

937 Colville Road

APPLICATION FOR REZONING & DEVELOPMENT PERMIT

LEGAL DESCRIPTION: LOT 4, BLOCK 1, SECTION 10, ESQUIMALT DISTRICT, PLAN 6277



SITE COVERAGE	
STRUCTURE	217.02/
LOT AREA	640.6
	0.339
34.0%	
OPEN SITE SPACE	
STRUCTURE	217.02+
PARKING LOT & DRIVEWAY	318.5
TOTAL	536 m. sq.
LOT AREA	640.6-
TOTAL ABOVE	536
OPEN SITE SPACE	104.6 m. sq.
OPEN SITE SPACE	104.6/
LOT AREA	640.6
	0.163
16.3%	
TOTAL RESIDENTIAL UNIT AREAS	
(MEASURED IN INSIDE FACE OF EXTERIOR WALLS, INTERIOR STAIRS NOT DOUBLE COUNTED, ATTIC STORAGE FLOORS INCLUDED)	
UNIT 1	72.3 SQ.M./778 SQ.FT.
UNIT 2	72.2 SQ.M./782 SQ.FT.
UNIT 3	68.7 SQ.M./739 SQ.FT.
UNIT 4	63.4 SQ.M./682 SQ.FT.
UNIT 5	79.1 SQ.M./851 SQ.FT.
UNIT 6	72.5 SQ.M./780 SQ.FT.
TOTAL FLOOR AREAS	
(MEASURED IN INSIDE FACE OF EXTERIOR WALLS)	
LEVEL 1	139.61 SQ.M./1492 SQ.FT.
LEVEL 2	145.80 SQ.M./1569 SQ.FT.
LEVEL 3	145.00 SQ.M./1560 SQ.FT.
ATTIC FLOOR	46.84 SQ.M./504 SQ.FT.
TOTAL FLOOR AREA	471.25 SQ.M./5075 SQ.FT.

REZONING PROJECT INFORMATION TABLE

	PROPOSED	EXISTING ZONING
ZONING	SITE SPECIFIC	RS-1 SINGLE FAMILY RESIDENTIAL
SITE AREA	640.6 sq. m.	640.6 sq. m.
TOTAL FLOOR AREA	471.25 sq. m.	-
COMMERCIAL FLOOR AREA	N/A	N/A
FLOOR SPACE RATIO	0.66:1 (excl. attic per 14(i); ceiling ht. is less than 1.2m above floor)	0.35:1
SITE COVERAGE	34.0%	30.0%
OPEN SITE SPACE	16.3%	-
HEIGHT OF BUILDING	9.07m	7.3m
NUMBER OF STOREYS	3	2 STOREYS WITH NO BASEMENT 1 1/2 STOREYS WITH BASEMENT
PARKING STALLS ON SITE	5 (4 Residential & 1 Visitor)	1 SPACE PER DWELLING UNIT
BICYCLE PARKING NUMBER	12 - CLASS 1 BICYCLE STORAGE 2 - CLASS 2 BICYCLE PARKING	-
BUILDING SETBACKS		
FRONT YARD (SOUTH)	2.37m TO MAIN LEVEL BLDG FACE 0.45m TO STAIR	7.5m
REAR YARD (NORTH)	13.4m TO MAIN LEVEL BLDG FACE 11.84m TO STAIR	7.5m
SIDE YARD (EAST)	3.11m TO MAIN LEVEL BLDG FACE 0.98m TO BALCONY	3.6m
SIDE YARD (WEST)	5.40m TO MAIN LEVEL BLDG FACE 3.70m TO BALCONY	3.6m

RESIDENTIAL USE DETAILS	PROPOSED
TOTAL NUMBER OF UNITS	6
UNIT TYPE	2 BEDROOM
GROUND ORIENTED UNITS	2
MINIMUM UNIT FLOOR AREA	63.4 sq. m.
TOTAL RESIDENTIAL FLOOR AREA	423 sq. m.



CONTACTS

APPLICANT

LAPIS HOMES

250-413-7121

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ARCHITECT

CHRISTINE LINTOTT ARCHITECT
22-532 HERALD STREET
VICTORIA, BC V8W 1S6

250-384-1969

CONTACT: CHRISTINE LINTOTT
christine@lintottarchitect.ca

BUILDING CODE DATA

APPLICABLE BUILDING CODE:

BC BUILDING CODE 2018 EDITION
ALL WORK TO COMPLY WITH BCBC 2018 IN ALL INSTANCES
PART 9, GROUP C RESIDENTIAL OCCUPANCY CLASSIFICATION

BUILDING HEIGHT:
2 1/2 STOREYS

BUILDING CODE 2018 DEFINITION OF STOREY
THAT PORTION OF A BUILDING THAT IS SITUATED BETWEEN THE TOP OF ANY FLOOR AND THE TOP OF THE NEXT FLOOR ABOVE IT, AND IF THERE IS NO FLOOR ABOVE IT, THAT PORTION BETWEEN THE TOP OF SUCH FLOOR AND THE CEILING ABOVE IT.

FIRE SEPARATIONS:
FLOOR ASSEMBLY BETWEEN LOWER & MAIN LEVEL 1 HOUR (ARTICLE 9.10.9.14.3))
AND DEMISING WALLS BETWEEN MAIN UNITS
AND BETWEEN MAIN UNITS & COMMON EXIT

DWELLING UNITS THAT CONTAIN 2 OR MORE STOREYS INCLUDING BASEMENTS
SHALL BE SEPARATED FROM THE REMAINDER OF THE BUILDING BY A
FIRE SEPARATION HAVING A FIRE RESISTANCE RATING OF NOT LESS THAN 1 HOUR.

FLOOR ASSEMBLY BETWEEN MAIN & UPPER LEVEL 0 HOUR (ARTICLE 9.10.9.4.2))
FLOOR ASSEMBLIES CONTAINED WITHIN DWELLING UNITS
NEED NOT BE CONSTRUCTED AS FIRE SEPARATIONS

CLASSIFICATION:

3.2.2.52. GROUP C, UP TO 3 STOREYS
1) A BUILDING CLASSIFIED AS GROUP C IS PERMITTED TO CONFIRM TO SENTENCE (2)
PROVIDED
a) IT IS NOT MORE THAN 3 STOREYS IN BUILDING HEIGHT, AND
b) IT HAS A BUILDING AREA NOT MORE THAN THE VALUE IN TABLE 3.2.2.52.

NO. OF STOREYS 3
FACING 1 STREET
600 SQ.M.

2) THE BUILDING REFERRED TO IN SENTENCE (1) IS PERMITTED TO BE OF COMBUSTIBLE CONSTRUCTION OR NONCOMBUSTIBLE CONSTRUCTION USED SINGLY OR IN COMBINATION, AND
a) EXCEPT AS PERMITTED BY SENTENCE (3) AND (4), FLOOR ASSEMBLIES SHALL BE FIRE SEPARATIONS WITH A FIRE-RESISTANCE RATING NOT LESS THAN 45 MIN,
b) MEZZANINES SHALL HAVE, IF OF COMBUSTIBLE CONSTRUCTION, A FIRE RESISTANCE RATING NOT LESS THAN 45 MIN, AND
c) LOADBEARING WALLS, COLUMNS AND ARCHES SHALL HAVE A FIRE RESISTANCE RATING NOT LESS THAN THAT REQUIRED FOR THE SUPPORTED ASSEMBLY.

3) IN A BUILDING THAT CONTAINS DWELLING UNITS THAT HAVE MORE THAN ONE STOREY, SUBJECT TO THE REQUIREMENTS OF SENTENCE 3.3.4.2.(3), THE FLOOR ASSEMBLIES, INCLUDING FLOORS OVER BASEMENTS, WHICH ARE ENTIRELY CONTAINED WITHIN THESE DWELLING UNITS, SHALL HAVE A FIRE RESISTANCE RATING NOT LESS THAN 45 MIN BUT NEED NOT BE CONSTRUCTED AS FIRE SEPARATIONS.

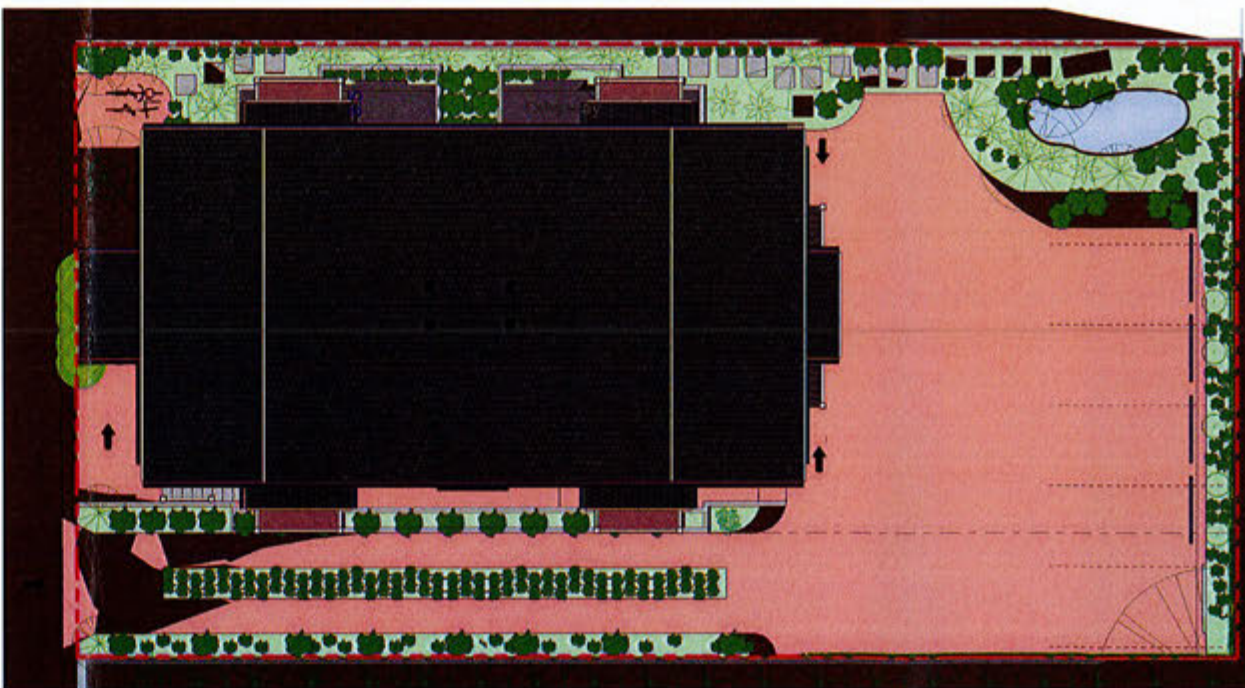
4) IN A BUILDING IN WHICH THERE IS NO DWELLING UNIT ABOVE ANOTHER DWELLING UNIT, THE FIRE-RESISTANCE RATING FOR FLOOR ASSEMBLIES ENTIRELY WITHIN DWELLING UNIT IS WAIVED.

FIRE ALARM:

9.10.18.2. FIRE ALARM SYSTEM REQUIRED
5) A FIRE ALARM SYSTEM IS NOT REQUIRED IN A RESIDENTIAL OCCUPANCY WHERE AN EXIT OR PUBLIC CORRIDOR SERVES NOT MORE THAN 4 SUITES OR WHERE EACH SUITE HAS DIRECT ACCESS TO AN EXTERIOR EXIT FACILITY LEADING TO GROUND LEVEL.

CONSTRUCTION:

COMBUSTIBLE
SPRINKLERED - NO



② Site
1:100



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Issue	Date
Rezoning & DP	Oct. 15-19
Rezoning & DP 2	July 26-19

Revision	No.	Description	Date
1	Lower Level Layout	2019-07-26	
Revisions			
2	Overall Building Height	2019-07-26	
Reduced			

Consultant

937 Colville Road

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Cover Sheet

Date	2019-08-09 1:39:30 PM
Drawn by	JJ/LA
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	A000
Scale	As indicated



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Issue	Date
Rezoning & DP	Oct. 15-19
Rezoning & DP 2	July 26-19

Revision	No.	Description	Date
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Site Plan

Date: 2019-08-09 1:40:37 PM
Drawn by: JJ/LA
Checked by: CL

A002
Scale: As indicated

921 -1 COLVILLE RD. 933 COLVILLE RD. 937 COLVILLE ROAD 939 COLVILLE RD.

STREET CAPTURE

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Issue	Date
Rezoning & DP	Oct. 15-19
Rezoning & DP 2	July 26-19

Revision	No.	Description	Date

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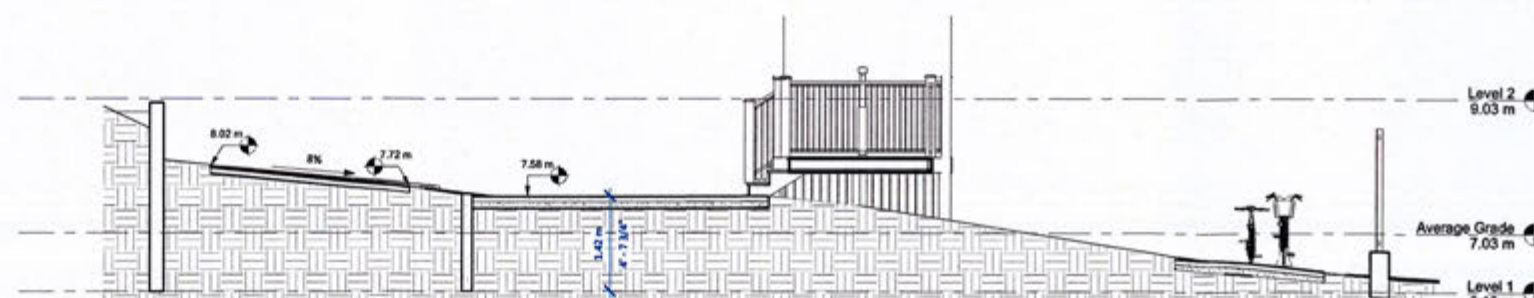
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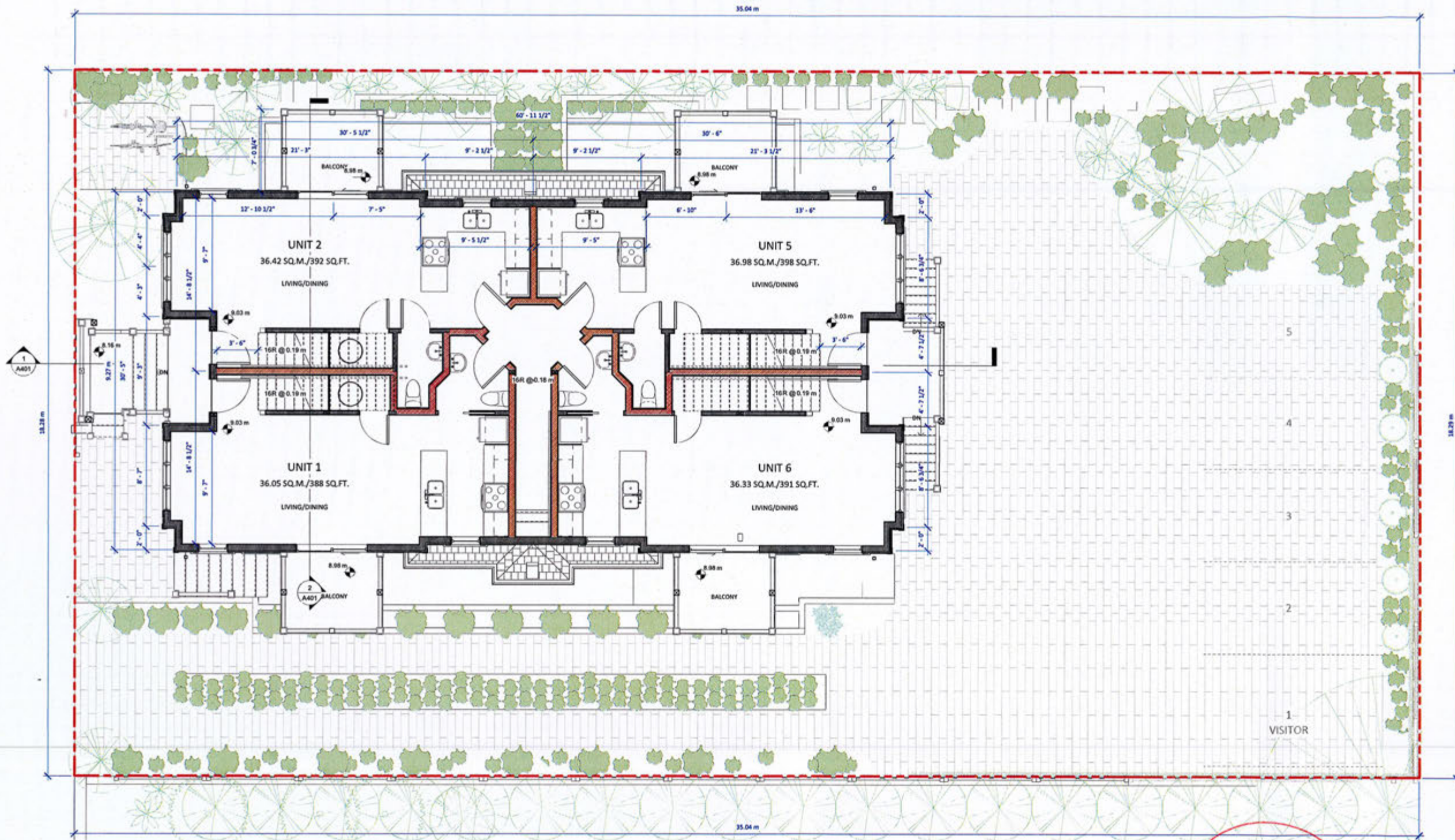
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A101

Scale 1:50





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Revision	No.	Description	Date
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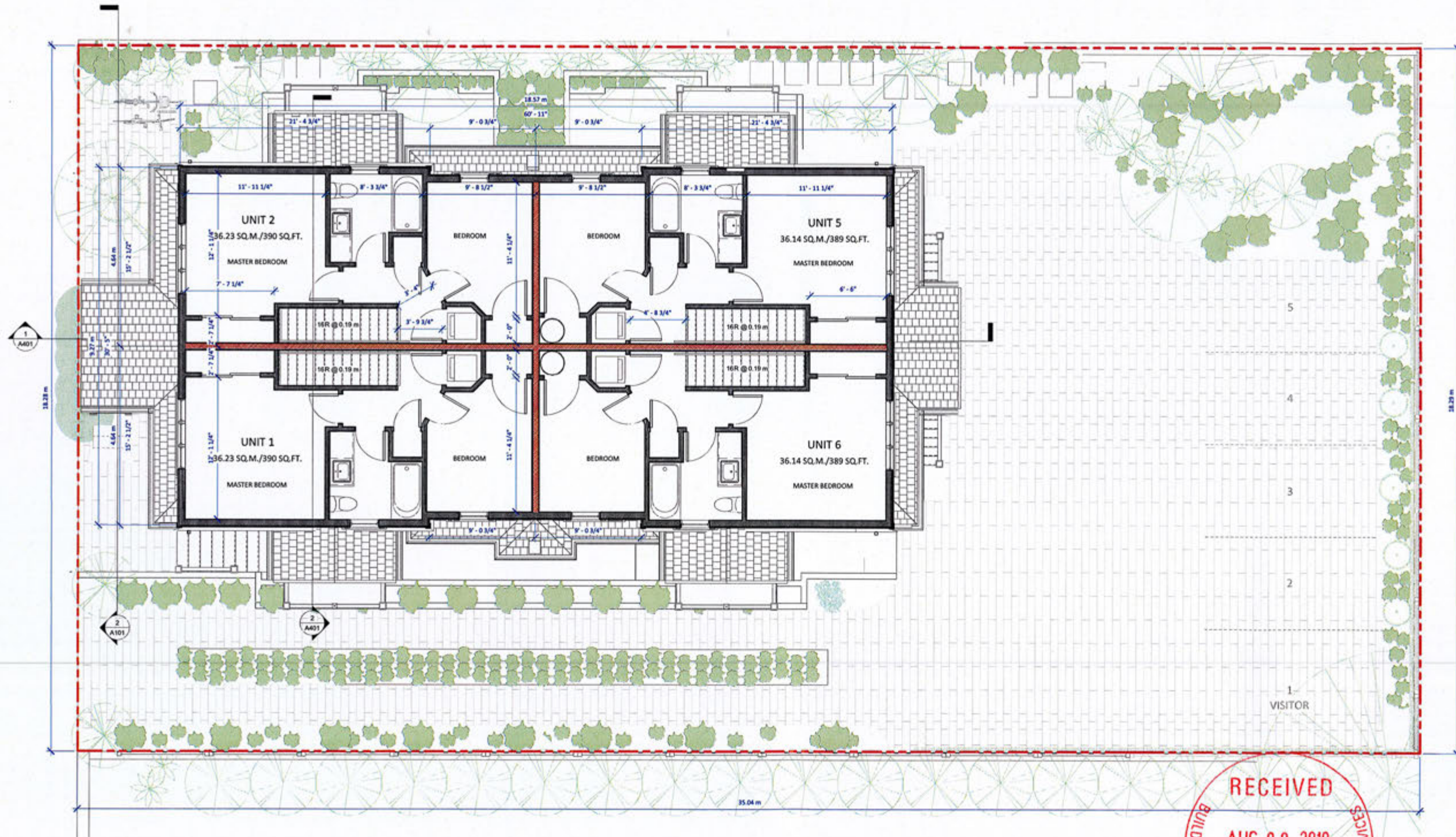
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Level 3

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Checked by	Checker

A103

Scale	1 : 50
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Issue	Date
Rezoning & DP	Oct. 15-19
Rezoning & DP 2	July 26-19

Revision	No.	Description	Date
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Consultant

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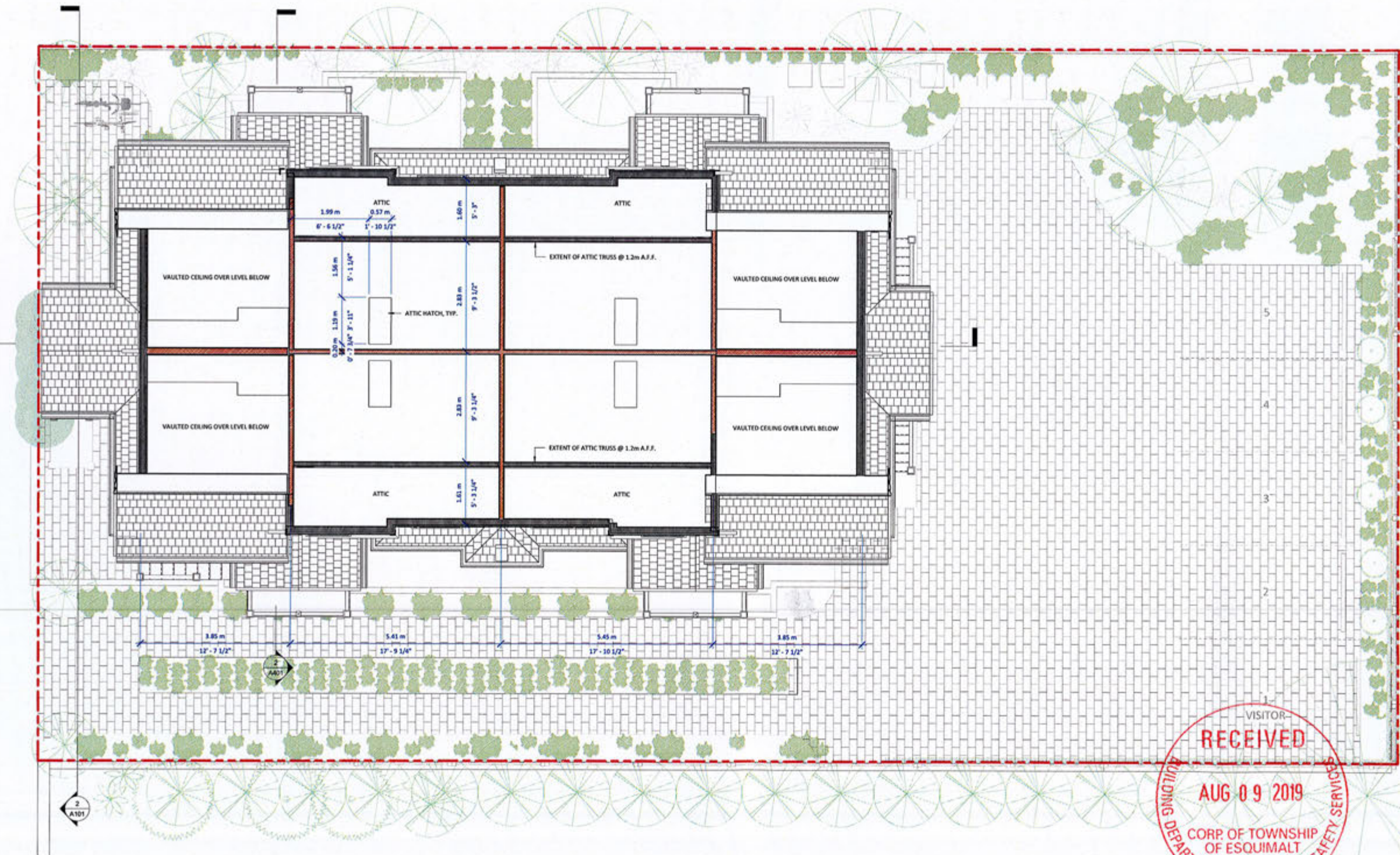
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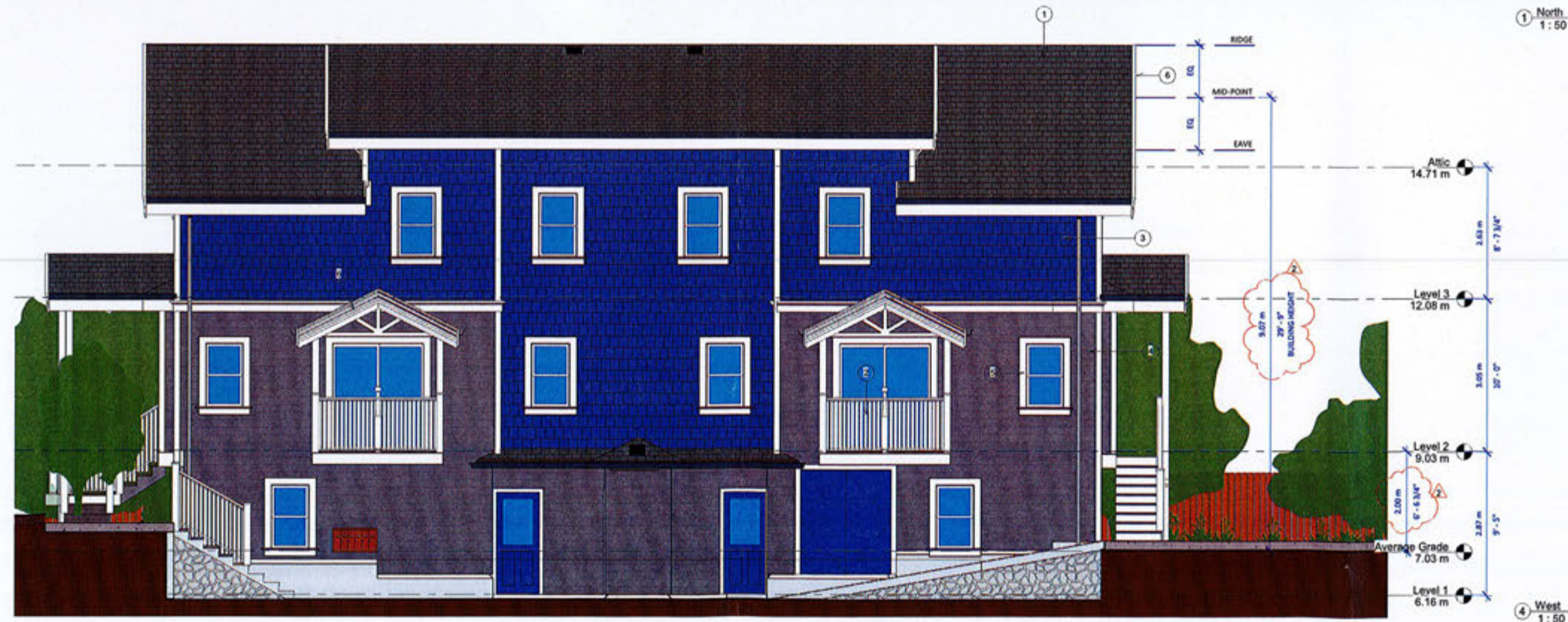
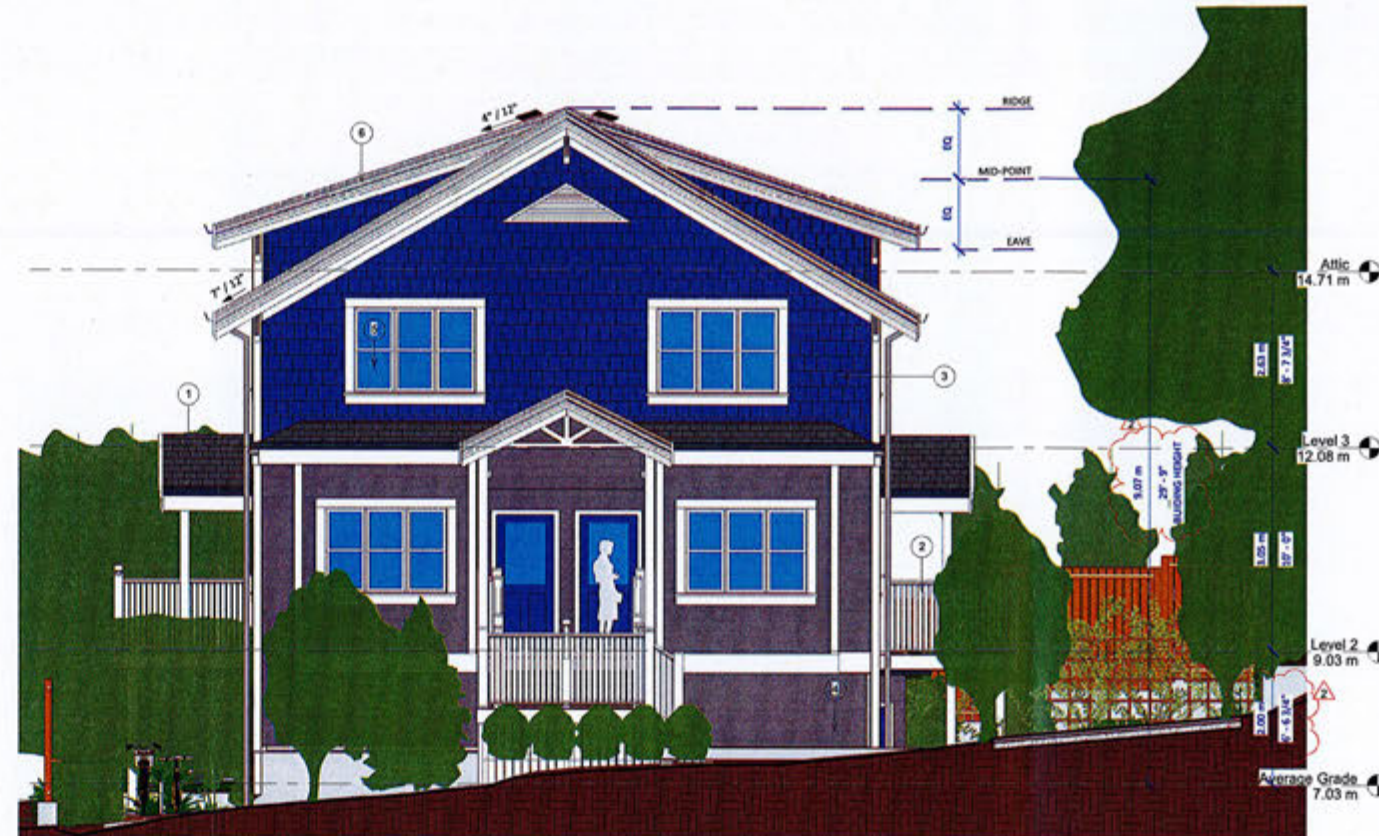
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Checked by CL

A104

Scale 1 : 50





Material Legend	
Key Value	Keynote Text
1	Asphalt Shingle Roof
2	Wood Railing, Painted
3	Fibre Cement Shingles
4	Fiber Cement Panel, 6" reveal
5	Vinyl Windows
6	Decorative Wood Fascia

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Issue	Date
Rezoning & DP	Oct. 15-19
Rezoning & DP 2	July 26-19

Revision	No.	Description	Date
2	Overall Building Height Reduced	2019-07-26	

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North & West Elevation

Date 2019-08-09 1:44:05 PM
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A301

Scale 1:50





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Issue	Date
Rezoning & DP	Oct. 15-19
Rezoning & DP 2	July 26-19

No.	Description	Date
2	Overall Building Height Reduced	2019-07-26

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COMMUNITY SAFETY SERVICES

937 Colville Road

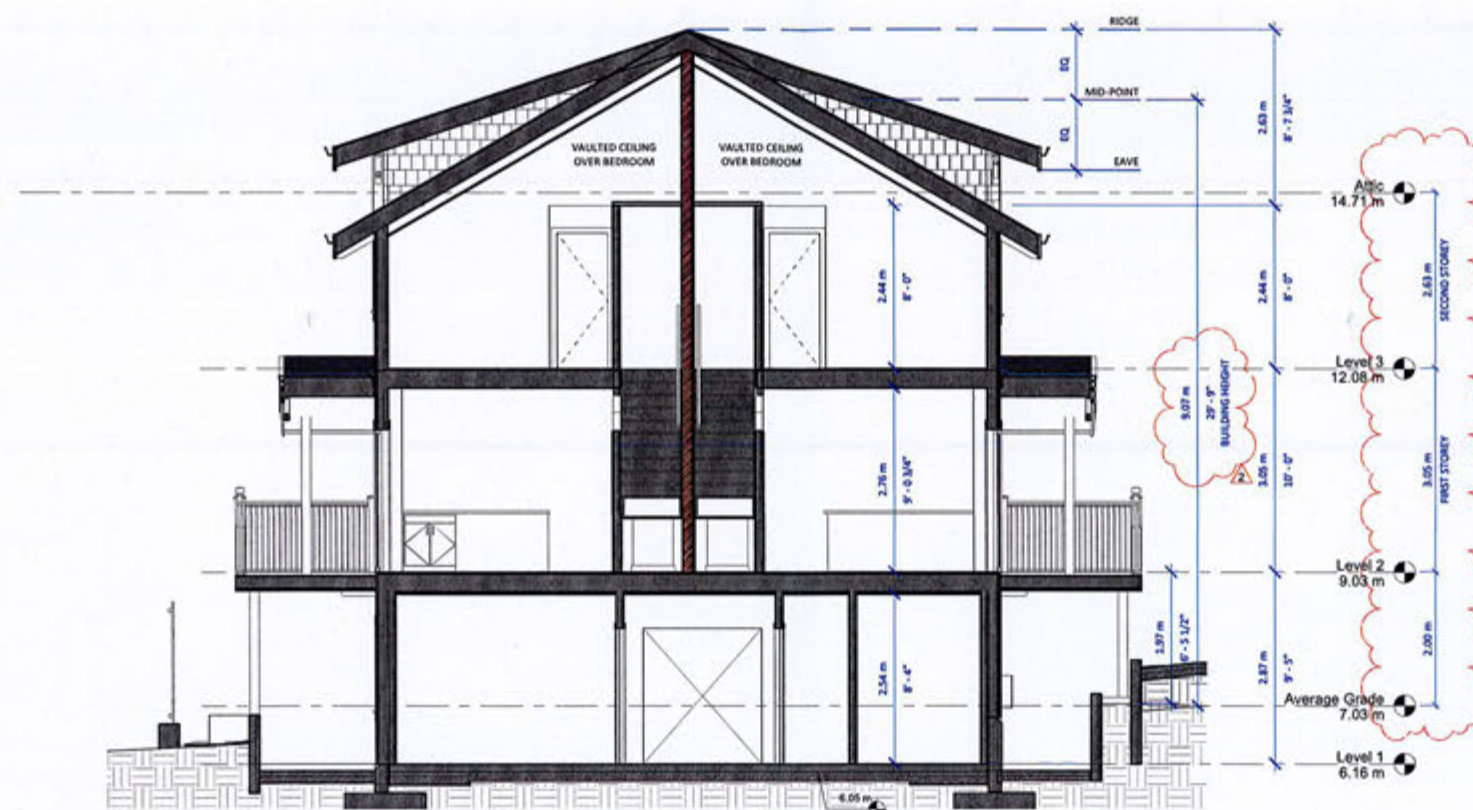
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South & East Elevation

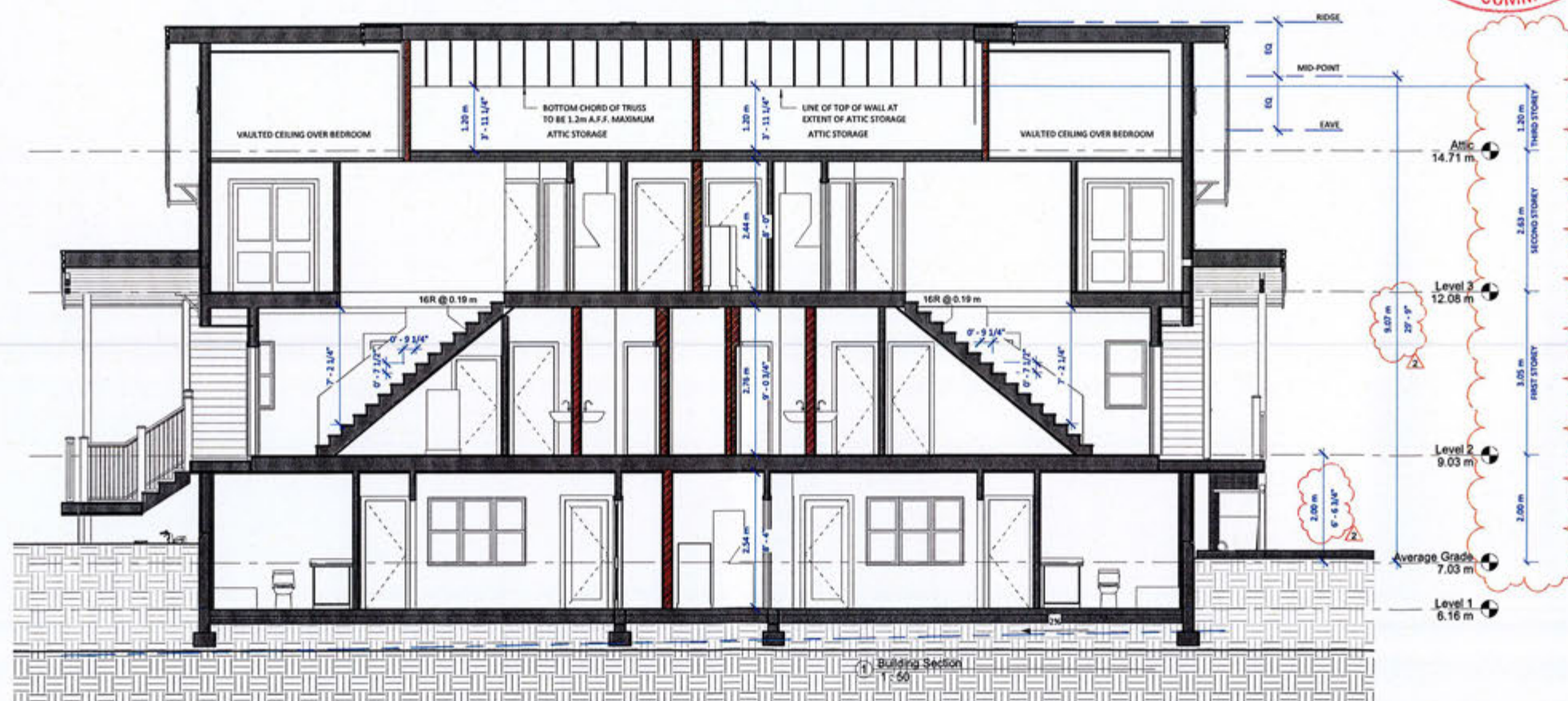
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Checked by: CL

A302

Scale: 1:50



② Building Cross Section
1 : 50

Building Section
1 of 50

PROPOSED DEVELOPMENT UPON LOT 4, BLOCK 1, SECTION 10, ESQUIMALT DISTRICT, PLAN 6277.



NOTE:

Proposed building position and shape shown is based upon digital files received from the project architect October 30th, 2018.

Lot dimensions, offsets, and area shown may vary upon completion of a comprehensive legal survey. Geodetic elevations shown are based upon observations to geodetic control monuments 84H0179 (Elevation= 6.162m) and 84H0253 (Elevation= 13.214m).

This plan is for building design & permit purposes only and is for the exclusive use of our client. This plan shall not be used to define property lines or property corners. Unregistered interests have not been included or considered.

LEGEND

Denotes natural grade to geodetic datum

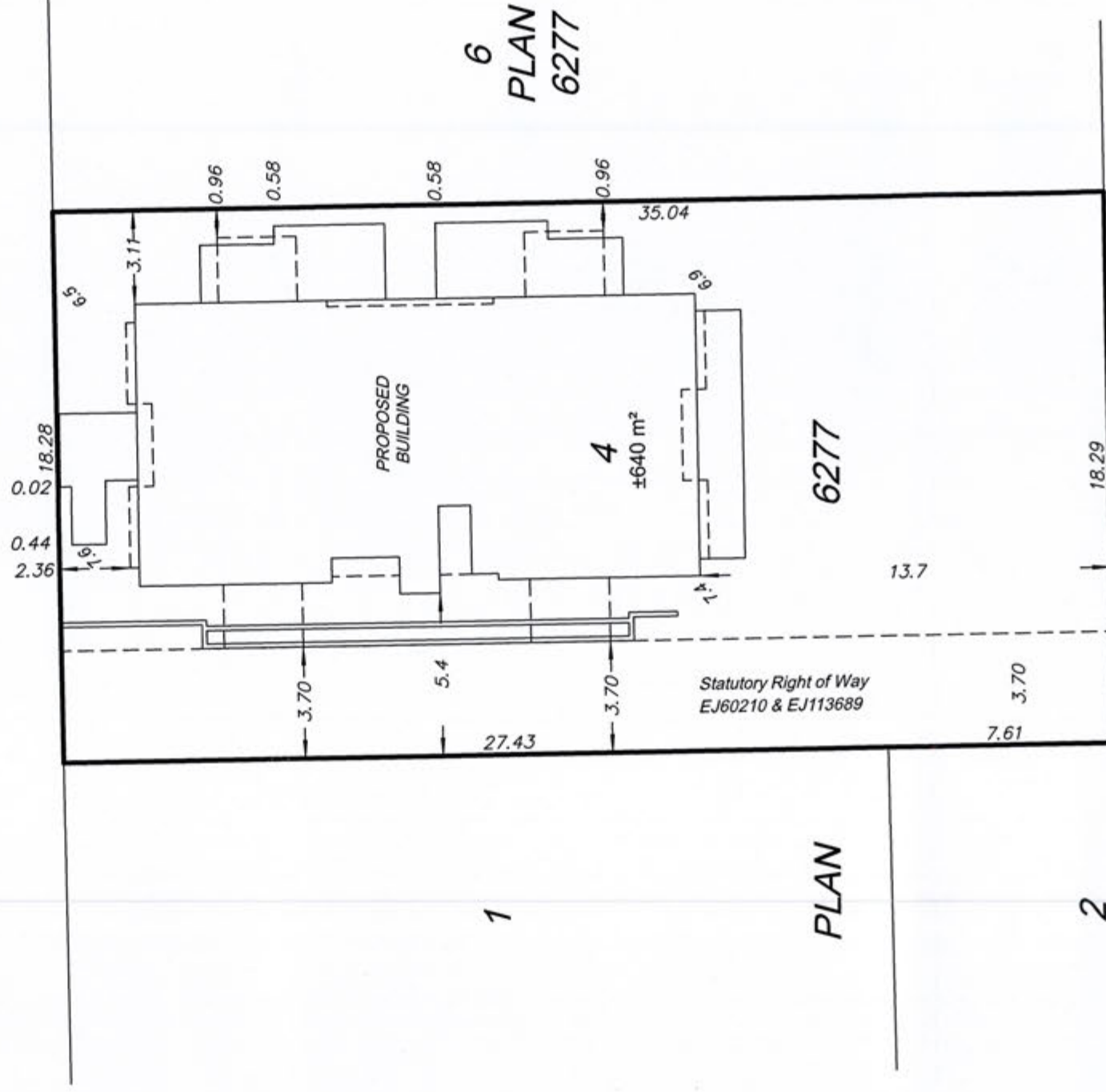


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COLVILLE ROAD



6
PLAN
6277

PLAN

18
STRATA
PLAN VIS5131

File: 22-RJ-SP9

Date: May 14, 2019

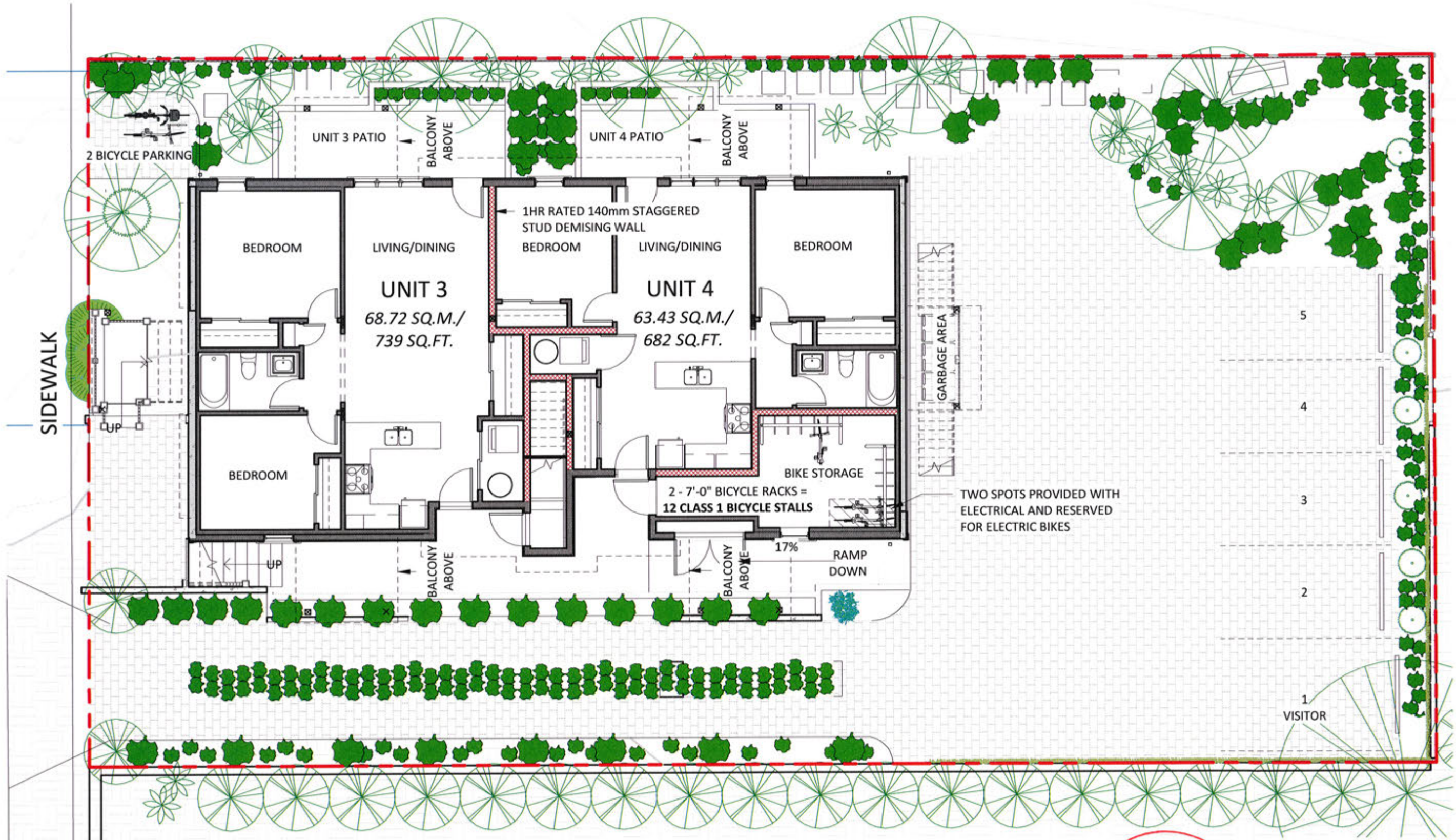
Island Land Surveying Ltd.

#117-693 Hoffman Avenue

Victoria B.C. V9B 4X1

TEL 250.475.1515 fax 250.475.1516

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E-Bike Reserve Spots

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