





RECEIVED  
OCT 21 2019  
CORP. OF TOWNSHIP  
OF ESQUIMALT  
DEVELOPMENT SERVICES

640 Drake Avenue

*Legal: Lot 2, Suburban Lots 50 and 41, Esquimalt District, Plan 25565*

Parcel Identifier: 002-923-157 in the Municipality of Esquimalt

The following non-financial charges are shown on the current title and may affect the property.

A84872 - Right of Way  
A79868 - Right of Way  
C4872 - Easement

636 Drake Avenue

Legal: Lot 3, Suburban Lot 41, Esquimalt District, Plan 25565

Parcel Identifier: 002-923-211 in the Municipality of Esquimalt

The following non-financial charges are shown on the current title and may affect the property.

A84872 - Right of Way

| Unit | Type           | Size               |
|------|----------------|--------------------|
| 1    | 2 BED + GARAGE | 118 m <sup>2</sup> |
| 2    | 3 BED + GARAGE | 138 m <sup>2</sup> |
| 3    | 3 BED + GARAGE | 144 m <sup>2</sup> |
| 4    | 2 BED + GARAGE | 118 m <sup>2</sup> |
| 5    | 3 BED + GARAGE | 134 m <sup>2</sup> |
| 6    | 2 BED + GARAGE | 118 m <sup>2</sup> |
| 7    | 3 BED + GARAGE | 120 m <sup>2</sup> |
| 8    | 2 BED + GARAGE | 116 m <sup>2</sup> |

| 636-642 DRAKE AVE        | PROPOSED    | old DR use  |
|--------------------------|-------------|-------------|
| ZONE R1-B                |             |             |
| LOT SIZE                 | 1628 sq ft  | 2070 sq ft  |
| TOTAL FLOOR AREA         | 10028 sq ft | 15414 sq ft |
| FLOOR SPACE RATIO        | 623 %       | 693 %       |
| LOT COVERAGE             | 4444 sq ft  | 5636 sq ft  |
| LOT COVERAGE             | 469 %       | 293 %       |
| OPEN SITE SPACE          |             |             |
| BUILDING HEIGHT A        | 29'6"       | 9'6"        |
| BUILDING HEIGHT B        | 27'0"       | 8'25"       |
| BUILDING HEIGHT C        | 21'2"       | 8'59"       |
| NUMBER OF STORIES        | 3           | 3           |
| NUMBER OF PARKING STALLS |             | 12          |
| NUMBER OF BIKE STALLS    | 6800        |             |
| SETBACKS FRONT           | 20'         | 6'6"        |
| REAR                     | 20'4"       | 8'28"       |
| SIDE                     | 35'         | 4'3'6"      |
| COMBINED SIDEYARD        | 26'         | 8'          |
| NUMBER OF UNITS          | 8           | 8           |
| UNIT TYPE                | 2-5 BEDROOM |             |
| HARD SURFACE AREA        | 441 sq ft   | 27%         |
| TOTAL LANDSCAPED AREA    | 739 sq ft   | 45%         |
|                          |             | 16%         |

AVERAGE GRADE CALCULATIONS  
BUILDING A

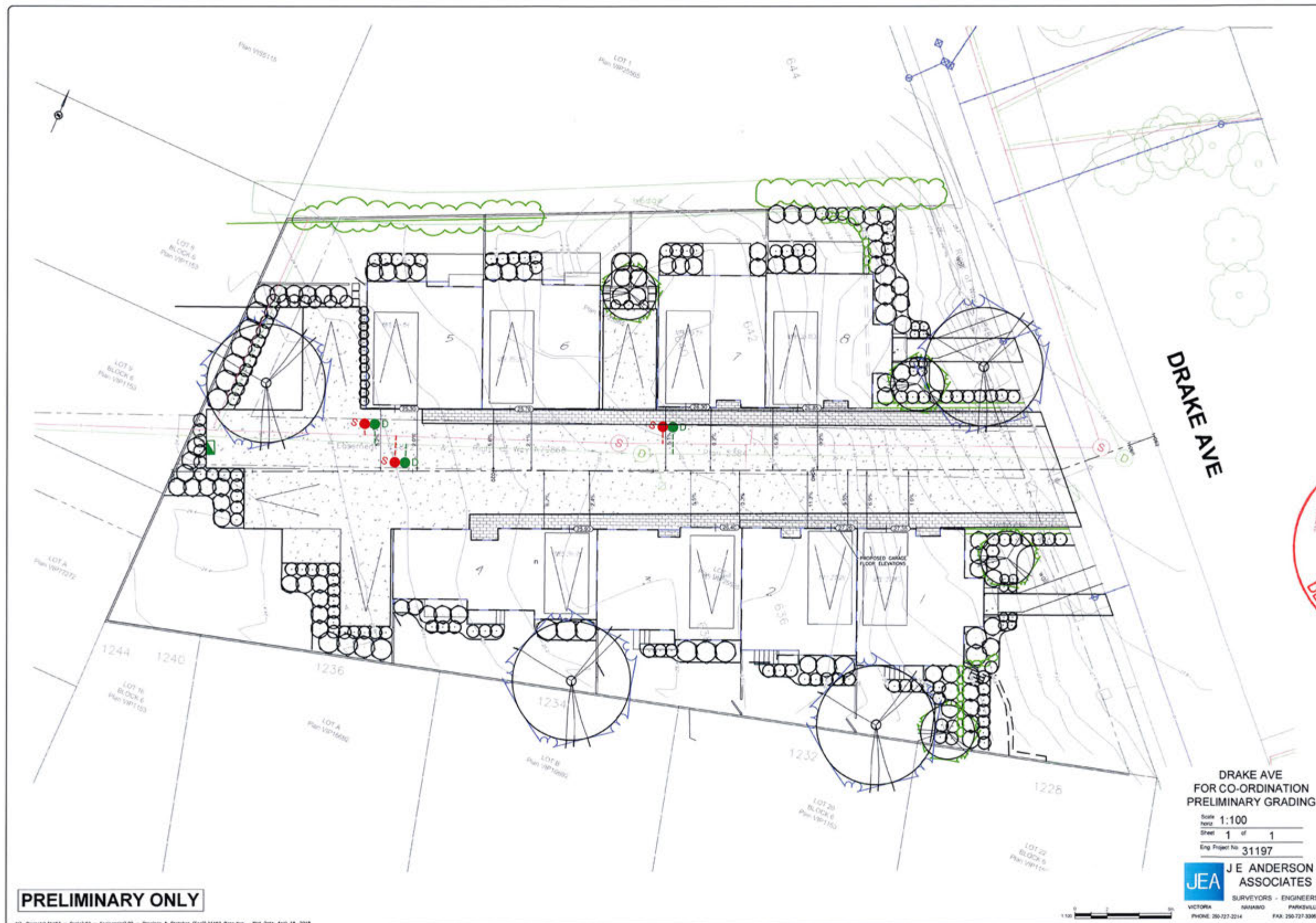
FONIA 276  
 FONIA 276  
 FONIA 246  
 FONIA 29

BUILDING B

BUILDING C

|             |                    |
|-------------|--------------------|
| POINT: 29.8 | TOOLS: 26.67 PR GR |
| POINT: 29.7 | READING: 152.7     |
| POINT: 27.6 |                    |





# BC LAND SURVEYORS SITE PLAN OF:

## 640 Drake Avenue

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Parcel Identifier: 002-923-157 in the Municipality of Esquimalt

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## 636 Drake Avenue

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Parcel Identifier: 002-923-211 in the Municipality of Esquimalt

The following non-financial charges are shown on the current title and may affect the property.

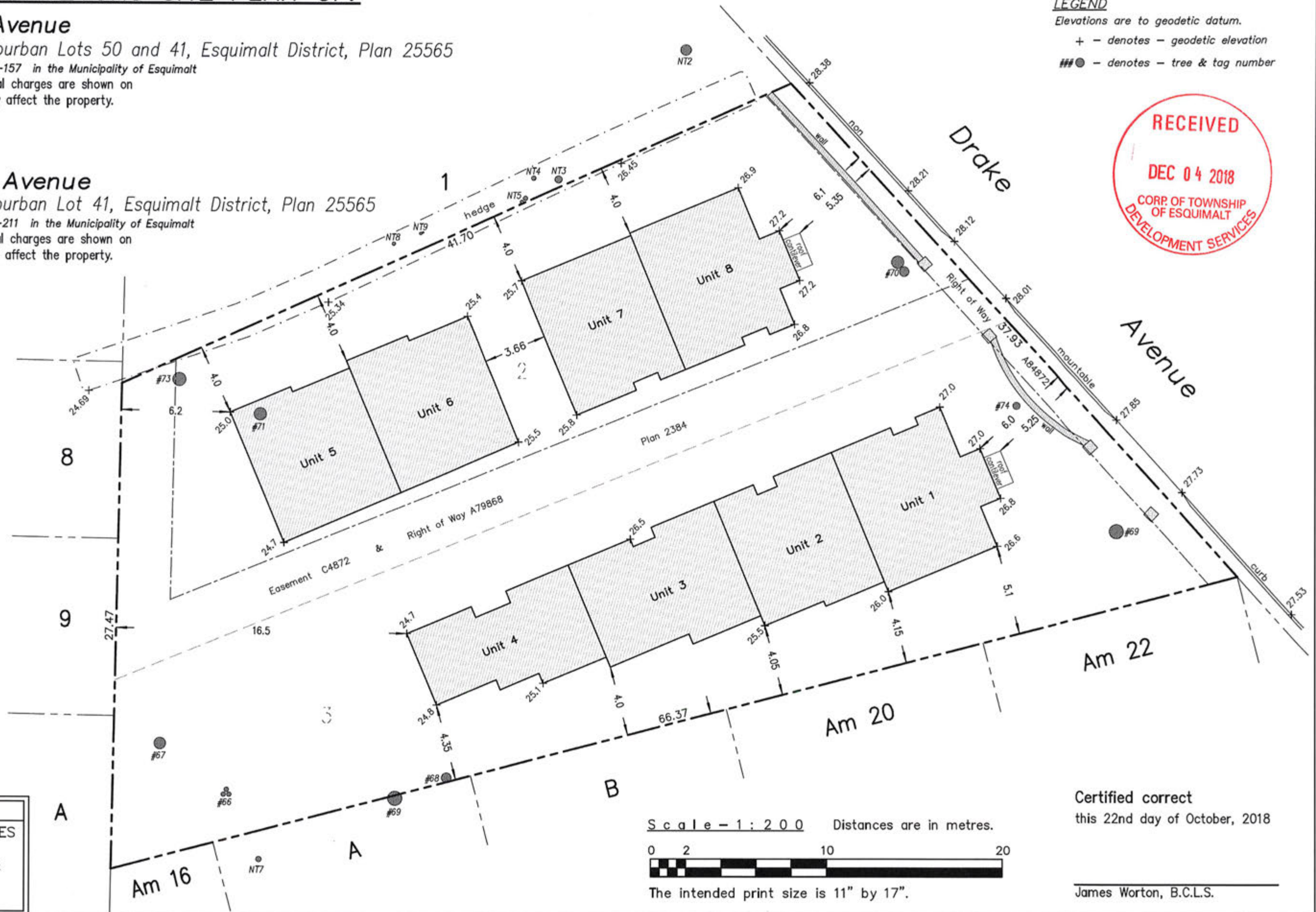
A84872 - Right of Way

### LEGEND

Elevations are to geodetic datum.

+ - denotes - geodetic elevation

##● - denotes - tree & tag number



November 28, 2018

File : 12,537 - 19

POWELL & ASSOCIATES

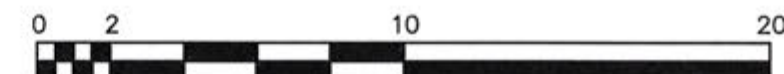
B C Land Surveyors

250-2950 Douglas Street

Victoria, BC V8T 4N4

phone (250) 382-8855

Scale - 1 : 200 Distances are in metres.



The intended print size is 11" by 17".

Certified correct  
this 22nd day of October, 2018

James Worton, B.C.L.S.

# LEGEND

Elevations are to geodetic datum.

- ### + - denotes - existing elevation
- ### ● - denotes - tree & tag number
- MHS ⊗ - denotes - Manhole - Sanitary Sewer
- MHD ⊗ - denotes - Manhole - Storm Drain
- CB □ - denotes - Catch Basin

# LEGEND

LARGE DECIDUOUS TREES:  
QUERCUS COCCINEA (SCARLET OAK),  
ACER RUBRA (RED MAPLE),  
SIZE 5.0 D.B.H. QUANTITY = 3.

SMALL DECIDUOUS TREES:  
ACER CIRCINATUM (VINE MAPLE),  
SYRINGA VULGARIS (LILAC),  
VIBURNUM X BETTY (BETTY VIBURNUM),  
SIZE 2.5 H. HT., QUANTITY = 4.

MEDIUM SHRUBS:  
RHODODENDRON SP. (RHODODENDRON),  
VIBURNUM OBTUSUM (REDGREEN HUCKLEBERRY),  
PIERIS JAPONICA (JAPANESE PIERIS),  
MAHONIA AQUIFOLIUM (DOGBONE),  
SHIMADA JAPONICA (JAPANESE SHIMADA),  
SIZE #2 & #3 POTS, QUANTITY = 127.

SMALL SHRUBS:  
MAHONIA NERVOZA (DWARF MAHONIA),  
CORNUS KUSNEZYI (DWARF REDTIDE DOGWOOD),  
LAVANDULA SPICA (LAVENDER),  
POLYSTICHUM MENTUM (SWORD FERN),  
PESTICIA ALBA (ORNAMENTAL GRASS),  
SIZE #1 POTS, QUANTITY = 248.

GROUND COVER:  
ARCTOSTAPHYLOS UVA-URSI (MANCOW JADE\* KANKINKINGOU),  
SIZE 10 D.B.H. POT, SPACE 45 D.B.H.



LANDSCAPE PLAN

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OF ESQUIMALT  
DEVELOPMENT SERVICES

DRAKE AVENUE  
TOWNHOUSES  
636 - 640 DRAKE AVENUE, VICTORIA, B.C.

KEITH N. GRANT  
LANDSCAPE  
ARCHITECTURE LTD.  
11100 18<sup>th</sup> ST  
VICTORIA, B.C. V8W 2E1

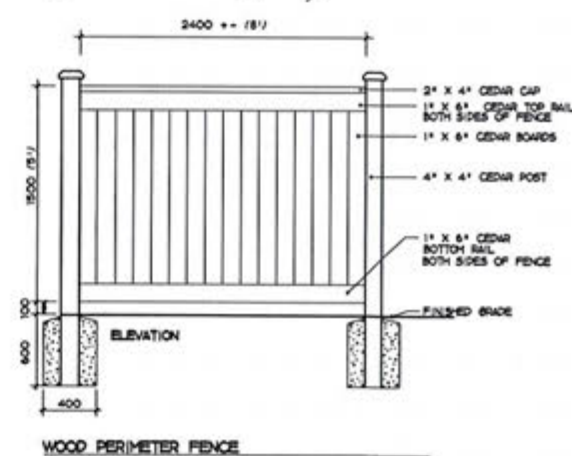


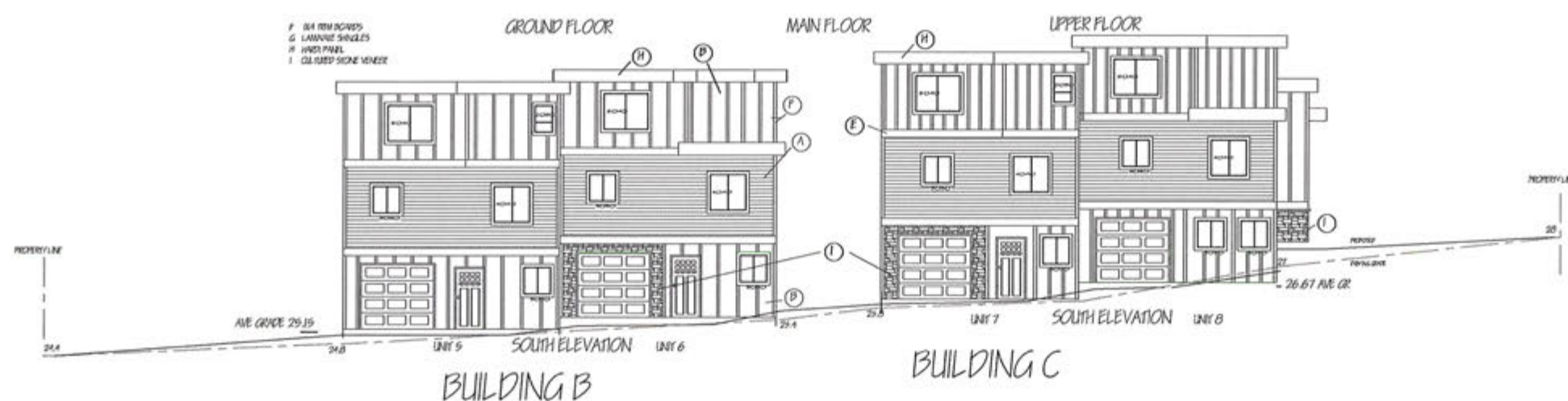
1:100  
PLOT: 1 = 100

DATE: MARCH 20, 2019  
BY: K. GRANT  
PROJECT: 570 18 01

# NOTES

- SEE ARBORIST REPORT PREPARED BY TALBOT HADZINZIC & ASSOCIATES, DATED APRIL 2018 FOR TREE RESOURCE INFORMATION.
- NEW ON SITE PLANTING AREAS TO BE IRRIGATED WITH A WATER EFFICIENT AUTOMATIC UNDERGROUND IRRIGATION SYSTEM.
- PLANTING TO BE INSTALLED TO THE STANDARDS IDENTIFIED IN THE BRITISH COLUMBIA LANDSCAPE STANDARD - 2012 EDITION.



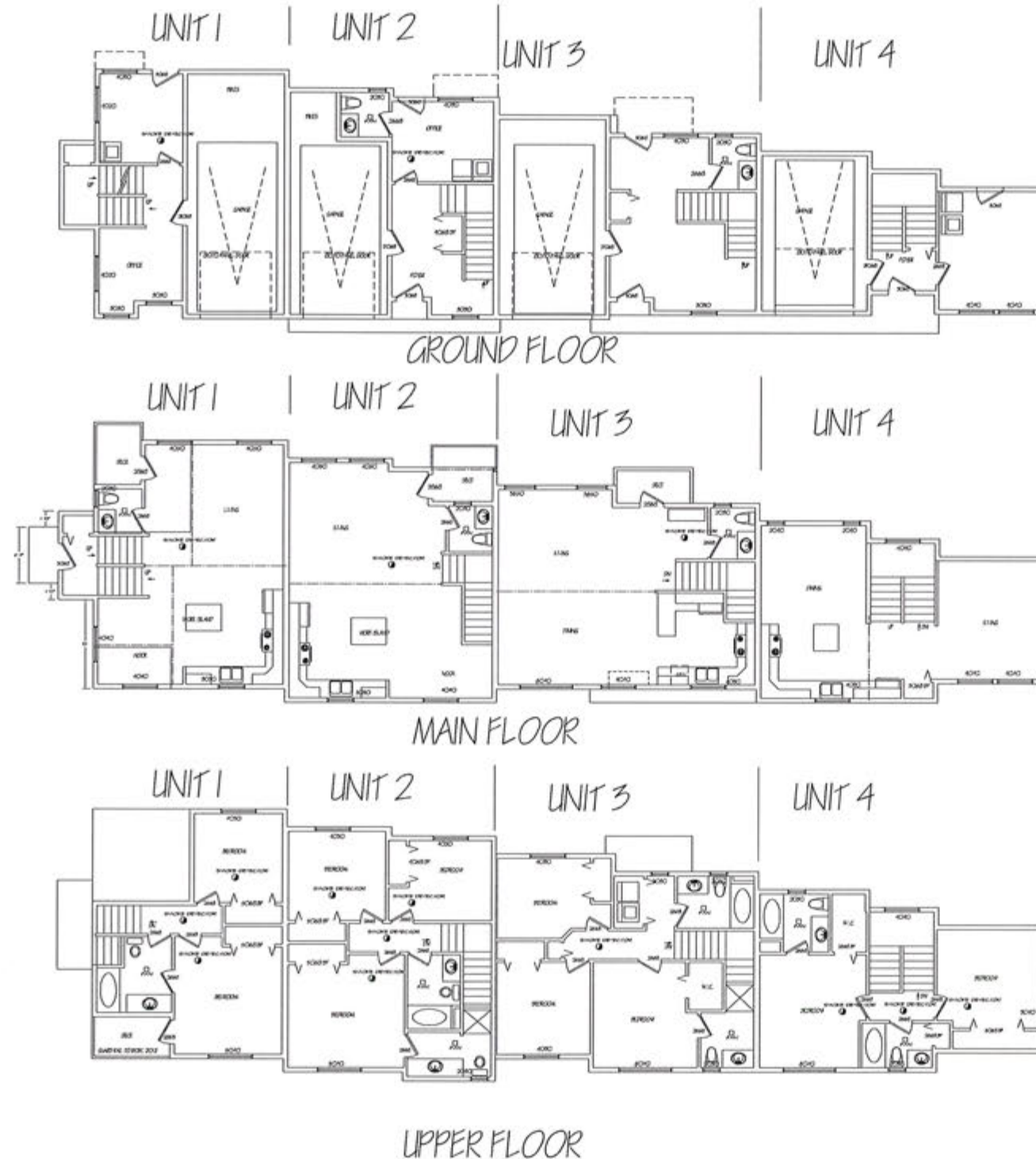


| No. | Revision/Issue | Date |
|-----|----------------|------|
|     |                |      |

Burrows Holdings Ltd  
2614 Otter Pt Rd Sooke BC V9Z 0J1  
250-642-5719

Project Name and Address  
656-642 DRIVE AVE  
DUMMA PACIFIC PROPERTIES LTD

| Project | Robert's Men's | Sheet |
|---------|----------------|-------|
| Date    | SEPT 10 / 2018 | 1     |
| Scale   | 1:100          |       |



### General Notes

1. Contractor to verify all dimensions and details prior to start of construction and notify designer of any errors or discrepancies.
2. Dimensions to take precedence over scaled drawings.
3. Exterior dimensions from face of sheathing/concrete.
4. Where Eng. is specified, all structural components shall be certified by a structural engineer.
5. All work to be carried out using good construction practice and shall conform to local bylaws and current British Columbia Building Code 2006.
6. It is Owner/Contractors responsibility to ensure site is inspected for substandard soil conditions resulting in special foundation design.
7. Provide attic and crawl space ventilation and access in accordance with BCBC 2006 Part 9.
8. All wood framing to be #2 or better SPF unless otherwise noted.
9. Provide 8" min. clearance from grade to wood cladding materials.
10. All wood lintels and joists to conform to current wood council of BC span tables.
11. Install smoke detectors in accordance with BCBC 2006 Part 9.
12. All wood plates in contact with concrete shall be pressure treated or shall be separated by a sill gasket.
13. Concrete shall be min. 20 MPa for walls and 30 MPa for slabs.
14. Windows shall be installed according to details outlined by warranty provider.
15. All hand rails to be graspable and installed 36" above nosing.
16. All guard rails to be installed as per BCBC 2006.
17. Garage door shall come with self closer and weatherstripping to provide gas tight seal.
18. Provide heating and ventilation in accordance with local bylaws and BCBC 2006.
19. All Bedrooms to have min egress as detail in BCBC 2006.
20. Bedroom fans to be 1.5 zone 100 cfm and have 5" smoothwall ducting.

| No. | Revision/Issue              | Date  |
|-----|-----------------------------|-------|
|     | Added 5th floor deck unit 1 | 11/18 |

Burrows Holdings Ltd  
2614 Otter Pt Rd Seke BC V9Z 0J1  
250-642-5715

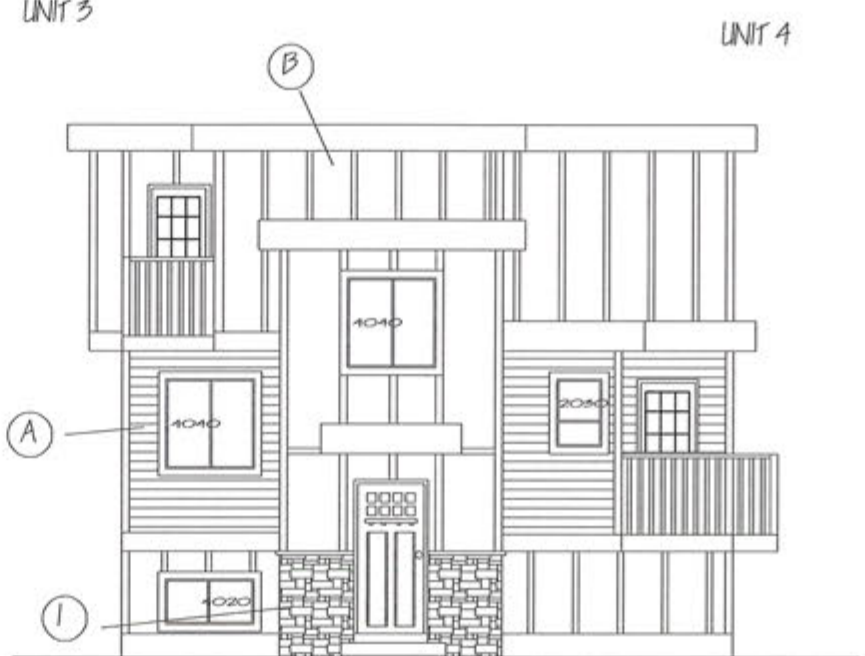
Project Name and Address  
  
656-642 DRIVE AVE  
PACIFIC PROPERTIES LTD

|                          |            |
|--------------------------|------------|
| Project<br>Robert's Menu | Sheet<br>2 |
| Date<br>SEPT 10 / 2018   |            |
| Scale<br>1/100           |            |

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 CORP. OF TOWNSHIP  
 OF ESQUIMALT  
 DEVELOPMENT SERVICES



EAST ELEVATION  
 UNIT 1



EAST ELEVATION  
 UNIT 8

- A HARDPLANK SIDING
- B HARDPANEL SIDING C/ W 1X4 BATTENS
- C HARD SHINGLE
- D HARDPANEL SIDING C/ W 1X2 BATTENS
- E 2X10 COMB FACE
- F 1X4 TRIM BOARDS
- G LAMINATE SHINGLES
- H HARD PANEL
- I CULTURED STONE VENEER

|     |                                |       |
|-----|--------------------------------|-------|
|     |                                |       |
|     | Added 3rd floor deck unit 1, 8 | 11/18 |
| No. | Revision/Issue                 | Date  |

Purpos Holdings Ltd  
2644 Otter Pt Rd Suite DC V9Z 0J1  
250-642-9716

Project Name and Address

626-642 DRIVE AVE  
DINWIDIE PROPERTIES LTD

|         |               |       |
|---------|---------------|-------|
| Project | Robert's Moss | Sheet |
| Date    | SEP 10/ 2018  | 3     |
| Scale   | 1:50          |       |

FRAME  
 RESURF  
 USER

RECEIVED

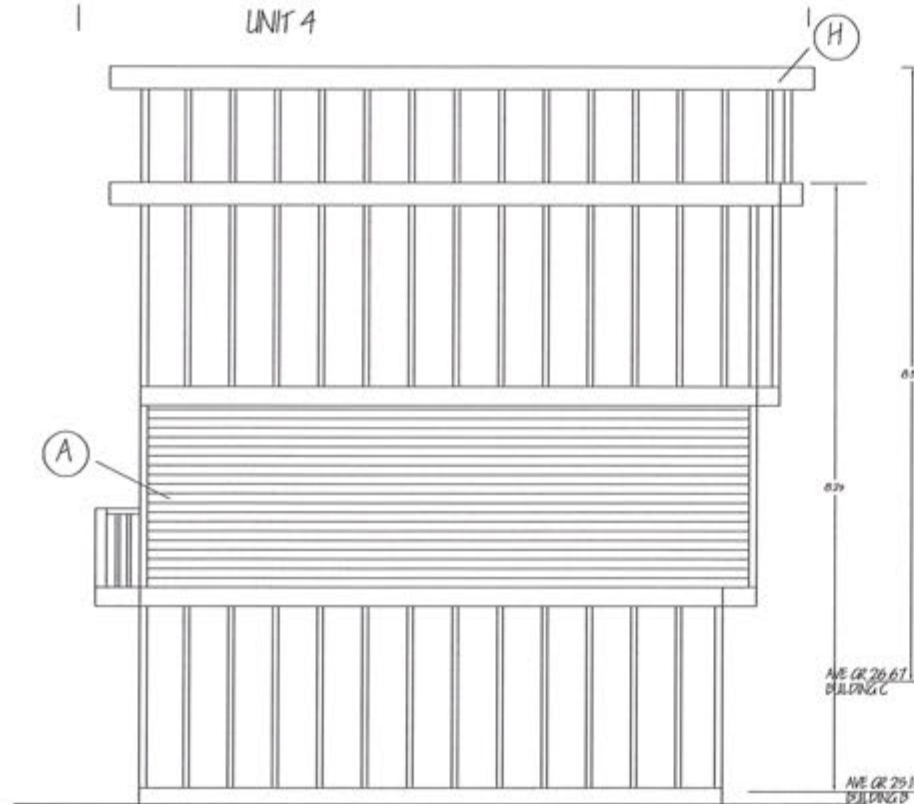
DEC 04 2018

CORP. OF TOWNSHIP  
OF ESQUIMALT  
DEVELOPMENT SERVICES

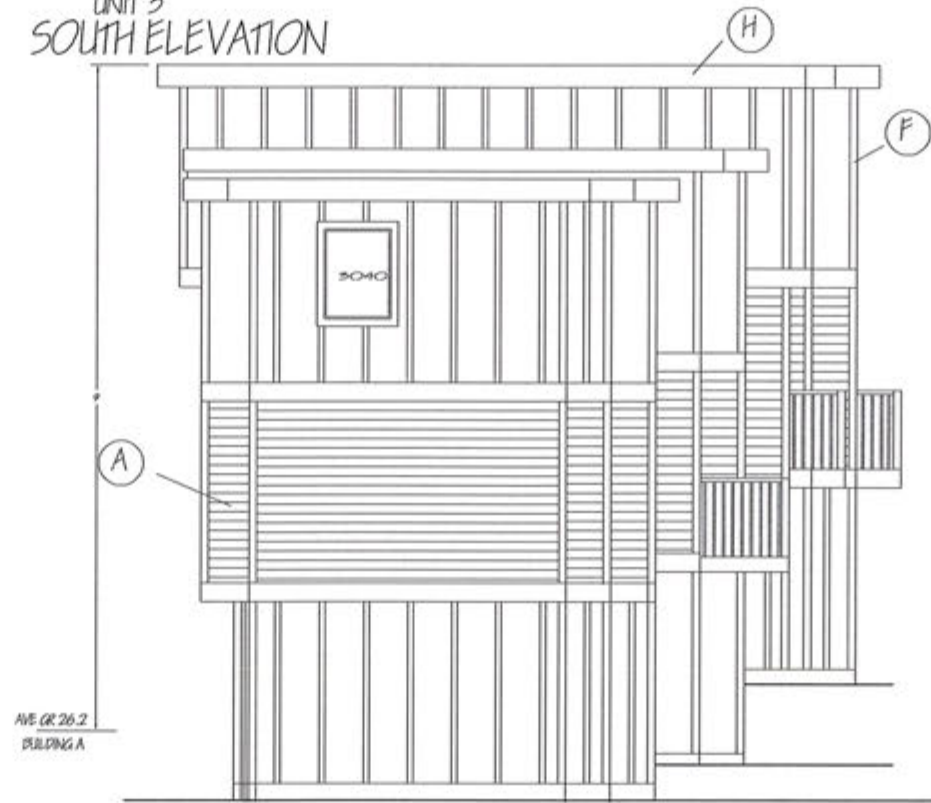


UNIT 3  
SOUTH ELEVATION

- A HARDPLANK SIDING
- B HARDPANEL SIDING C/ W 1X4 BATTENS
- C HARD SHINGLE
- D HARDPANEL SIDING C/ W 1X2 BATTENS
- E 2X10 COMB FACE
- F 1X4 TRIM BOARDS
- G LAMINATE SHINGLES
- H HARD PANEL
- I CULTURED STONE VENEER



WEST ELEVATION UNIT 5



WEST ELEVATION UNIT 4

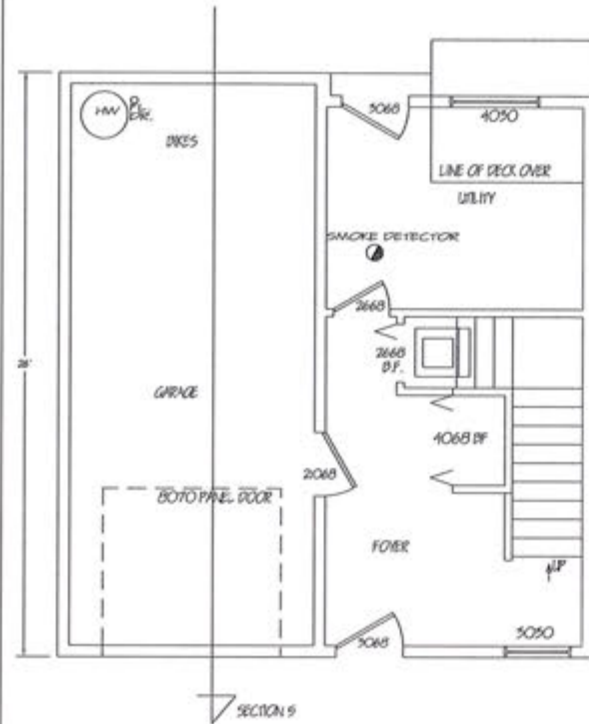
|                                                                                    |                |       |
|------------------------------------------------------------------------------------|----------------|-------|
| Added 3rd floor deck unit 1                                                        |                | 11/18 |
| No.                                                                                | Revision/Issue | Date  |
| Burrows Holdings Ltd<br>2614 Okear Pt Rd Sooke BC V9Z 0J3<br>250-642-5719          |                |       |
| Project Name and Address<br><br>656-642 DRANE AVE<br>PANAMA PACIFIC PROPERTIES LTD |                |       |
| Project                                                                            | Revised's Memo | Sheet |
| Date                                                                               | SEPT 10/ 2018  | 4     |
| Scale                                                                              | 1:50           |       |

FRAME  
REVDATE  
USER

# UNIT 5 & 6

| No.                                                                               | Revision/Issue | Date  |
|-----------------------------------------------------------------------------------|----------------|-------|
| Burnco Holdings Ltd<br>2614 Oster Pl Rd Suite DC V9Z 0J3<br>250-642-9719          |                |       |
| Project Name and Address<br><br>656-642 ORANGE AVE<br>DUNN PACIFIC PROPERTIES LTD |                |       |
| Project                                                                           | Robert's Menu  | Sheet |
| Date                                                                              | SEPT 10 / 2018 | 5     |
| Scale                                                                             | 1:50           |       |

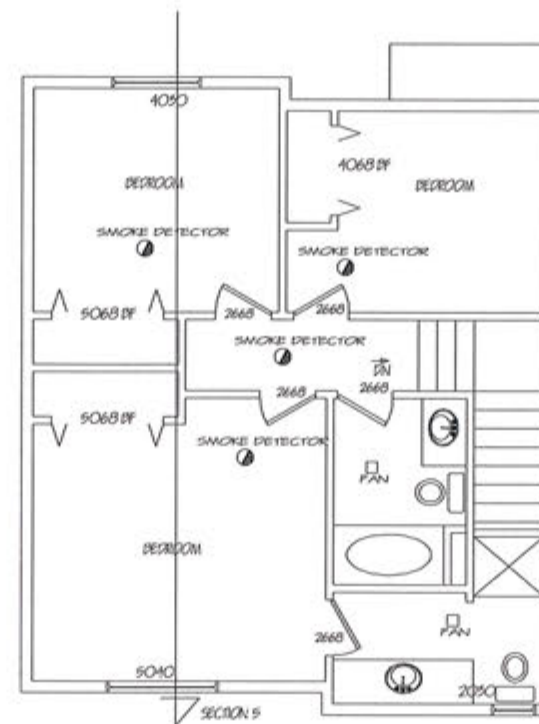
- A HARDPLANK SIDING
- B HARDIPANEL SIDING C/ W 1X4 BATTENS
- C HARD SHINGLE
- D HARDIPANEL SIDING C/ W 1X2 BATTENS
- E 2X10 COMB FACE
- F 1X4 TRIM BOARDS
- G LAMINATE SHINGLES
- H HARDI PANEL
- I CULTURED STONE VENEER



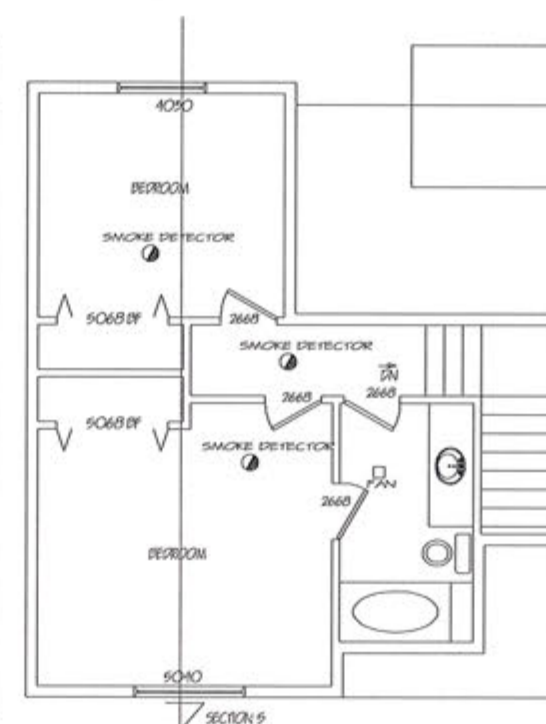
GROUND FLOOR



MAIN FLOOR



UPPER FLOOR 5



UPPER FLOOR 6



UNIT 5 SOUTH ELEVATION UNIT 6



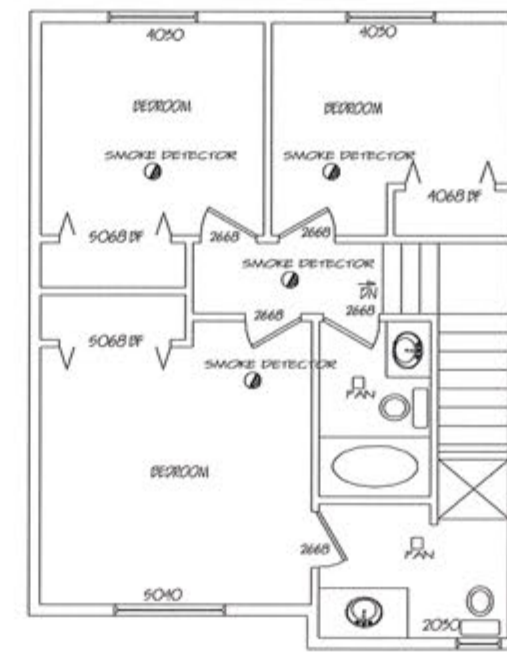
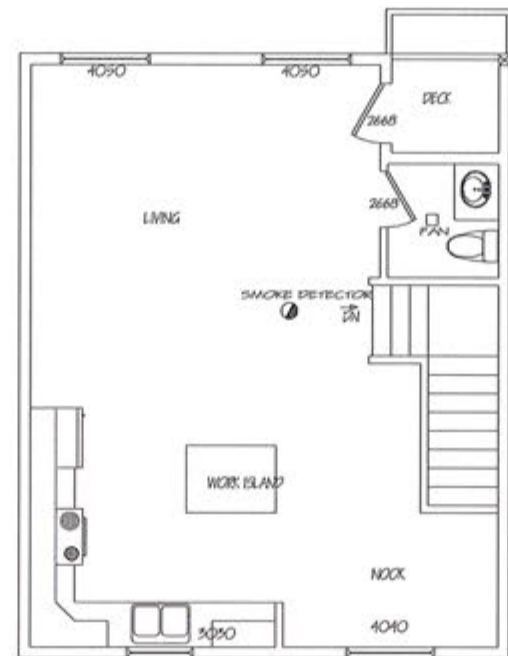
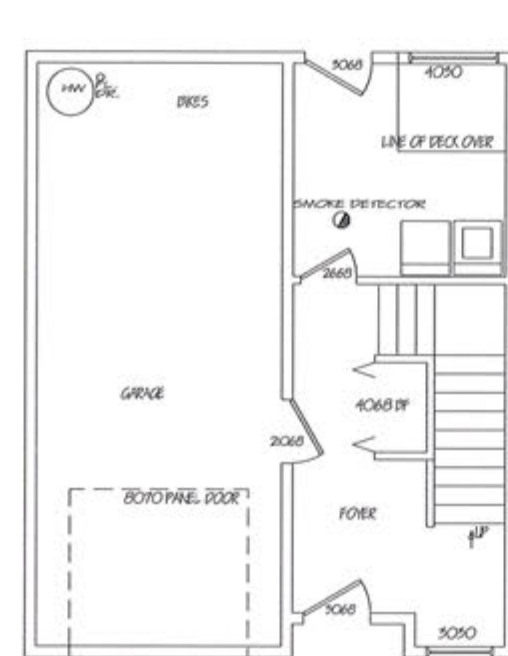
UNIT 7 SOUTH ELEVATION UNIT 8



# UNIT 7

|                                                                               |                |       |
|-------------------------------------------------------------------------------|----------------|-------|
| Added 3rd floor deck unit 6                                                   |                | 11/18 |
| No.                                                                           | Revision/Issue | Date  |
| Burrows Holdings Ltd<br>2614 Otter Pt Rd Suite DC V9Z 0J1<br>250-642-5715     |                |       |
| Project Name and Address<br>656-642 DRIVE AVE<br>DOWNA PACIFIC PROPERTIES LTD |                |       |
| Project                                                                       | Robert's Menu  | Sheet |
| Date                                                                          | SEPT 10/2018   | 6     |
| Scale                                                                         | 1:50           |       |

- A HARDPLANK SIDING
- B HARDIPANEL SIDING C/ W 1X4 BATTENS
- C HARDI SHINGLE
- D HARDIPANEL SIDING C/ W 1X2 BATTENS
- E 2X10 COMB FACE
- F 1X4 TRIM BOARDS
- G LAMINATE SHINGLES
- H HARDI PANEL
- I CULTURED STONE VENEER



GROUND FLOOR

MAIN FLOOR

UPPER FLOOR

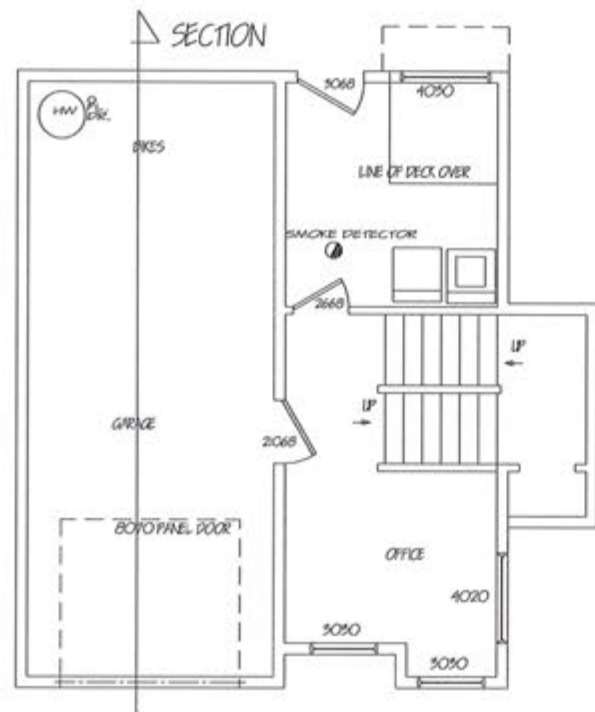


UNIT 8 NORTH ELEVATION UNIT 7

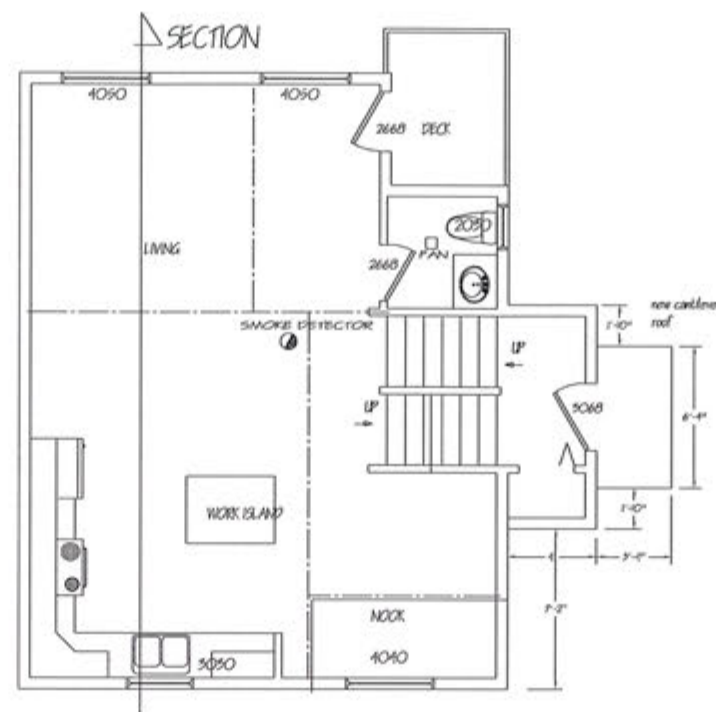


UNIT 6 NORTH ELEVATION UNIT 5

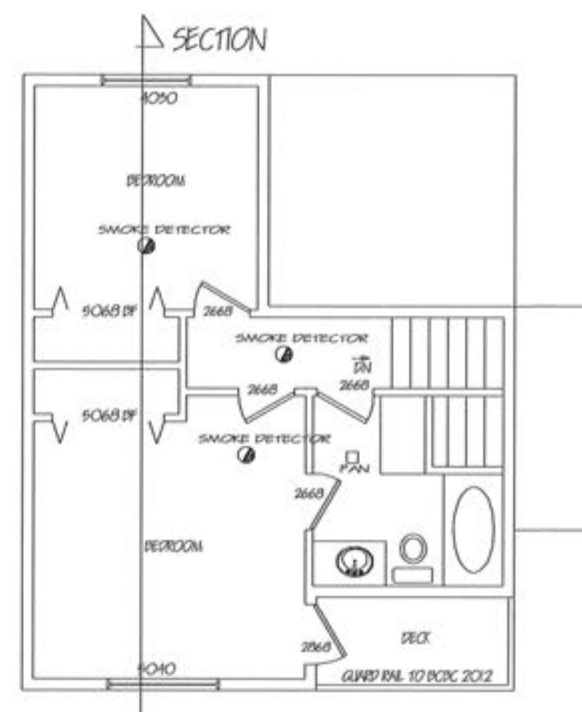
USER REVDATE FNAME



GROUND FLOOR

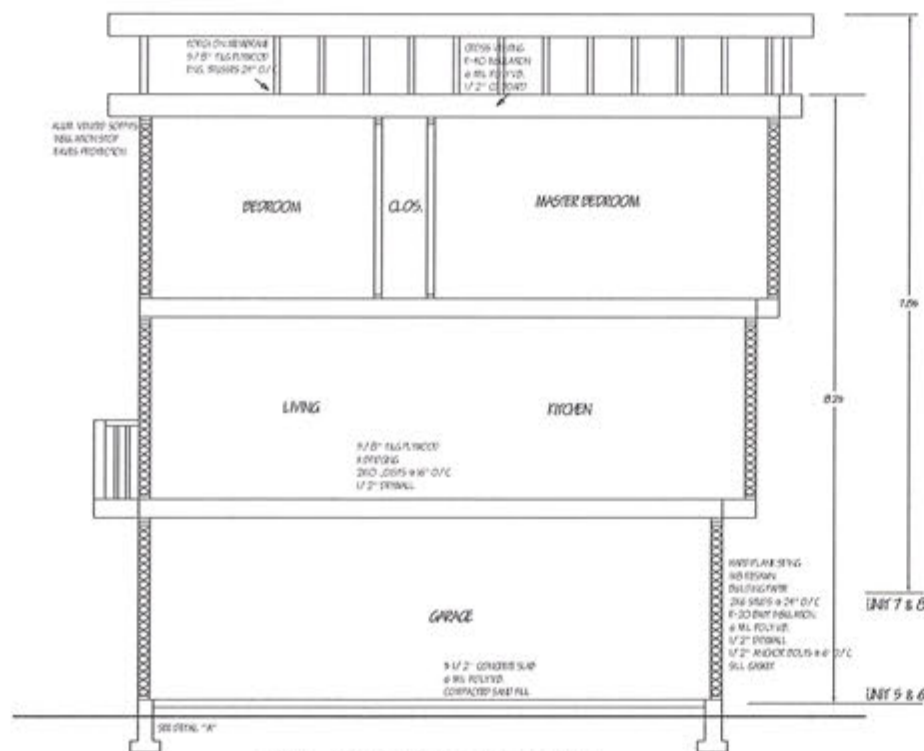


MAIN FLOOR



UPPER FLOOR

# UNIT 8



TYP CROSS SECTION

UNIT 5



|                                                                              |                |       |
|------------------------------------------------------------------------------|----------------|-------|
| Added 3rd floor deck unit B                                                  |                | 11/18 |
| No.                                                                          | Revision/Issue | Date  |
| Barrow Holdings Ltd<br>2814 Oiler Pt Rd Suite DC V9Z 0J1<br>250-642-5716     |                |       |
| Project Name and Address<br>636-642 DRIVE AVE<br>DIMA PACIFIC PROPERTIES LTD |                |       |
| Project                                                                      | Robert's Mews  | Drawn |
| Date                                                                         | SEPT 10 / 2018 | 7     |
| Scale                                                                        | 1:50           |       |

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OF ESQUIMALT  
DEVELOPMENT SERVICES

|                                                                                   |                |       |
|-----------------------------------------------------------------------------------|----------------|-------|
| No.                                                                               | Revision/Issue | Date  |
| Burrows Holdings Ltd<br>2614 Otter Pt Rd Suite BC V9Z 0J3<br>250-642-5716         |                |       |
| Project Name and Address<br><br>626-642 DRAKE AVE<br>DIMMA PACIFIC PROPERTIES LTD |                |       |
| Project                                                                           | Robert's News  | Sheet |
| Date                                                                              | JAN 28 / 2018  | 8     |
| Scale                                                                             | 1:100          |       |



CONTEXT DRAWING FROM DRAKE AVE

RE/DATE

USER

# SHADOW STUDY - SUMMER SOLSTICE



JUNE 20 8 AM



JUNE 20 12 PM



JUNE 20 4 PM

# SHADOW STUDY – VERNAL EQUINOX



MARCH 19 8 AM



MARCH 19 12 PM



MARCH 19 4 PM

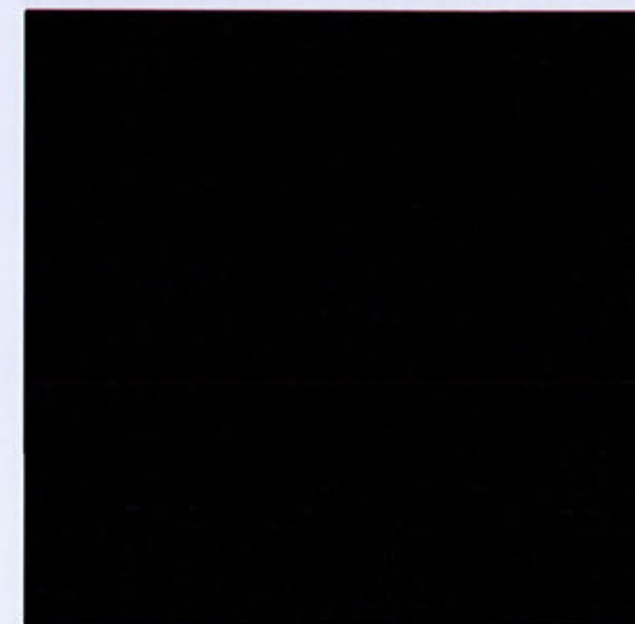
# SHADOW STUDY - WINTER SOLSTICE



DECEMBER 21 8 AM



DECEMBER 21 12 PM



DECEMBER 21 4 PM

