

ST PETER'S AND ST PAUL'S HOUSING AND MINISTRY CENTRE

1379 ESQUIMALT ROAD

LOT A (DD EP75276), SUBURBAN LOT 27, ESQUIMALT DISTRICT, PLAN 5092, PID 024-848-905



9	DP FORM & CHARACTER REVISION	2019-03-12
7	DEVELOPMENT PERMIT SUBMISSION	2019-02-15
5	HAP DRAFT	2019-02-11
4	UPDATED REZONING RE-SUBMISSION	2018-06-07
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2	REZONING APPLICATION RE-SUBMISSION	2018-02-19
1	REZONING APPLICATION SUBMISSION	2017-10-25
0	REZONING	2017-09-01

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DATE	NTS	2019-02-15
SCALE		
PROJECT		
CLIENT		
DESIGNER		
DATE		

**St Peter's and St Paul's
Housing and
Ministry Centre**

Cover Sheet, Project Data,
and List of Drawings

DATE	SP/DS	BC
DRAWN BY	XXXXXX	
CHECKED BY		
DATE	2017505	
PROJECT NO.		
DATE		

A-00

PROJECT DATA

	Current Zoning Requirements	Existing Site (Pre-Subdivision) Data	Proposed Subdivided Site Data	Proposed Subdivided Site Data	Proposed Subdivided Site Data	Setback Zoning Exemptions
Zoning	CD-23 Zone	CD-23 Zone	Existing 'Hermitage' Lot (Area A)	New Lot and New Zone (CD) (Area B)	Subdivided Cemetery Lot (Area C)	
Site Area	min. 6,284 sq.m (67,640 sf)	6,270 sq.m (67,492 sf)	3,407 sq.m (36,677 sf)	2,766 sq.m (29,775 sf)	97 sq.m (1,044 sf)	
Building Footprint	/	1,679.3 sq.m (18,077 sf)	1,067.6 sq.m (11,491 sf)	Proposed 540 Church 300, Total 840 sq.m (9,006 sf)	/	
Total Building Floor Area	/	3,280.7 sq.m (35,377 sf)	2,987.1 sq.m (32,152 sf)	Proposed 1,520 Church 280, 1,800 sq.m (19,375 sf)	/	
Number of Storeys	/	The Hermitage - 4, Church - 1.5	The Hermitage - 4	Proposed - 5, Church - 3.5	/	
Height	20m (65.6 ft)	The Hermitage - 14m (45.9 ft), Church - 10m (32.8 ft)	The Hermitage - 14m (45.9 ft)	From Grade Proposed - 15.7m (51.5 ft), Church - 9.2m (30.3 ft)	/	
Site Coverage	30%	1,679.3 / 6,270 = 26.7%	1,067.6 / 3,407 = 31%	840 / 2,766 = 31%	/	
Floor Area Ratio	1	0.51	0.881	Proposed 0.553, Church 0.101, Total 0.654	/	
Number of Units	39 plus 1 guest per 157 sq.m	26	26	24	/	
Number of Parking Stalls	45	25 Church stalls, 7 on-site stalls, 13 off-site stalls = 45 total	17 U/V stalls, 7 on-site stalls = 24 total	27 on-site stalls, 4 off-site stalls = 31 total	/	
South Setback	4.5m (14.8 ft)	4.4m (14.5 ft)	4.4m (14.5 ft)	9.9m (32.5 ft)	/	
North Setback	17m (55.8 ft)	46m (150.9 ft)	12m (39.4 ft)	3.2m (10.5 ft)	/	From Church Stairs to Prop. Line = 1.12m
East Setback	12m (39.4 ft)	9.4m (30.7 ft)	9.4m (30.7 ft)	17.4m (57.1 ft)	/	Church to Cemetery lot line = 0.5m
West Setback	8.5m (27.9 ft)	9.1m (29.9 ft)	9.1m (29.9 ft)	3.1m (10.1 ft)	/	From Balcony to Prop. Line = 2.2m
Green Space	/	2,907 sq.m (31,292 sf) 46%	1,468 sq.m (15,801 sf) 43%	970 sq.m (10,441 sf) 35%	97 sq.m (1,044 sf)	
Impervious Surface Space	/	3,363 sq.m (36,209 sf) 54%	1,939 sq.m (20,871 sf) 57%	1,796 sq.m (19,332 sf) 65%	/	

LIST OF DRAWINGS

ARCHITECTURAL

- A-00- COVER SHEET, PROJECT DATA AND LIST OF DRAWINGS
- A-01- EXISTING SITE PLAN
- A-02- EXISTING SITE SURVEY
- A-03- SITE SUBDIVISION PLAN
- A-04- PROPOSED SITE PLAN
- A-05- PROPOSED MAIN AND SECOND TO FOURTH FLOOR PLAN
- A-06- PROPOSED FIFTH AND ROOF PLAN
- A-07- PROPOSED ELEVATIONS
- A-08- PROPOSED ELEVATIONS
- A-09- PROPOSED CROSS SECTION
- A-10- 3D MODEL IMAGES
- A-11- 3D MODEL IMAGES
- A-12- 3D MODEL IMAGES

LANDSCAPING

- L-01- LANDSCAPE CONCEPT PLAN
- L-02- TREES, SHRUBS AND HARDSCAPING

SITE SERVING (CIVIL)

- C-01- SITE PLAN
- C-02- GRADING PLAN



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Existing Site Plan

SP/DS	BC
XXXXX	
2017505	A-01

1 Existing Site Plan
SCALE: 1:200

Site Plan Of:
 Lot A (DD EP75276), Suburban Lot 27,
 Esquimalt District, Plan 5092.



Scale = 1:250

Dated this 25th day of February, 2015.

Elevations are based upon geodetic datum and referenced to OCM 864028.

Elevations & distances shown are in metres.



Lines and grade points added by number TEN

LEGEND:

Property Line	---
Set backs	---
Utility Strata	---
Average Building Grade Points	---



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Existing Site Survey

DATE	SP/D/S	BC
DATE	XXXXX	
DATE	2017505	
DATE		

A-02

Wey Maynburg Land Surveying Inc.
 www.weysurveys.com
 #4-3327 James White Boulevard
 Sidney, BC V8L 1Z5
 Telephone (250) 856-5155
 Fax (250) 856-5156

The subject property is affected by
 the following registered documents:
 E521302, E726643, E130925.





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CONSULTANTS

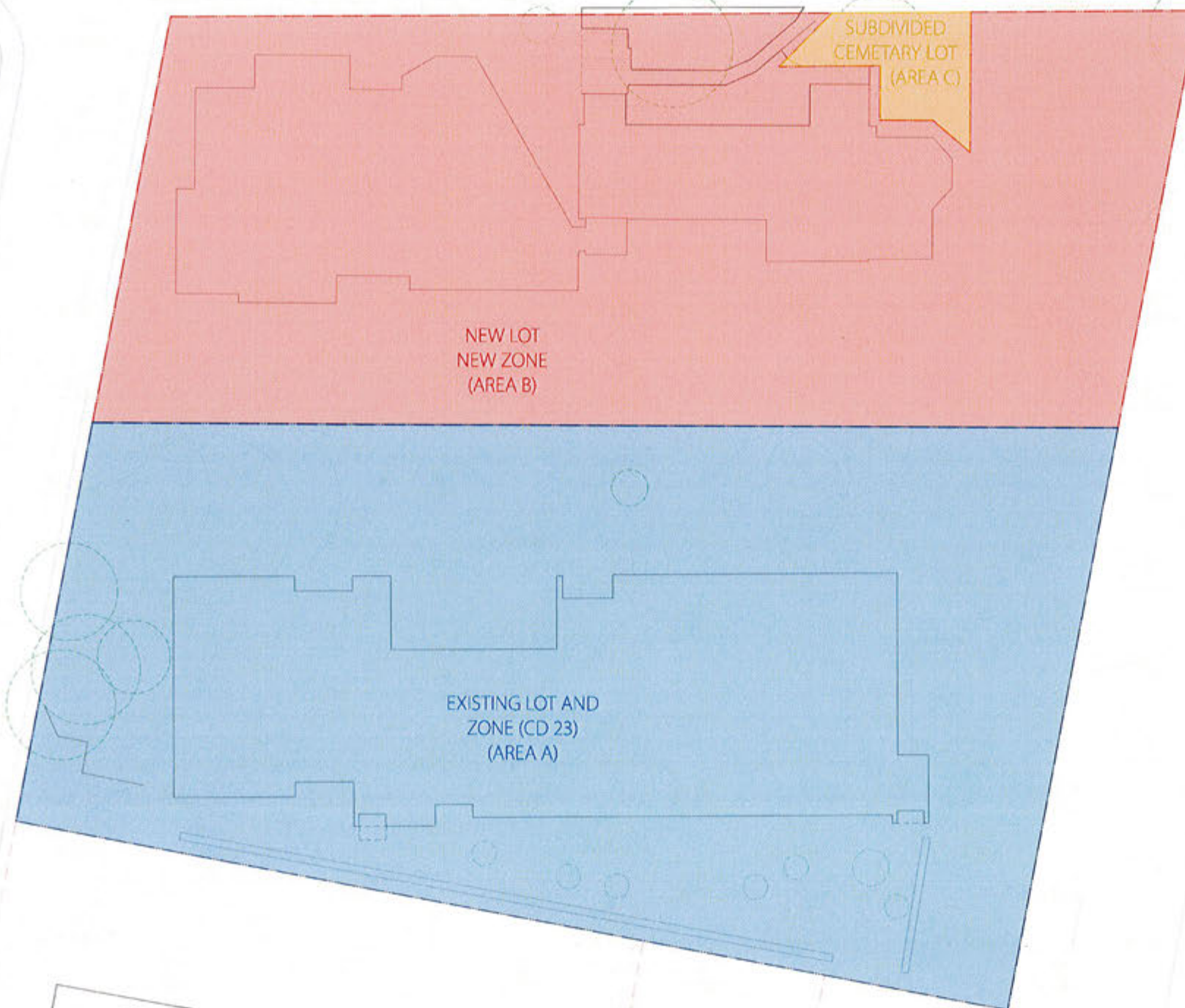
SCALE 1:200 DATE 2019-02-15

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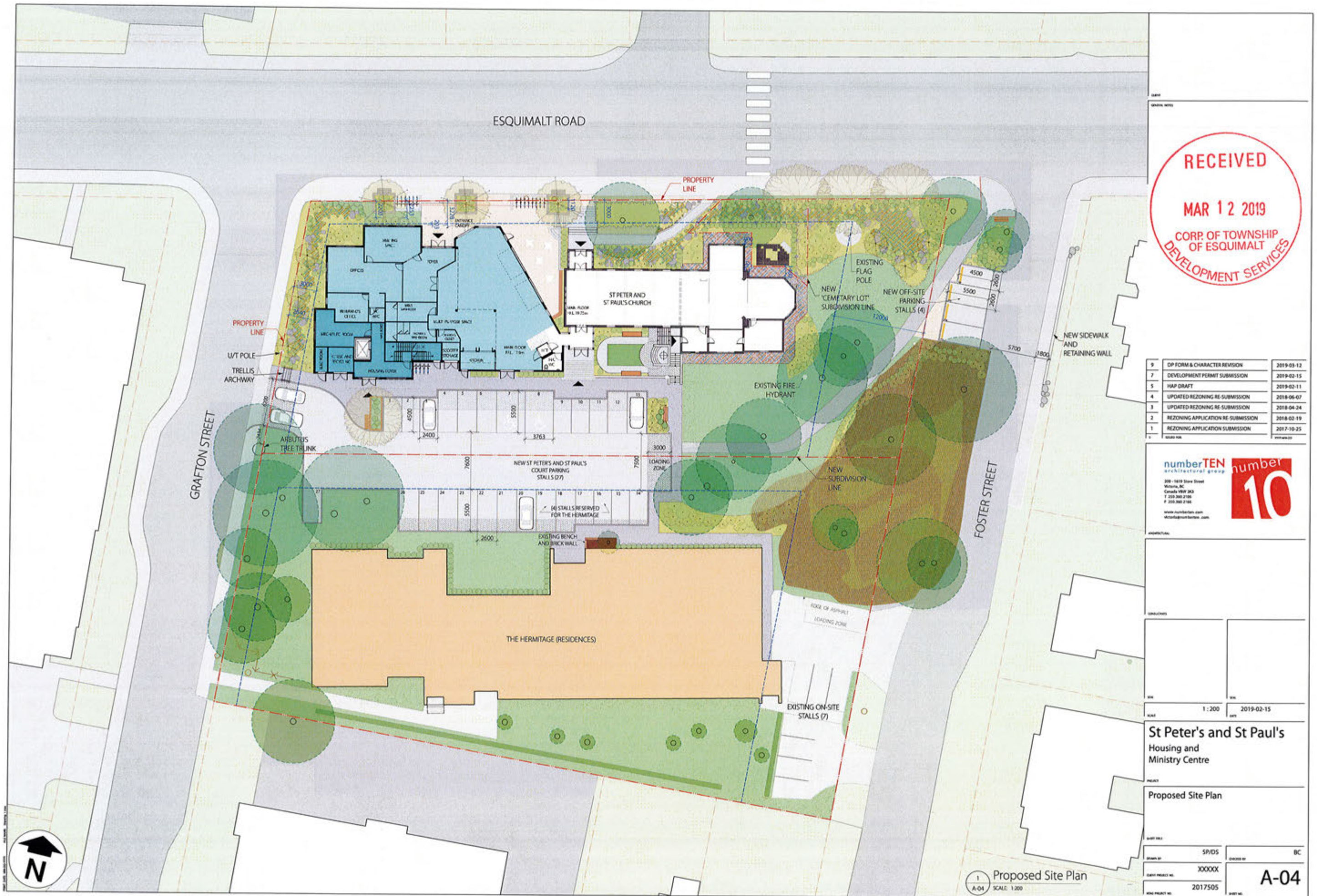
PROJECT
Site Subdivision Plan

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DATE PROJECT NO.	2017505		

A-03



1 Site Subdivision Plan
A-03 SCALE: 1:200



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DATE	1:200	2019-02-15
SCALE		
DATE		
SCALE		
DATE		
SCALE		

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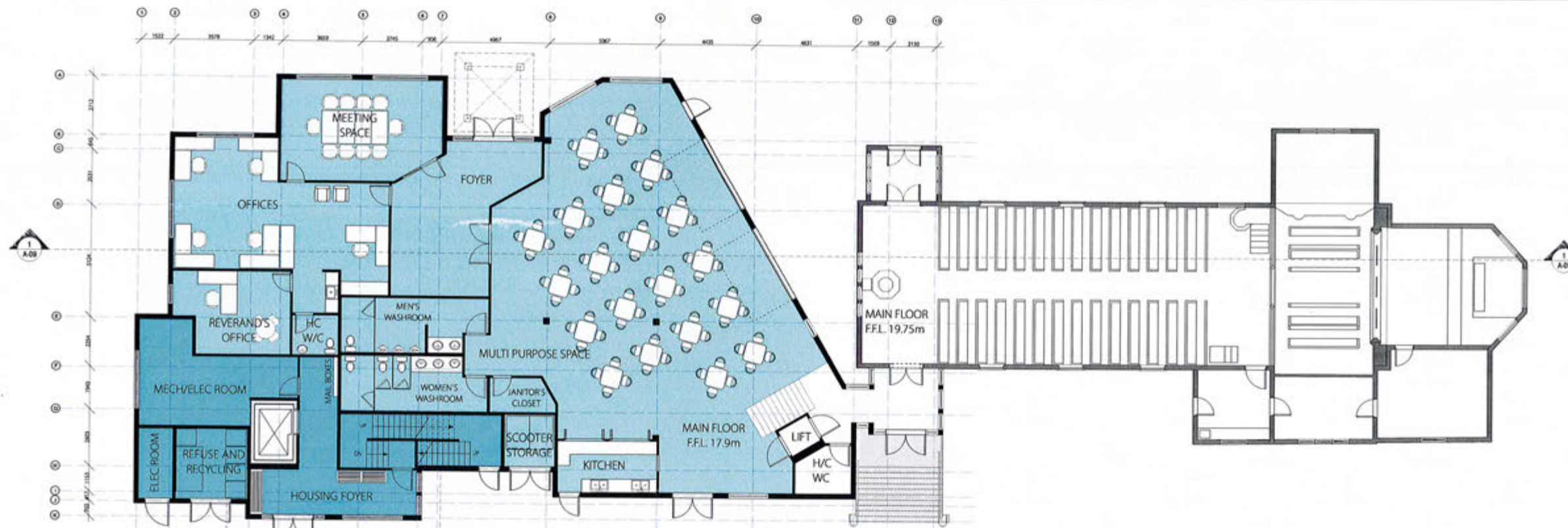
Proposed Site Plan

SP/DS	BC
XXXXX	
2017505	

Proposed Site Plan

SCALE: 1:200

A-04



1 Main Floor Plan
A-05 SCALE: 1:100

UNIT TYPE	
UNIT A -	ONE BEDROOM
NET AREA =	40 sq.m (430 sf)
TOTAL COUNT =	4
UNIT B -	ONE BEDROOM
NET AREA =	39 sq.m (415 sf)
TOTAL COUNT =	8
UNIT C -	ONE BEDROOM
NET AREA =	37 sq.m (395 sf)
TOTAL COUNT =	8
UNIT D -	ONE BEDROOM
NET AREA =	40 sq.m (430 sf)
TOTAL COUNT =	4

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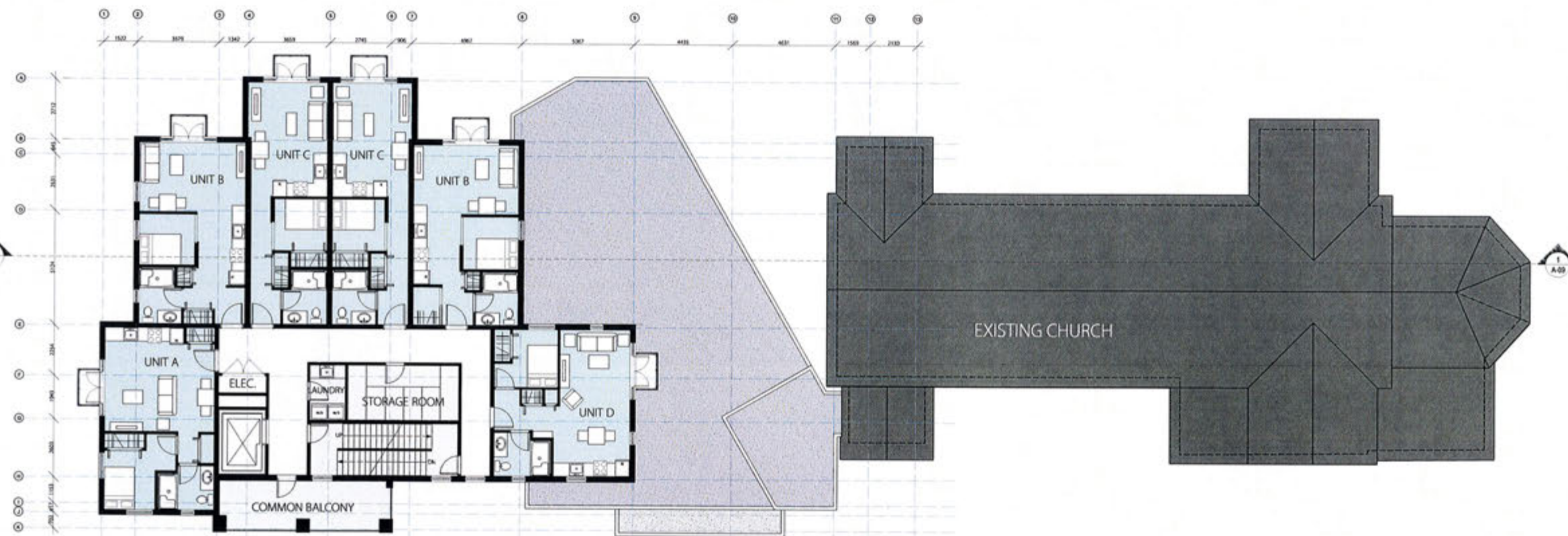
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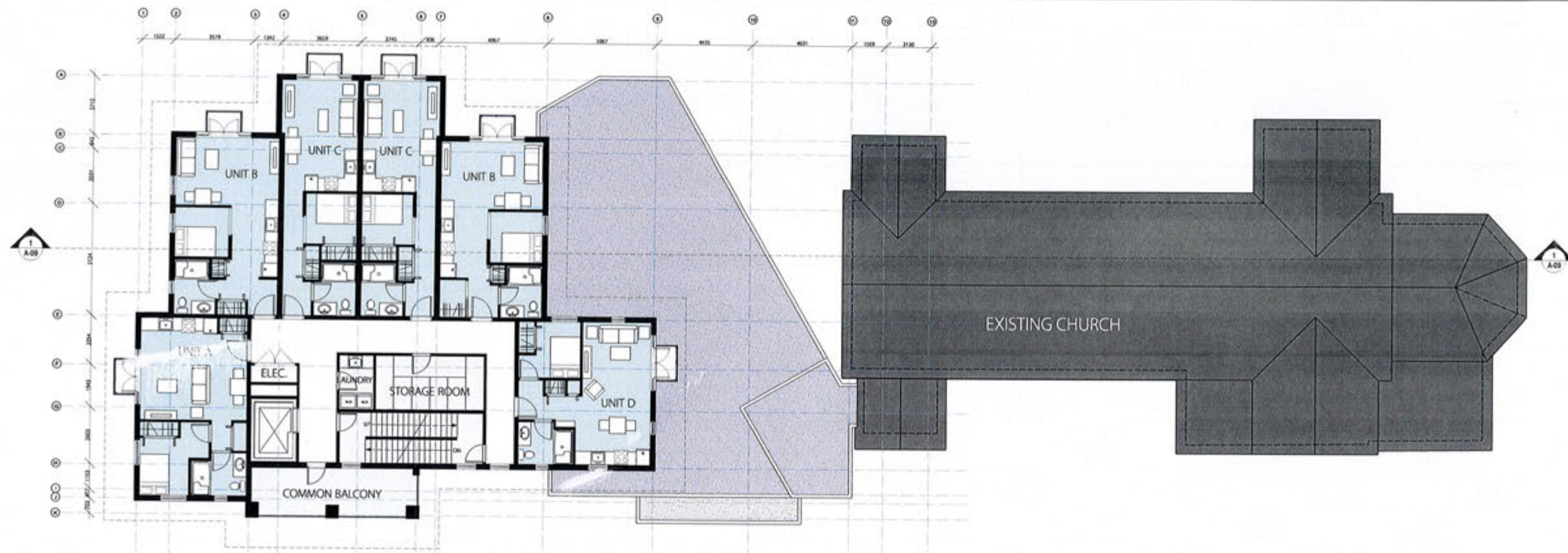
Proposed Main and Second
to Fourth Floor Plan

DESIGNED BY	SP/DS	DRAWN BY	XXXXX
CLIENT PROJECT NO.	2017505	PROJECT NO.	2017505
DATE	2019-02-15	BY	BC
		A-05	



2 Second to Fourth Floor Plan
A-05 SCALE: 1:100





1 Fifth Floor Plan
A-06 SCALE: 1:100

UNIT TYPE	
UNIT A -	ONE BEDROOM
NET AREA =	40 sq.m (430 sf)
TOTAL COUNT =	4
UNIT B -	ONE BEDROOM
NET AREA =	39 sq.m (415 sf)
TOTAL COUNT =	8
UNIT C -	ONE BEDROOM
NET AREA =	37 sq.m (395 sf)
TOTAL COUNT =	8
UNIT D -	ONE BEDROOM
NET AREA =	40 sq.m (430 sf)
TOTAL COUNT =	4

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SCALE: 1:100 DATE: 2019-02-15

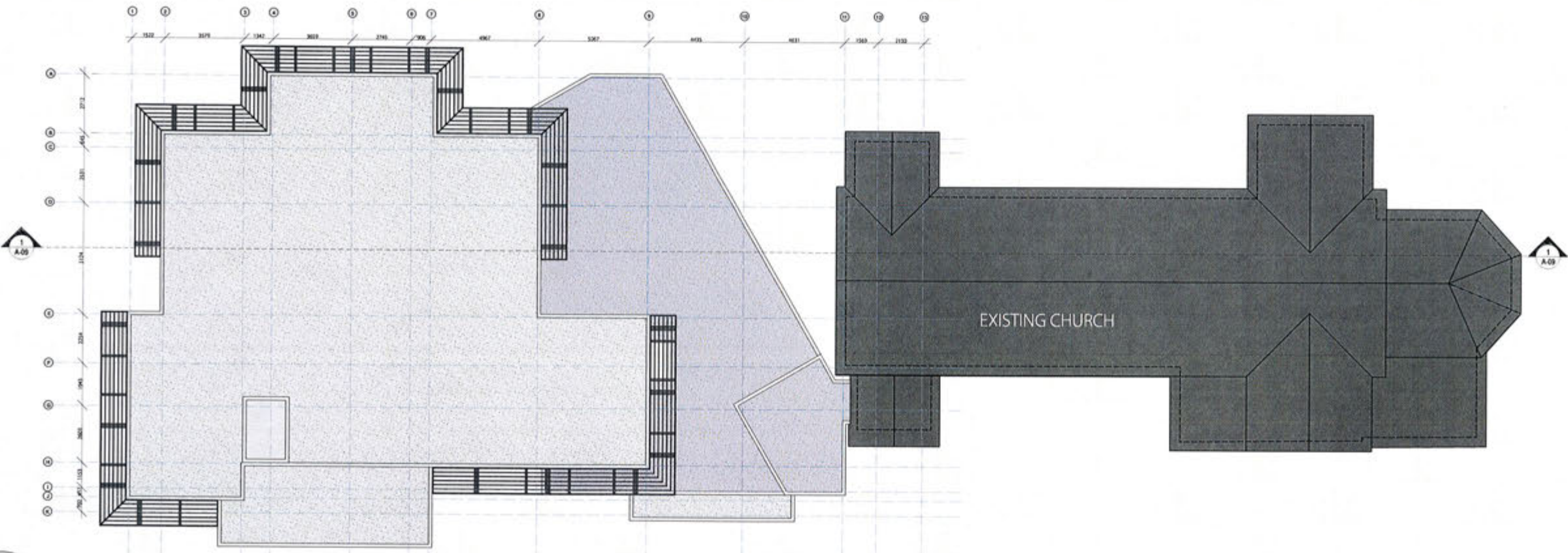
**St Peter's and St Paul's
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PROJECT: Proposed Fifth And Roof Plan

SHEET NO. 1

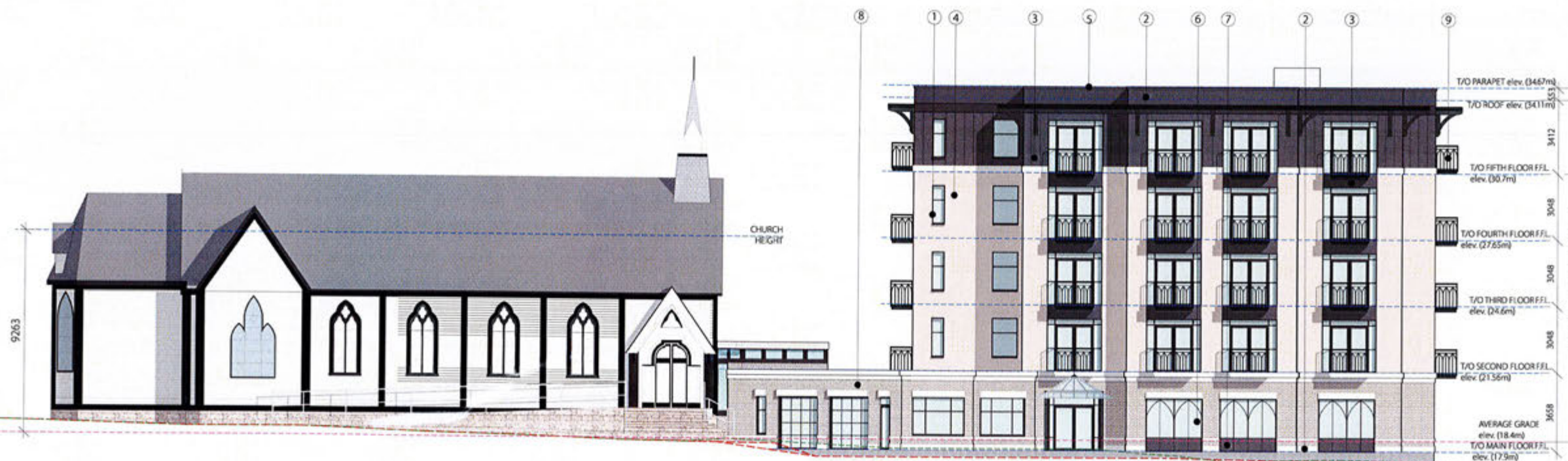
DESIGNED BY: SP/DS	CHECKED BY: BC
DRAWN BY: XXXXX	
CLIENT PROJECT NO. 2017505	
DATE: 2017-10-25	

A-06



2 Roof Plan
A-06 SCALE: 1:100





1 North Elevation
SCALE: 1:100



2 West Elevation
SCALE: 1:100

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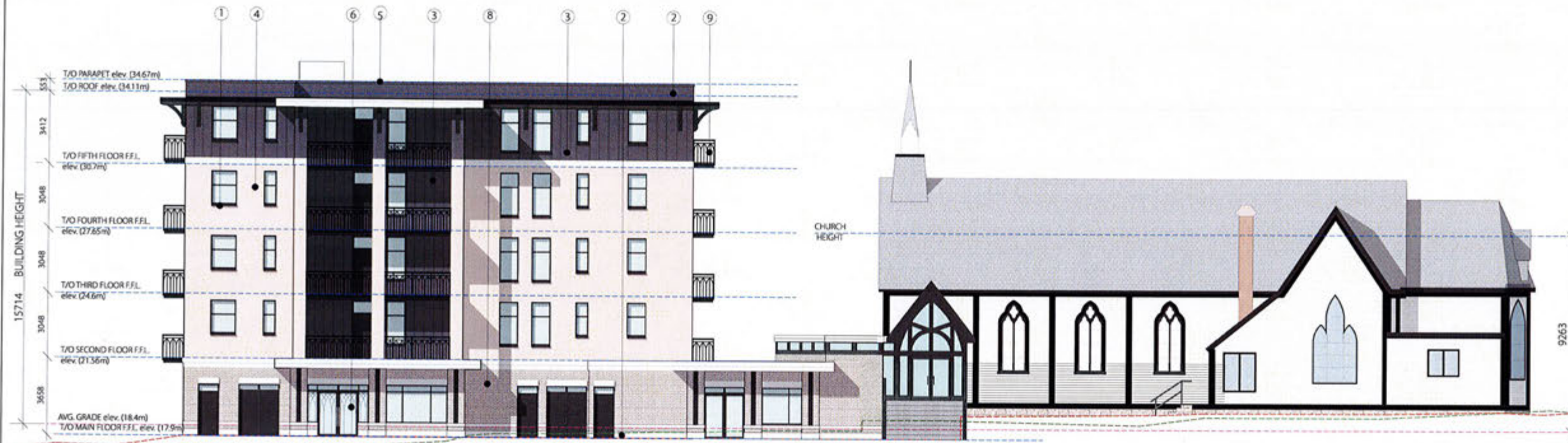
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DEVELOPMENT SERVICES

SCALE: 1:100 DATE: 2019-02-15

St Peter's and St Paul's
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Proposed Elevations

SP/DS	BC
XXXXXX	
2017505	A-07



1 South Elevation
A-08 SCALE: 1:100



2 East Elevation
A-08 SCALE: 1:100

LEGEND:

NATURAL (EXISTING) GRADE:	---
PROPOSED GRADE:	---

- 1 Window frame - Benjamin Moore 'Black'
- 2 Stucco Trim - Benjamin Moore 'Decorator's White'
- 3 Stucco Siding - Benjamin Moore 'Day's End'
- 4 Stucco Siding - Benjamin Moore 'Dufferin Terrace'
- 5 Aluminium Trim - Benjamin Moore 'Decorator's White'
- 6 Clear Glass
- 7 Sprandel Glass
- 8 Brick - Mutual Materials 'Limestone'
- 9 Railing - Benjamin Moore 'Black'

9	DP FORM & CHARACTER REVISION	2019-03-12
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Proposed Elevations

DESIGNED BY	SP/DS	CHECKED BY	BC
CLIENT PROJECT NO.	XXXXXX		
DATE PROJECT NO.	2017505		

A-08



1 Section Through Building and Church
A-09 SCALE: 1:100

LEGEND

NATURAL (EXISTING) GRADE:	-----
PROPOSED GRADE:	-----

- 1 Window Frame - Benjamin Moore 'Black'
- 2 Stucco Trim - Benjamin Moore 'Decorator's White'
- 3 Stucco Siding - Benjamin Moore 'Day's End'
- 4 Stucco Siding - Benjamin Moore 'Dufferin Terrace'
- 5 Aluminium Trim - Benjamin Moore 'Decorator's White'
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- 7 Sprandrel Glass
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Proposed Cross Section

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CLIENT PROJECT NO.	XXXXXX		
WORK PROJECT NO.	2017505		

A-09



1 North Elevation
A-10 SCALE



2 View of Esquimalt Road Patio
A-10 SCALE



3 View Looking East On Esquimalt Road
A-10 SCALE

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3D Model Images

SP/DS	BC
XXXXX	A-10
2017505	



Aerial View



2 View of Front Patio
A-11 SCALE:



3 View of Patio Entry

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3D Model Images

SP/DS	
XXXXX	A-11
2017505	



1 West Side View From Across Grafton St.
A-12 SCALE



2 View of Housing Entrance
A-11 SCALE



3 South Elevation From Parking
A-12 SCALE



4 View From Backyard
A-12 SCALE

REVISIONS

NO.	DESCRIPTION	DATE
9	OP FORM & CHARACTER REVISION	2019-03-12
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DATE 2019-02-15

St Peter's and St Paul's
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3D Model Images

SP/DS BC
XXXXX
2017505
A-12

St. Peter's & St. Pauls

Trees & Shrubs



Crimson King Maple



Vine Maple



Lily of the Valley



California Lilac



Sweet Gum



Shirebana Spirea



Pink Azalea



Austrian Pine



Japanese False Holly

St. Peter's & St. Pauls

Hardscape Features



Prayer Gardens



Memorial Garden



Maze



Rain Gardens



9	DP FORM & CHARACTER REVISION	2019-05-12
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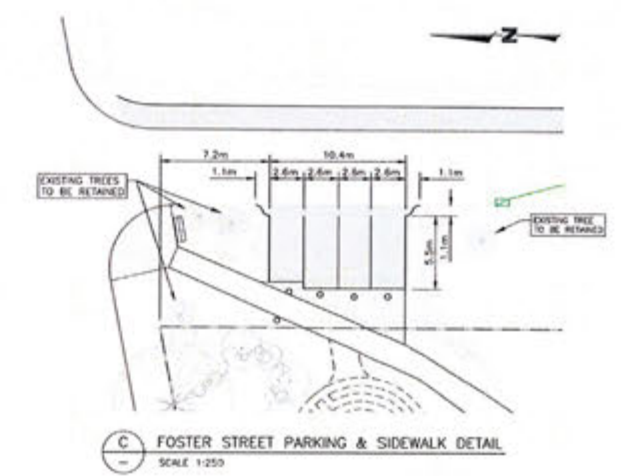
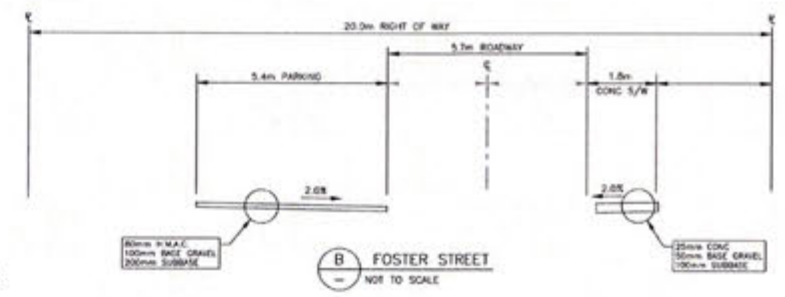
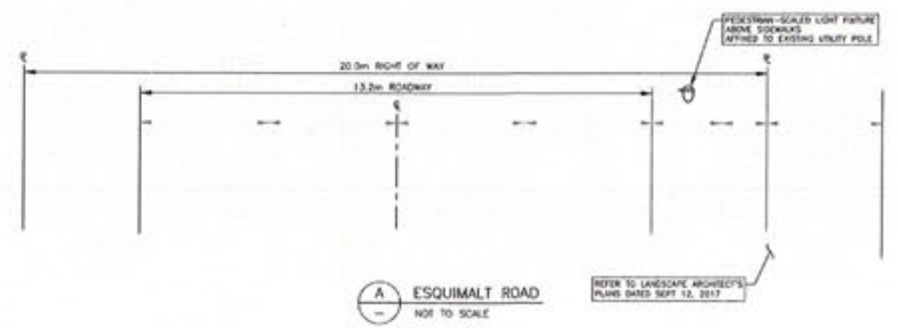
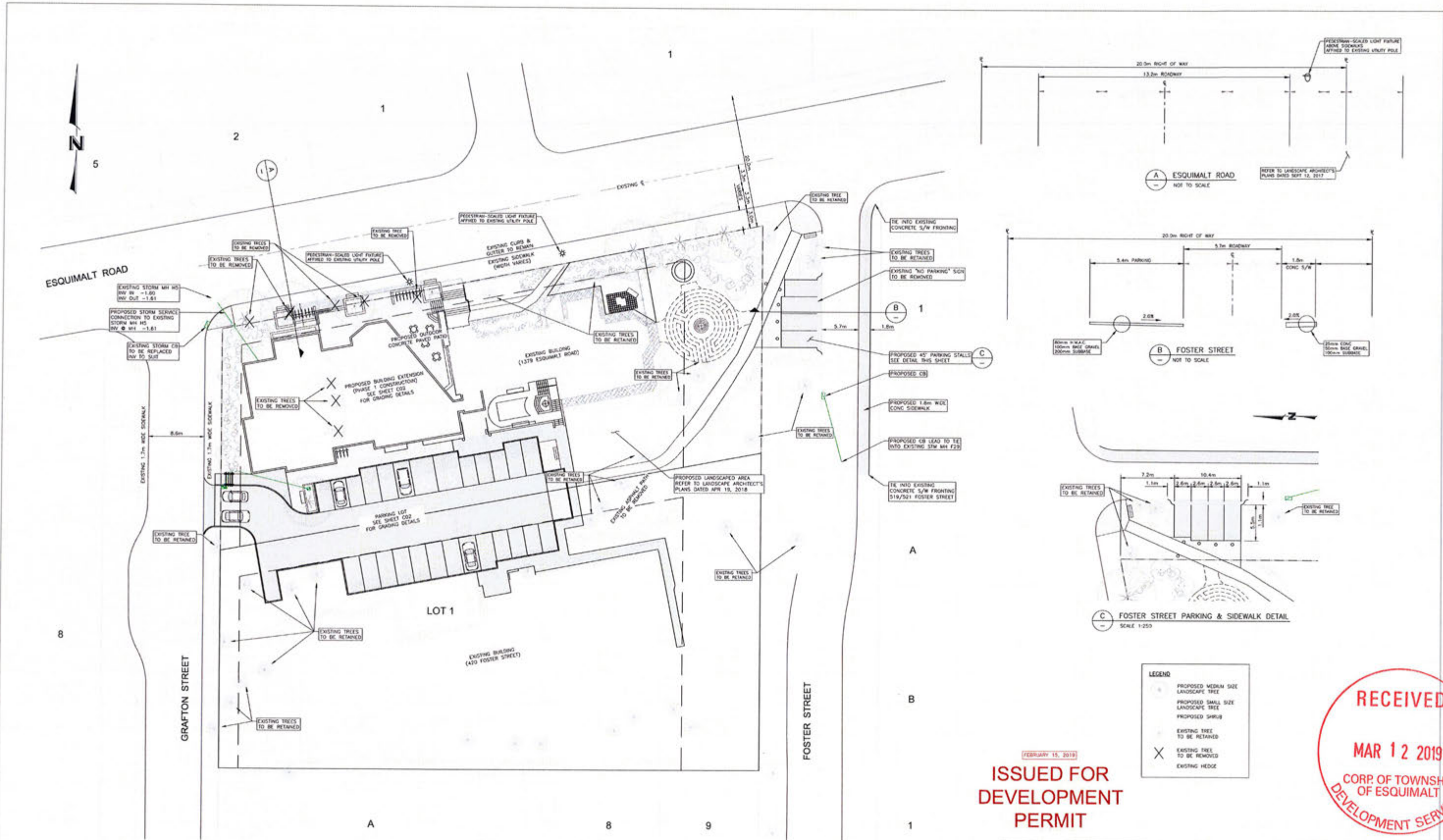
4★ SITE
LANDSCAPE ARCHITECTURE
AND SITE PLANNING 250.806.7900

DATE: 2019-02-15

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Trees, Shrubs and Hardscaping

4 SITE
X000X
2017505
L-02



LEGEND

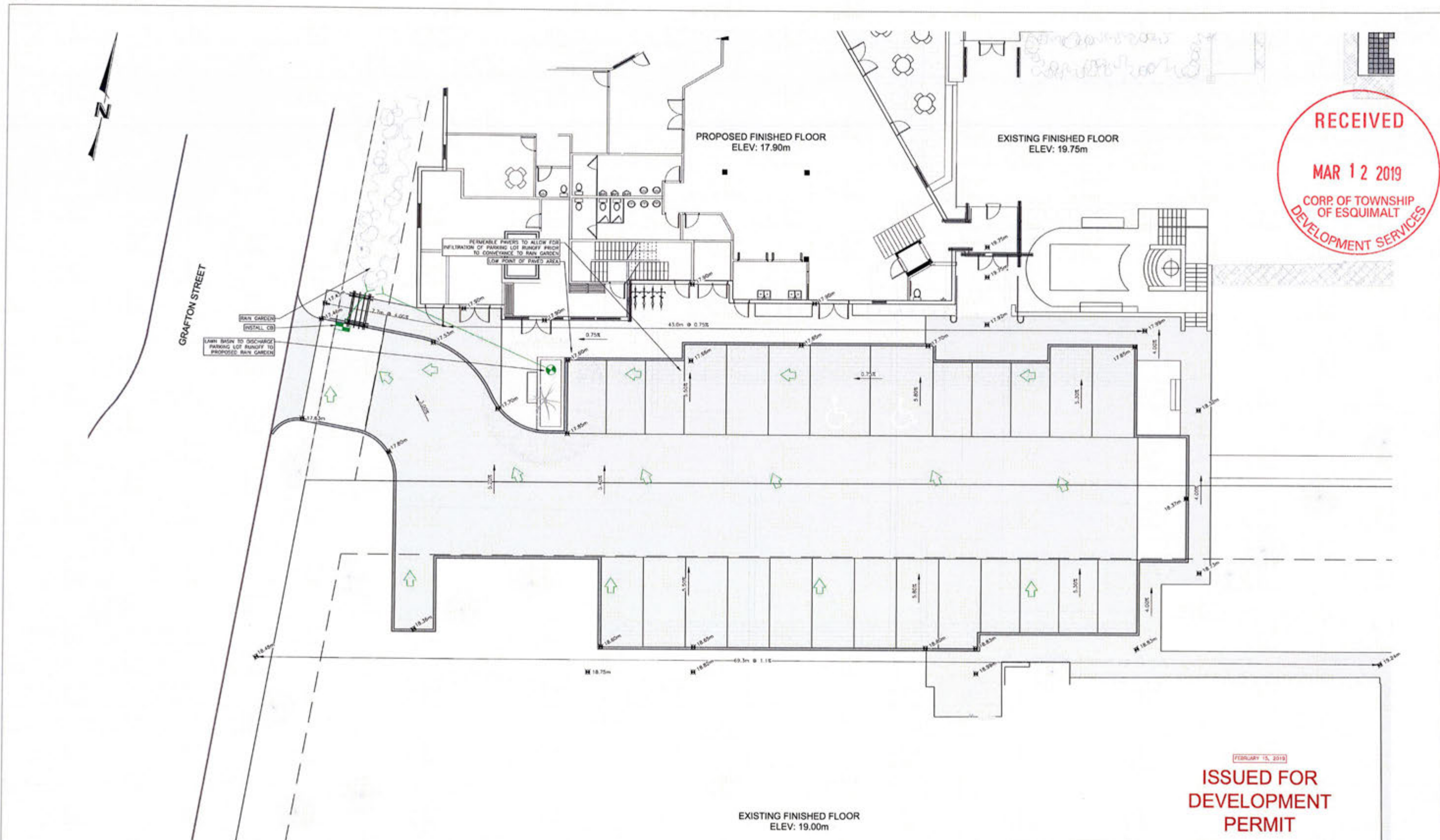
○	PROPOSED MEDIUM SIZE LANDSCAPE TREE
●	PROPOSED SMALL SIZE LANDSCAPE TREE
■	PROPOSED SHRUB
○	EXISTING TREE TO BE RETAINED
X	EXISTING TREE TO BE REMOVED
—	EXISTING HEDGE

ISSUED FOR DEVELOPMENT PERMIT



ISLANDER ENGINEERING		ROGERS HOUSING SOCIETY ROGERS COURT HOUSING & MINISTRY CENTRE		ISLANDER PROJECT No. 2079	
ESQUIMALT, BC		SHEET 1 OF 2		REV.	
DESIGN APPROVED		DATE		SIGN	
EXCEPTIONS		APPROVED BY		DATE	
DESIGN ENG.		DATE		SIGN	
ASSIST. ENG.		DATE		SIGN	
MUNICIPAL ENG.		DATE		SIGN	
1 PARKING LOT, LANDSCAPE, BUILDING ORIENTATIONS, ENTRANCE, AND CONNECTION POINT		FEB 15, 2018			

LEGEND - PROPOSED SERVICES SHOWN DASHED		REVISIONS	
WATER	—	DESCRIPTION	
SEWER	—		
GAS	—		
DRAIN	—		
EDGE	—		
POW. POLE	—		
ANCHOR	—		
MANHOLE	○		
VALVE	○		
CATCHBASIN	○		
SILTTRAP	○		
AIR VALVE	○		
METER	○		
REDUCER	—		
CAP	—		
CLWERT	—		
HEADWALL	—		
ROAD SIGN	—		
MOULVENT	○		
LOT PIN	—		
LEAD PLUG	—		



ISSUED FOR
DEVELOPMENT
PERMIT

ISLANDER ENGINEERING		ROGERS HOUSING SOCIETY		ISLANDER PROJECT No.	
ROGERS COURT HOUSING & MINISTRY CENTRE		ESQUIMALT, BC		2079	
DESIGN APPROVED		DESIGN		SHEET 2 OF 2	
DESIGN		DRAWN		DWG No.	
Scales: H.P. AS NOTED		CHECKED		C02	
DATE		DATE		DATE	
FEB 15, 2019		JUNE 2018		FILE No.	