH

- HARDWIRED INTERCONNECTED CO DETECTOR
- HARDWIRED INTERCONNECTED IONIC SMOKE DETECTOR
- HARDWIRED PHOTOELECTRIC SMOKE DETECTOR
- BATH FAN: VENTILATION RATE 25 L/S INTERMITTENT
- KITCHEN FAN: VENTILATION RATE 47 L/S INTERMITTENT
- CONTINUOUS PRINCIPAL EXHAUST FAN: VENTILATION RATE AS PER T9.32.3.4 - 9.32.3.5
- FRESH AIR SUPPLY PASSIVE AIR INLET

ADAPT DESIGN

1500 Shoncliffe Road Victoria BC Canada
250.893.8127
www.adaptdesign.ca

COLVILLE ROAD 1072

Drawings and Specifications as instruments of service are and shall remain the property of Adapt Design. They are not to be used on extensions of the project, or other projects, except by agreement in writing and appropriate compensation to the Designer.

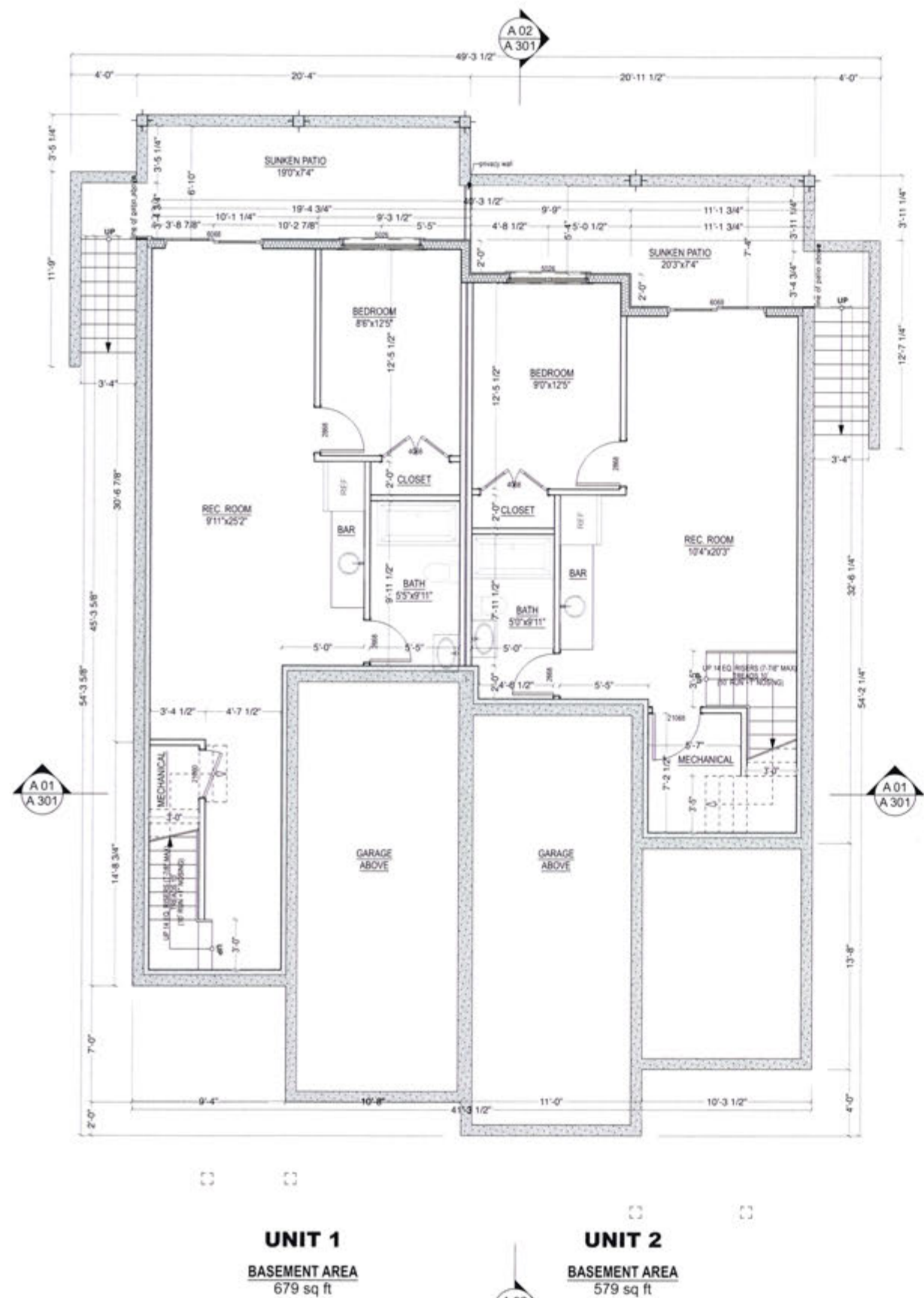
The General Contractor is responsible for confirming and consulting dimensions at the job site. The Designer will not be responsible for construction means, methods, techniques, sequences, or procedures, or for safety precautions and programs in connection with the project.

© Adapt Design

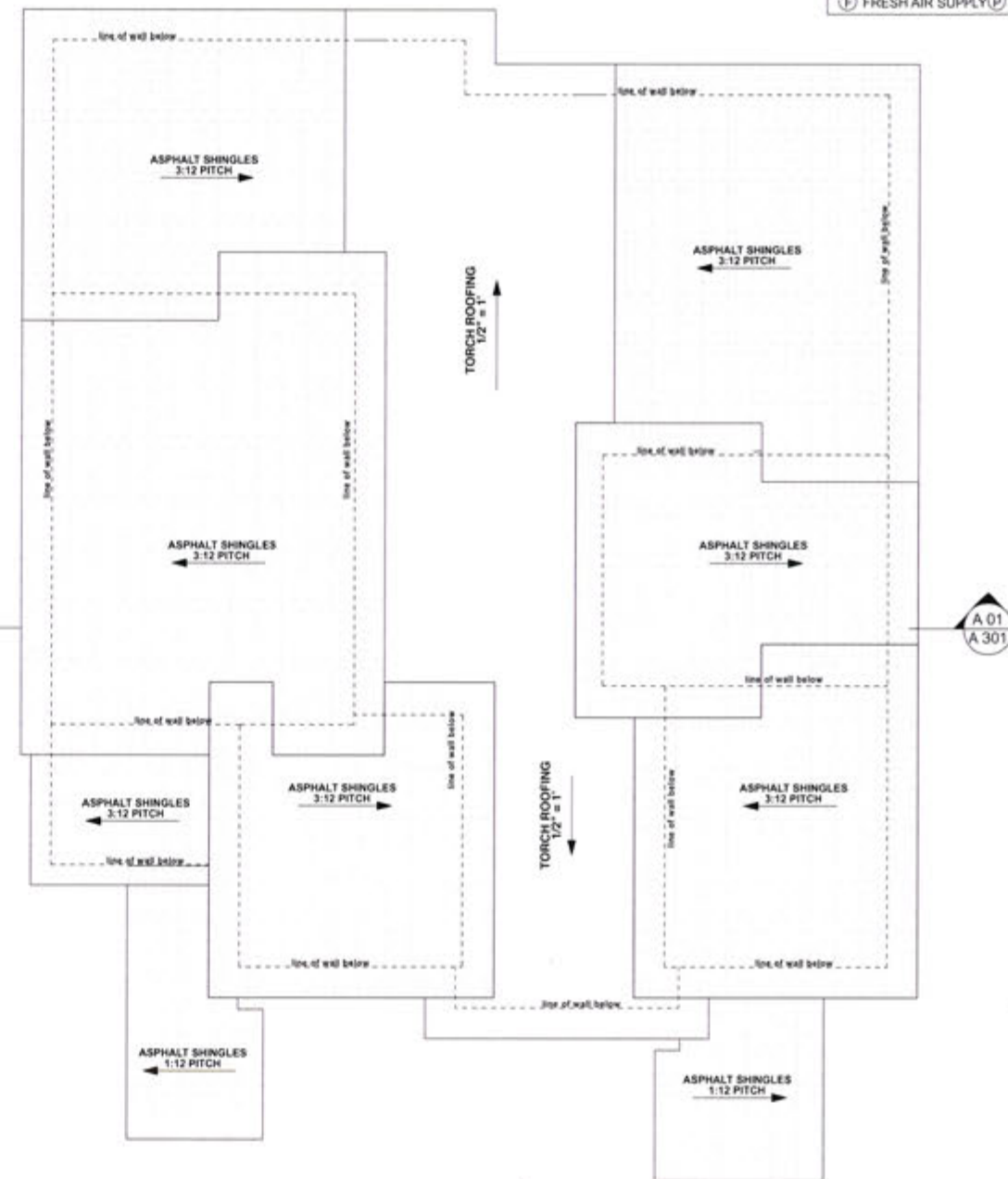


ISSUED FOR DESIGN REVIEW
ISSUED

FOUNDATION PLAN



1 Basement
SCALE: 1/4" = 1'-0"



2 Roof Plan
SCALE: 1/4" = 1'-0"

PLAN LEGEND

	EXTERIOR WALL
	PARTITION WALL
	FOUNDATION WALL
	FROST WALL
	BEAM/COLUMN
	FLOOR DRAIN
	DIMENSION PLACEMENT

ROOM SIZES ARE INTERIOR DIMENSIONS
WIDTH X DEPTH

- HARDWIRED INTERCONNECTED CO DETECTOR
- HARDWIRED INTERCONNECTED IONIC SMOKE DETECTOR
- HARDWIRED PHOTOELECTRIC SMOKE DETECTOR
- BATH FAN: VENTILATION RATE 25 L/S INTERMITTENT
- KITCHEN FAN: VENTILATION RATE 47 L/S INTERMITTENT
- CONTINUOUS PRINCIPAL EXHAUST FAN: VENTILATION RATE AS PER T9.32.3.4 - 9.32.3.5
- FRESH AIR SUPPLY
- PASSIVE AIR INLET

ADAPT
DESIGN

1000 Sherrill Road Victoria BC Canada
250.893.8127
www.adaptdesign.ca

COLVILLE
ROAD 1072

Drawings and Specifications as instruments of service are and shall remain the property of Adapt Design. They are not to be used on extensions of the project, or other projects, except by agreement in writing and appropriate compensation to the Designer.

The General Contractor is responsible for confirming and correlating dimensions at the job site. The Designer will not be responsible for construction means, methods, techniques, sequences, or procedures, or for safety precautions and programs in connection with the project.

© Adapt Design

RECEIVED

APR 17 2019

CORP. OF TOWNSHIP
OF ESQUIMALT
DEVELOPMENT SERVICES

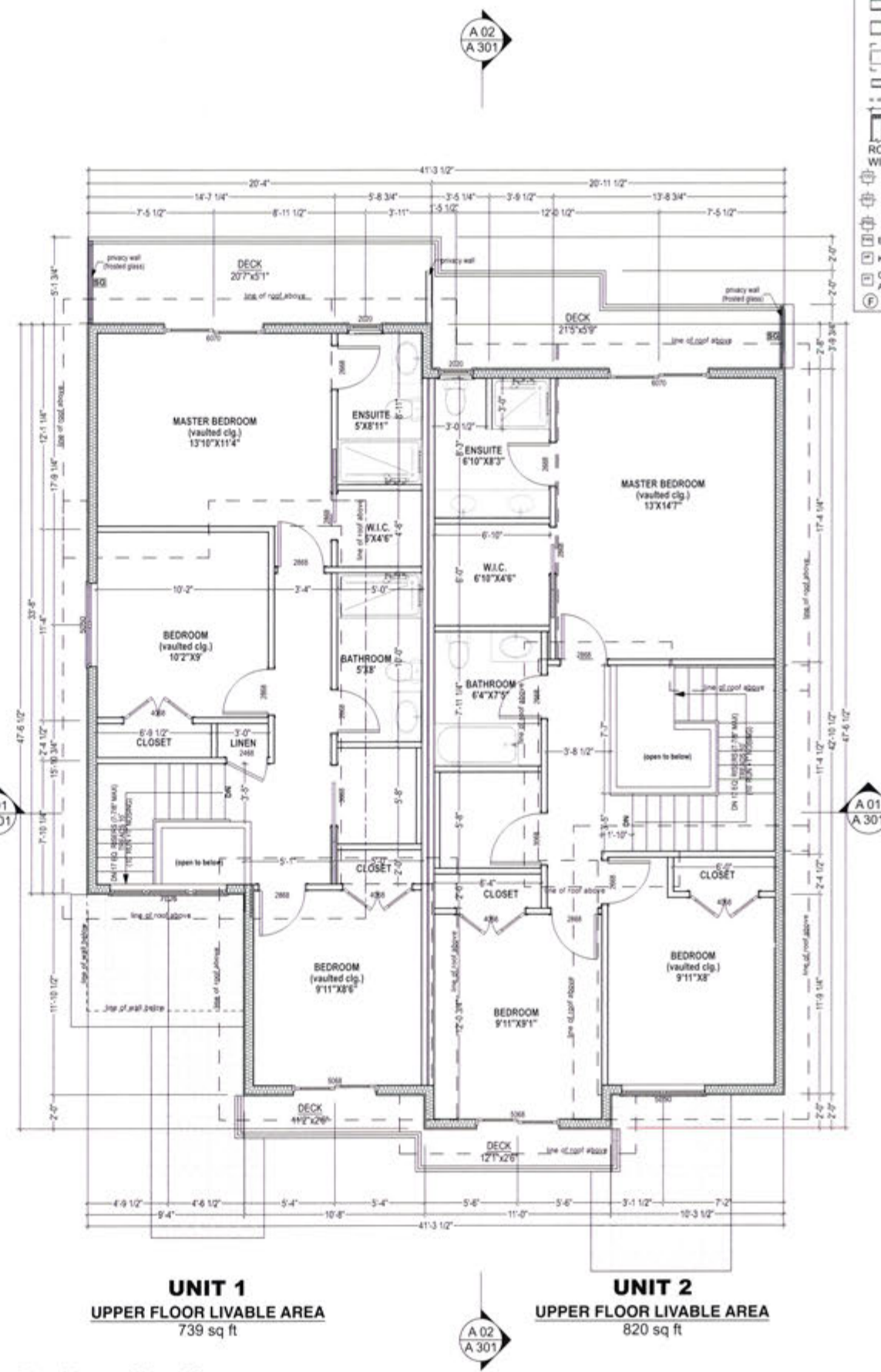
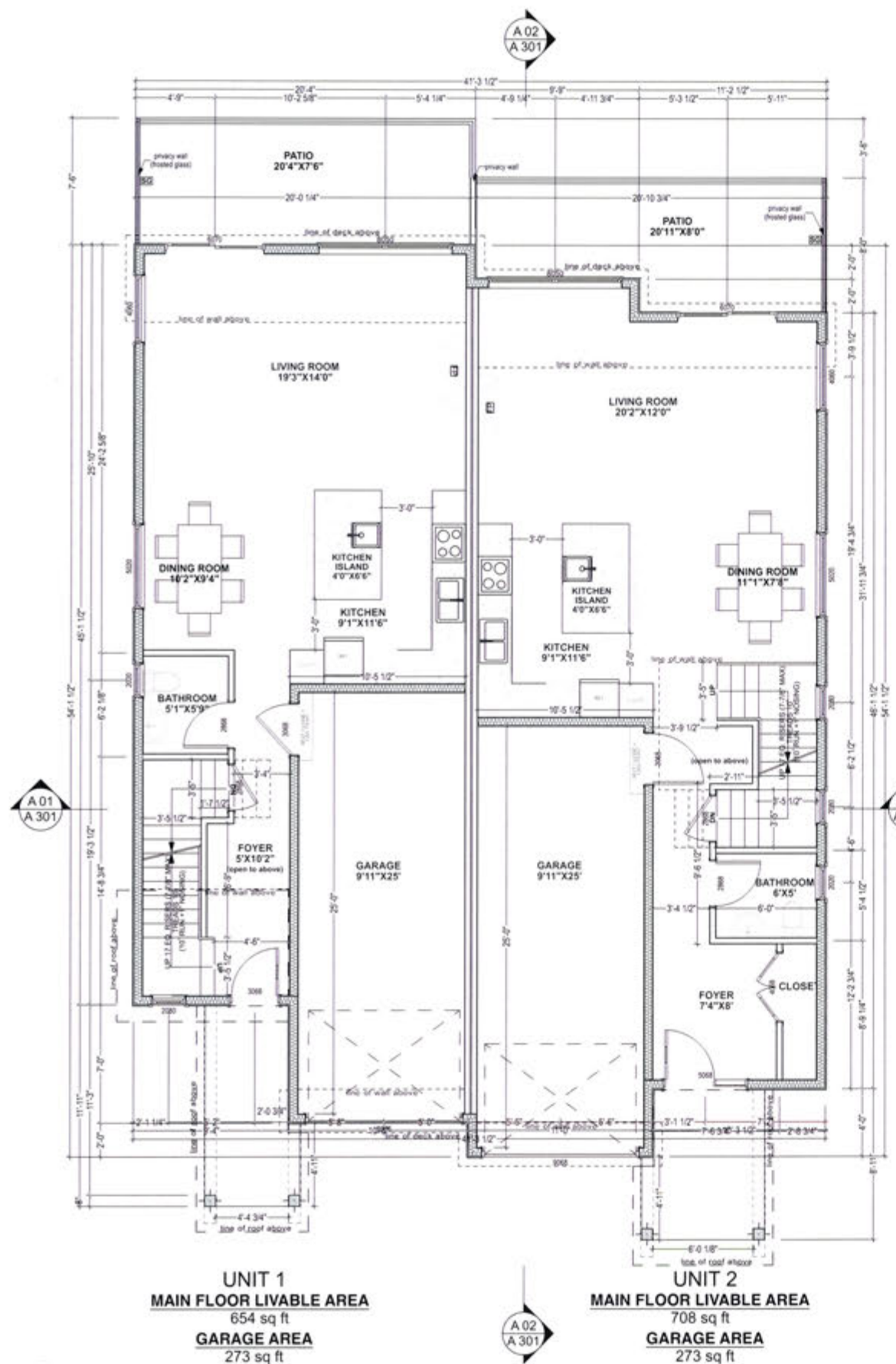
ISSUED FOR
DESIGN
REVIEW

ISSUED:

BASEMENT AND ROOF
PLAN

A-102

Printed: 2019-04-08



- PLAN LEGEND**
- EXTERIOR WALL
 - PARTITION WALL
 - FOUNDATION WALL
 - FROST WALL
 - BEAM/COLUMN
 - FLOOR DRAIN
 - DIMENSION PLACEMENT
- ROOM SIZES ARE INTERIOR DIMENSIONS
WIDTH X DEPTH
- HARDWIRED INTERCONNECTED CO DETECTOR
 - HARDWIRED INTERCONNECTED IONIC SMOKE DETECTOR
 - HARDWIRED PHOTOELECTRIC SMOKE DETECTOR
 - BATH FAN: VENTILATION RATE 25 L/S INTERMITTENT
 - KITCHEN FAN: VENTILATION RATE 47 L/S INTERMITTENT
 - CONTINUOUS PRINCIPAL EXHAUST FAN: VENTILATION RATE AS PER T9.32.3.4 - 9.32.3.5
 - FRESH AIR SUPPLY
 - PASSIVE AIR INLET

ADAPT
DESIGN

1500 Shorncliffe Road Victoria BC Canada
250.893.8127
www.adaptdesign.ca

COLVILLE
ROAD 1072

Drawings and Specifications as instruments of service are and shall remain the property of Adapt Design. They are not to be used on extensions of the project, or other projects, except by agreement in writing and appropriate compensation to the Designer.

The General Contractor is responsible for confirming and correcting dimensions at the job site. The Designer will not be responsible for construction means, methods, techniques, sequences, or procedures, or for safety precautions and programs in connection with the project.

© Adapt Design



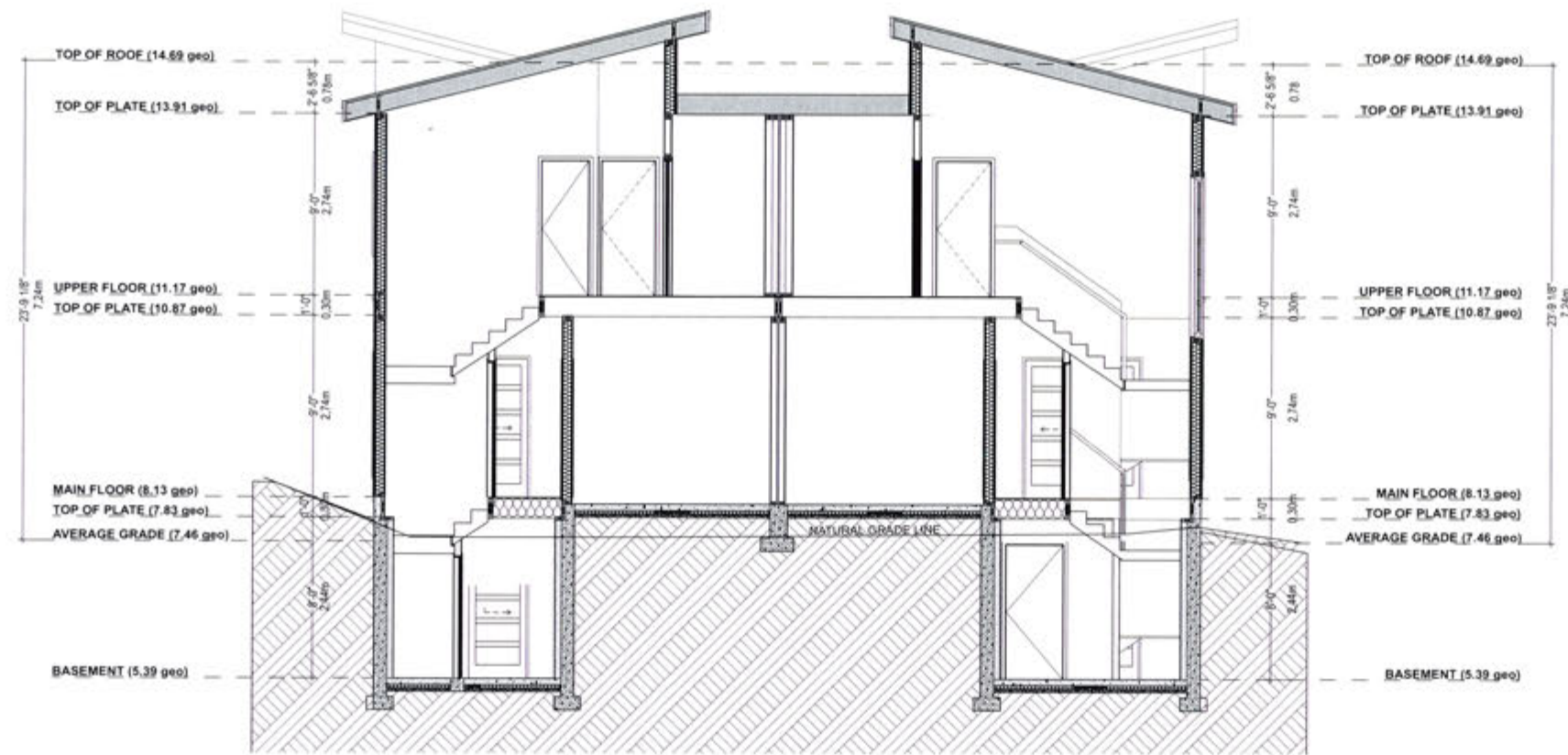
ISSUED FOR
DESIGN
REVIEW

ISSUED:

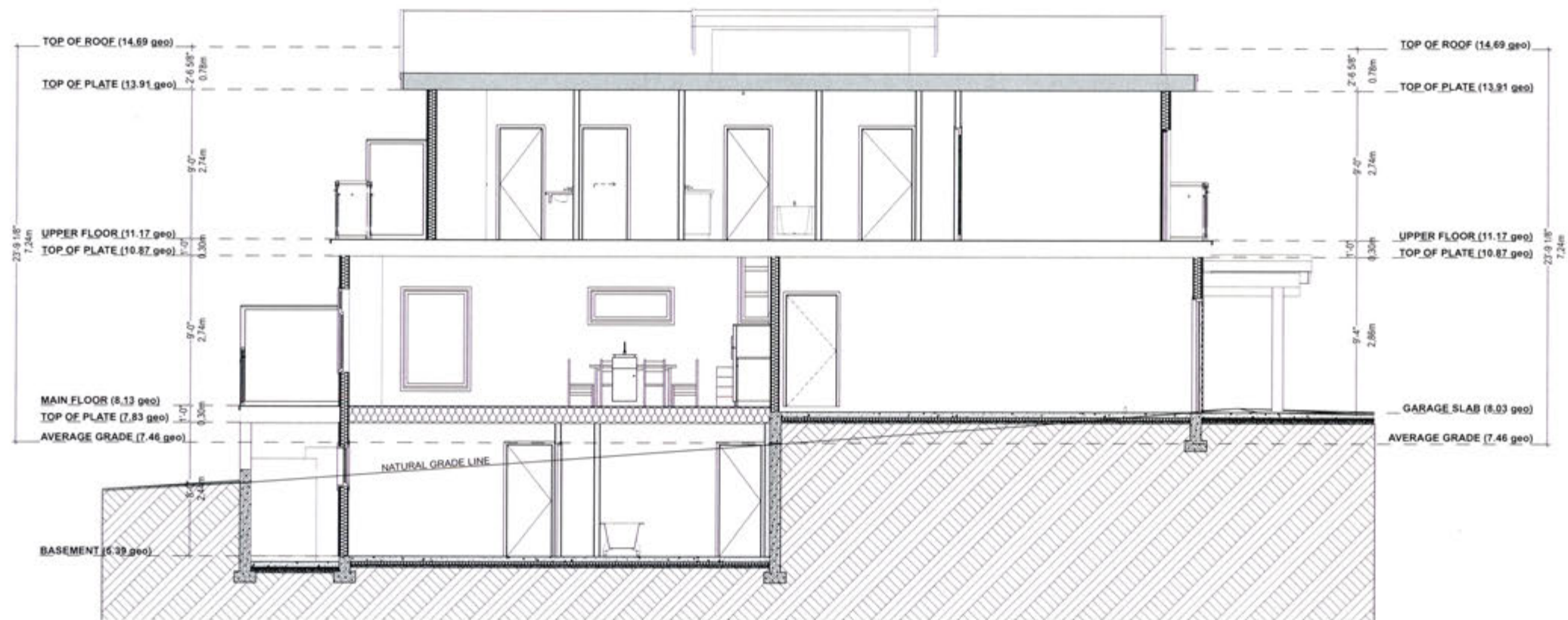
MAIN AND UPPER
FLOOR PLAN

A-103

Format: 2019-04-03



1 CROSS SECTION 01
SCALE: 1/4" = 1'-0"



2 CROSS SECTION 2
SCALE: 1/4" = 1'-0"



ISSUED FOR
DESIGN
REVIEW

ISSUED:

SECTIONS

A-301



1 PERSPECTIVE VIEW
NOT TO SCALE



2 PERSPECTIVE VIEW
NOT TO SCALE



3 PERSPECTIVE VIEW
NOT TO SCALE



4 PERSPECTIVE VIEW
NOT TO SCALE



ISSUED FOR
DESIGN
REVIEW

ISSUED:

PERSPECTIVE VIEWS

A-501

Site Plan Showing Proposed Duplexes Situated on Lots 12 and 13, Esquimalt District, Plan 5241.

'Township of Esquimalt'



The intended plot size of this plan is
432 mm in width by 280 mm in height (B size)
when plotted at a scale of 1:200

Legend:

Elevations are in metres, based on geodetic datum,
and derived from geodetic control monument 84H0222
(elevation= 11.113) CGVD28.

All distances are in metres and decimals
thereof unless otherwise indicated.

- 0.5 Pine denotes tree with associated type and diameter
- ◼ denotes water main
- O_{UP} denotes utility pole

Siting and footprint of proposed duplexes
derived from Adapt Designs house plans
dated April 9, 2019, and is subject to
an approved building permit.

Current Zone= RS-1

9 May 2019

Joseph S. Hadley, BCLS #925

McIlvaney Riley Land Surveying Inc.

#113 - 2244 Sooke Road
Victoria, B.C. V9B 1X1
(250) 474-5538
www.mrls.ca

File: 6091SITE-permit-20190509

