



**The Lincoln  
Re-issued for Rezoning  
October 20, 2025**



**FINLAYSON  
BONET**  
ARCHITECTURE LTD.



GENERAL NOTES

1. ALL WORK TO CONFORM TO 2024 BRITISH COLUMBIA BUILDING CODE AND ALL OTHER APPLICABLE CODES, BYLAWS AND STANDARDS.

2. ALL DIMENSIONS ARE IN METRIC (MILLIMETERS) UNLESS NOTED OTHERWISE.

3. ALL DIMENSIONS ARE TO FACE OF CONCRETE, FACE OF SHEATHING, CENTERLINE OF STUD, CENTERLINE OF DOORS AND WINDOWS, AND TO FACE OF ANY OTHER STRUCTURAL ELEMENT NOT LISTED.

4. CONTRACTOR TO VERIFY ALL DIMENSIONS ON SITE AND INFORM COORDINATING REGISTERED PROFESSIONAL OF ANY DISCREPANCIES PRIOR TO UNDERTAKING THE PORTION OF WORK WHICH IS IN REFERENCE TO ANY DISCREPANCY.

5. DO NOT SCALE THESE DRAWINGS. FINLAYSON BONET ARCHITECTURE LTD. IS NOT RESPONSIBLE FOR ISSUES THAT ARISE FROM A FAILURE TO COMPLY.
6. THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL ARCHITECTURAL SPECIFICATIONS, STRUCTURAL DRAWINGS AND SPECIFICATIONS, MECHANICAL DRAWINGS AND SPECIFICATIONS, ELECTRICAL DRAWINGS AND SPECIFICATIONS, CIVIL DRAWINGS AND SPECIFICATIONS, LANDSCAPE DRAWINGS AND SPECIFICATIONS, INTERIOR DESIGN DRAWINGS AND SPECIFICATIONS AND ANY OTHER CONSULTANT DEEMED PERTINENT TO THE CONSTRUCTION OF THIS PROJECT.

7. CONTRACTOR TO OBTAIN ALL NECESSARY PERMITS, BYLAW APPROVALS, AND OBSERVE ALL REQUIRED SAFETY REGULATIONS THROUGHOUT THE COURSE OF CONSTRUCTION.

8. PENETRATIONS THROUGH FIRE SEPARATIONS ARE TO BE SEALED WITH A LISTED ULC FIRESTOP ASSEMBLY.

9. IN WET LOCATIONS SUBSTITUTE MOISTURE RESISTANT DRYWALL FOR GYPSUM WALLBOARD.

10. ALL EXIT DOORS TO BE 915mm x 2030mm AND EQUIPPED WITH AN AUTOMATIC DOOR CLOSURE.

DRAWING LIST

- A0.0

A0.1

A1.0

A1.1

A1.2

A2.0a

A2.0b

A2.1

A2.2

A2.3

A2.4

A2.5

A2.6

A2.7

A2.8

A2.9

A2.10

A2.11

A2.12

A3.0

A3.1

A4.0

A4.1

A4.2

A4.3

A4.4

A4.5

A5.0

A5.1

A5.2

A5.3

A6.0

A6.1

A6.2

A6.3

A6.4

A6.5

A6.6

A6.7

A6.8

A6.9

A6.10

A7.0
- COVER SHEET

PROJECT DATA

SITE PLAN

LANDSCAPE PLAN - LEVEL 1

LANDSCAPE PLAN - LEVEL 7

P2 PARKING PLAN

P1 PARKING PLAN

LEVEL 1 PLAN

LEVEL 2 PLAN

LEVEL 3 PLAN

LEVEL 4 PLAN

LEVEL 5 PLAN

LEVEL 6 PLAN

LEVEL 7 PLAN

LEVEL 8 PLAN

LEVEL 9 PLAN

LEVEL 10 PLAN

LEVEL 11 PLAN

ROOF PLAN

ELEVATIONS

ELEVATIONS

SECTIONS

SECTIONS

SECTIONS

SECTIONS

SECTIONS

SOUTH STREETSCAPE

EAST STREETSCAPE

NORTH STREETSCAPE

WEST STREETSCAPE

PERSPECTIVES - ESQUIMALT RD WEST

PERSPECTIVES - PARK TERR. WEST

PERSPECTIVES - GRENVILLE AVE SOUTH

PERSPECTIVES - ADMIRALS RD SOUTH

PERSPECTIVES - ADMIRALS RD EAST

PERSPECTIVES - AERIAL

PERSPECTIVES - AERIAL

PERSPECTIVES - AERIAL

PERSPECTIVES - RESIDENTIAL

PERSPECTIVES - COMMERCIAL

SOLAR STUDY

UNITS

TOWNHOUSES =	3
STUDIO UNITS =	10
1 BEDROOM UNITS =	59
1 BEDROOM + DEN UNITS =	8
2 BEDROOM UNITS =	7
2 BEDROOM + DEN UNITS =	8
TOTAL NUMBER OF UNITS =	95

FLOOR AREA RATIO

AREAS FOR FAR CALCULATIONS	m²	ft²
SITE AREA	2536.1 m²	27,298 ft
MAIN	485.9 m²	5,230 ft²
LEVEL 2	931.1 m²	10,022 ft²
LEVEL 3	844.3 m²	9,089 ft²
LEVEL 4	843.6 m²	9,080 ft²
LEVEL 5	844.3 m²	9,089 ft²
LEVEL 6	843.6 m²	9,080 ft²
LEVEL 7	347.4 m²	3,739 ft²
LEVEL 8	347.4 m²	3,739 ft²
LEVEL 9	268.6 m²	2,891 ft²
LEVEL 10	268.6 m²	2,891 ft²
LEVEL 11	180.1 m²	1,939 ft²
TOTAL GROSS FLOOR AREA	6,204.9 m²	66,790 ft²
FLOOR AREA RATIO (COMBINED LOTS)	2.45 : 1	
FLOOR AREA RATIO (SOUTH LOT: C3 ZONING)	2.97 : 1	
FLOOR AREA RATION (NORTH LOT: RS-1/RD-3 ZONING)	1.89 : 1	

PREPARED IN ACCORDANCE WITH SECTION 14. NUMBERS INDICATED BELOW ARE GROSS FLOOR AREA PER FLOOR EXCLUDING THE FOLLOWING: SECTION 14.1(G), 14.1(I), 14.1(J) AND 14.2(A)  
P2 (NOT IN CALCULATION) 1,902.7 m² / 20,480 ft²  
P1 (NOT IN CALCULATION) 1,902.7 m² / 20,480 ft²

PROJECT DATA

**LOCATION**  
614, 616, 618 GRENVILLE AVENUE, ESQUIMALT, BC  
**LEGAL DESCRIPTION:**  
LOT 221, SUBURBAN LOT 42, ESQUIMALT DISTRICT, PLAN 2854, EXCEPT THAT PART LYING NORTH OF THE SOUTHERLY BOUNDARY OF LOT A, PLAN 19331  
LOT 4 & 3, SUBURBAN LOT 42, ESQUIMALT DISTRICT PLAN 4668  
**USE**  
MIXED USE, RESIDENTIAL AND COMMERCIAL  
**SITE AREA**  
2536.1m² / 27,298 ft²

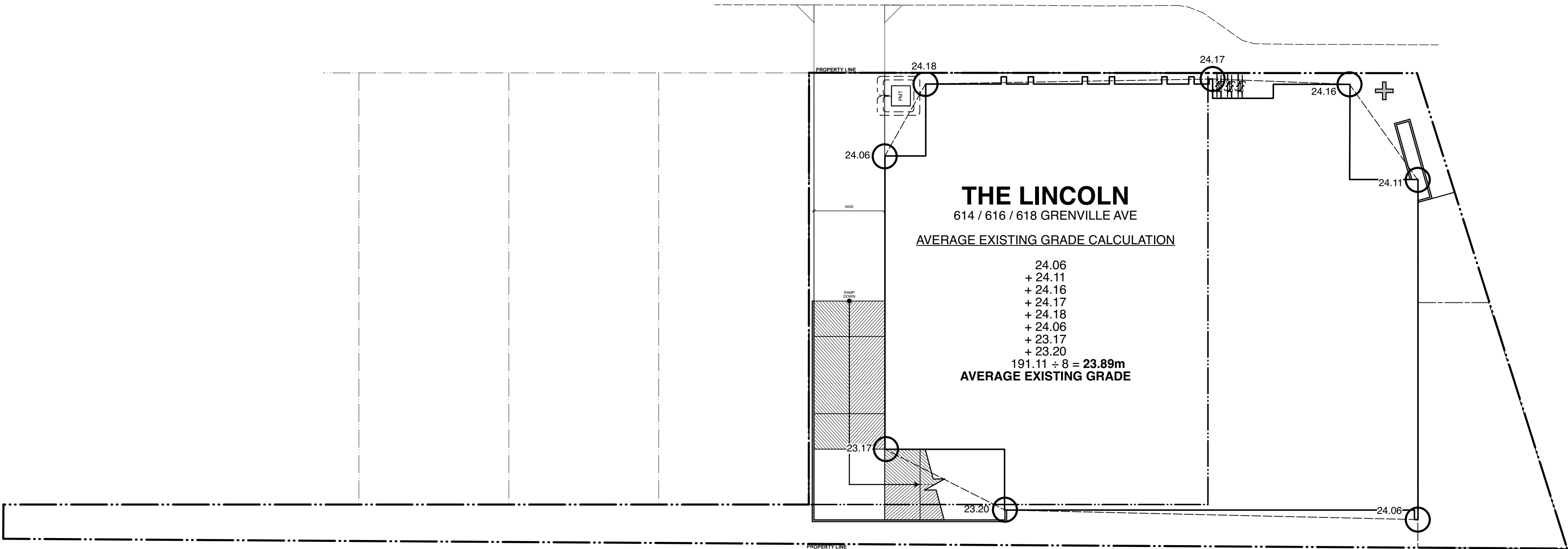
PROJECT INFORMATION TABLE

ZONE (EXISTING)	C3 / RS-1 / RD-3
SITE AREA (m²)	2536.1 m² / 27,298 ft²
TOTAL GROSS FLOOR AREA	6,204.9 m² / 66,790 ft²
COMMERCIAL FLOOR AREA	192.5 m² / 2072 ft²
FLOOR SPACE RATIO (TOTAL GROSS FLOOR AREA / LOT AREA)	6,204.9 m² / 2536.1 m² = 2.45 : 1
LOT COVERAGE %	1535.5 m² / 2536.1 ft² = 60.5%
USABLE OPEN SPACE %	194.2 m² / 2536.1 ft² = 7.6 %
HEIGHT OF BUILDING	38.26 m
MAIN FLOOR ELEVATION	24.20 m
NUMBER OF STOREYS	11
PARKING STALLS (NUMBER) ON SITE	78 REQUIRED - PROVIDED 84
BICYCLE PARKING NUMBER (LONG-TERM AND SHORT-TERM)	116 REQUIRED - PROVIDED 118
<b>BUILDING SETBACKS</b>	
FRONT YARD	0.0 m
REAR YARD	1.9 m
INTERIOR SIDE YARD (NORTH)	5.7 m
INTERIOR SIDE YARD (SOUTH)	0.6 m
<b>RESIDENTIAL USE DETAILS</b>	
TOTAL NUMBER OF UNITS	95
TOTAL RESIDENTIAL FLOOR AREA (m²)	5838.0 m² / 62,841 ft²
AVERAGE GRADE	23.89 m (SEE 1/A0.1)

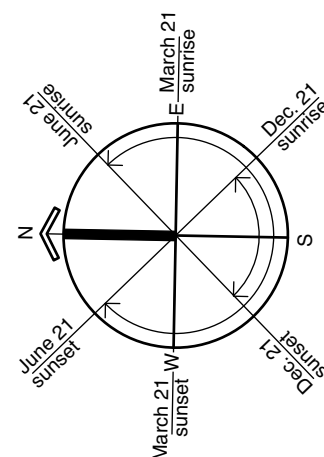
OFF-STREET PARKING

RESIDENTIAL PARKING SPACES REQUIRED DWELLING - MULTI FAMILY (APARTMENT) • NUMBER OF STUDIO DWELLING UNITS = 10 @ 0.5 = 5 • NUMBER OF 1-BEDROOM DWELLING UNITS = 59 @ 0.6 = 35.4 • NUMBER OF DWELLING UNITS GREATER THAN 1-BEDROOM = 26 @ 0.8 = 20.8	62 STALLS
COMMERCIAL PARKING SPACES REQUIRED	6 STALLS
VISITOR PARKING SPACES REQUIRED • 95 DWELLING UNITS @ 0.1 = 9.5	10 STALLS
TOTAL PARKING SPACES REQUIRED	78 STALLS
TOTAL PARKING SPACES PROVIDED	84 STALLS
ACCESSIBLE PARKING SPACES REQUIRED	3 STALLS
ACCESSIBLE PARKING SPACES PROVIDED	4 STALLS
LOADING SPACES REQUIRED	1 STALLS
LOADING SPACES PROVIDED	1 STALLS
<b>BICYCLE PARKING</b>	
SURFACE BIKE PARKING REQUIRED (SHORT-TERM)	6 STALLS
SURFACE BIKE PARKING PROVIDED (SHORT-TERM)	6 STALLS
SURFACE BIKE PARKING REQUIRED (LONG-TERM) • NUMBER OF DWELLING UNITS WITH 1-BEDROOM OR LESS = 69 @ 1.0 = 69 • NUMBER OF DWELLING UNITS WITH 2 OR MORE BEDROOMS = 26 @ 1.5 = 39 • COMMERCIAL AREA = 192.5 m² @ 1 per 150 m² = 1.3	110 STALLS
SURFACE BIKE PARKING PROVIDED (LONG-TERM) • 100 STANDARD SIZE STALLS • 12 E-BIKE/OVERSIZE STALLS	112 STALLS
TOTAL BIKE PARKING SPACES REQUIRED	116 STALLS
TOTAL BIKE PARKING SPACES PROVIDED	118 STALLS

PREPARED IN ACCORDANCE WITH CORPORATION OF THE TOWNSHIP OF ESQUIMALT BYLAW NO. 3089



1 AVERAGE EXISTING GRADE CALCULATION  
0.1 Scale: 1:250

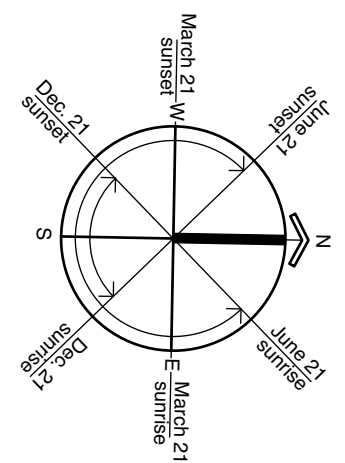
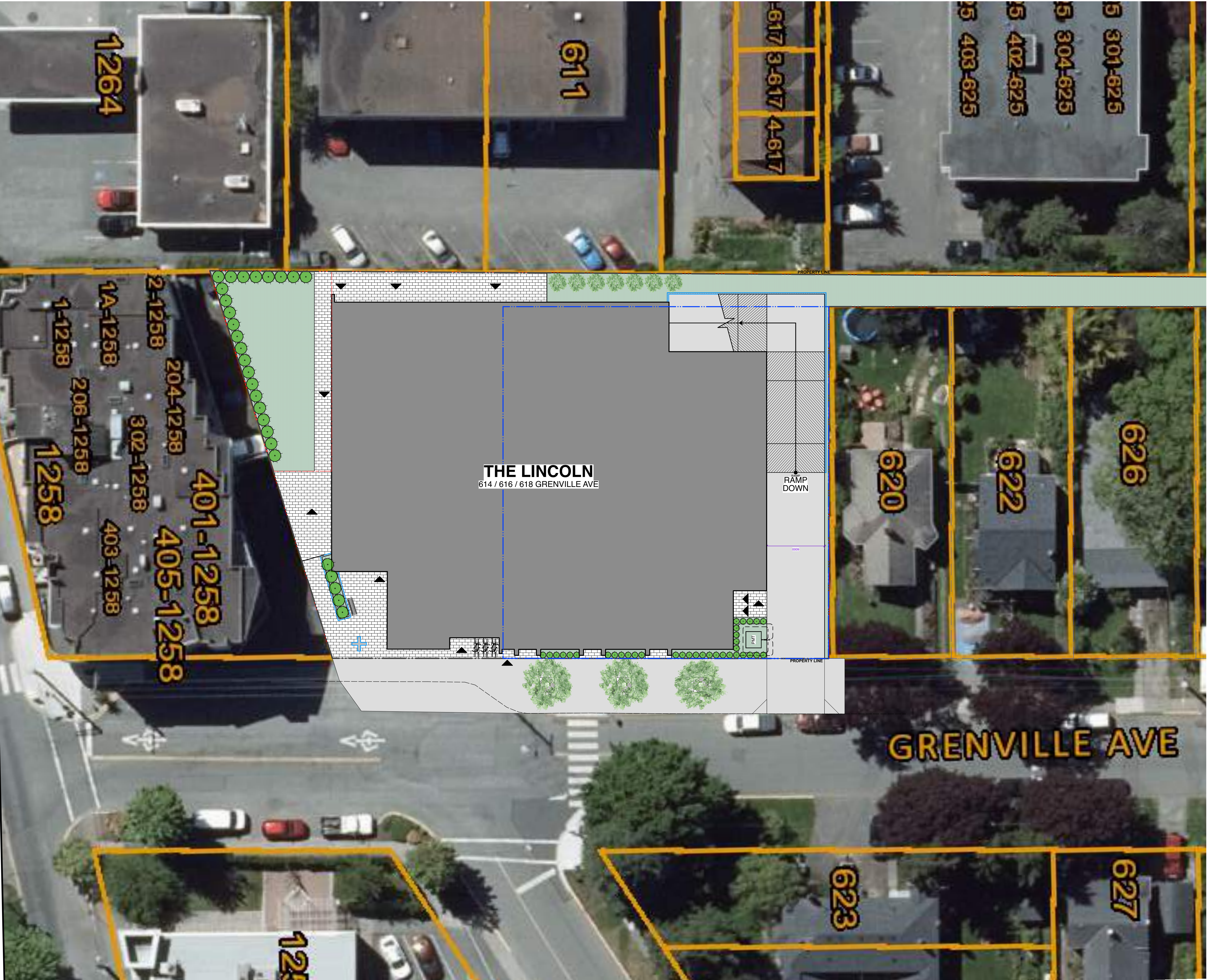


A0.1 - PROJECT DATA  
THE LINCOLN

614 Grenville Ave, Esquimalt, B.C. PROJECT NO. 22521  
SCALE: 1:250 DATE: October 20, 2025  
FINLAYSON BONET ARCHITECTURE LTD.

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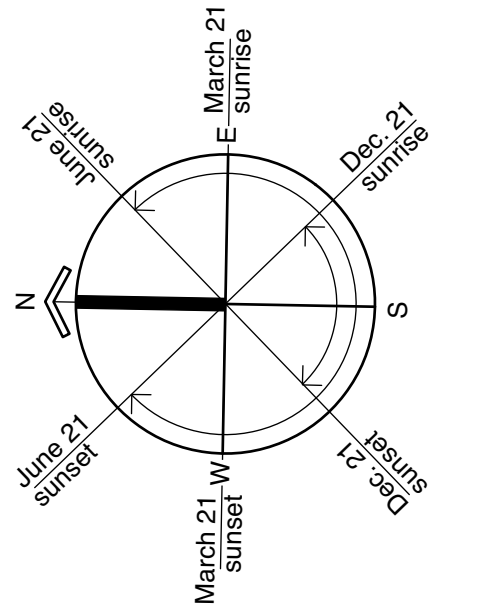
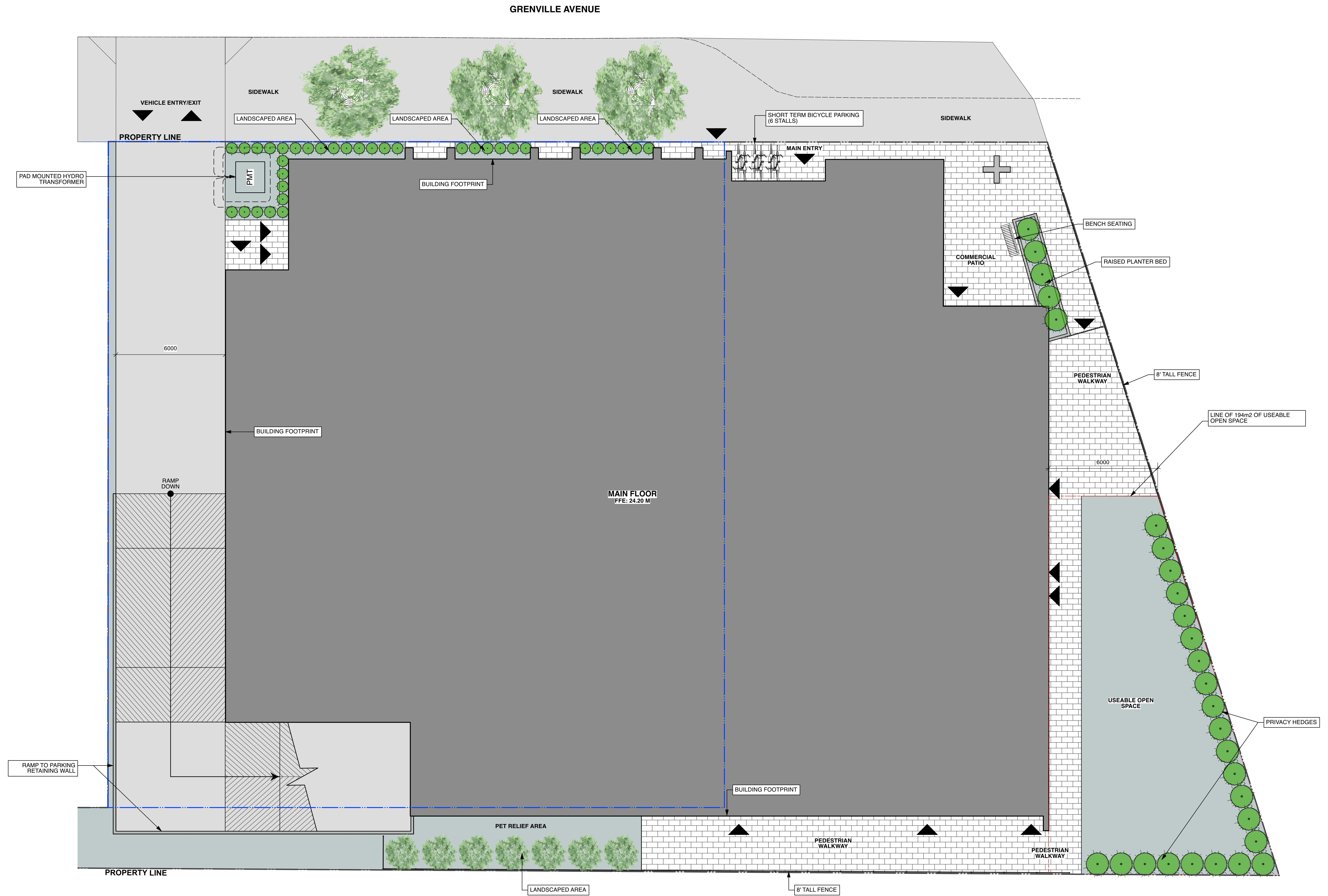


**A1.0 - SITE PLAN**  
**THE LINCOLN**

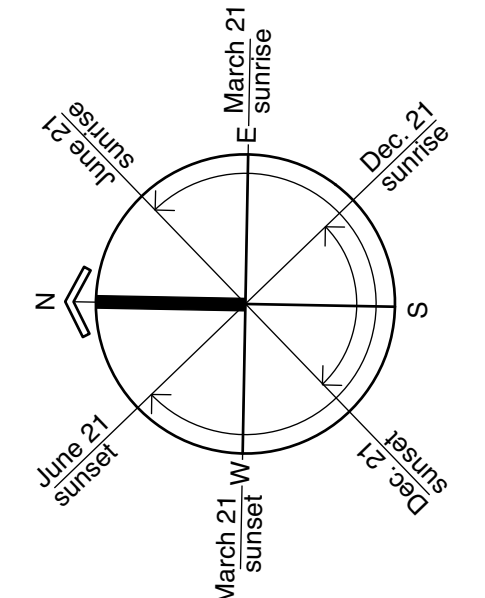
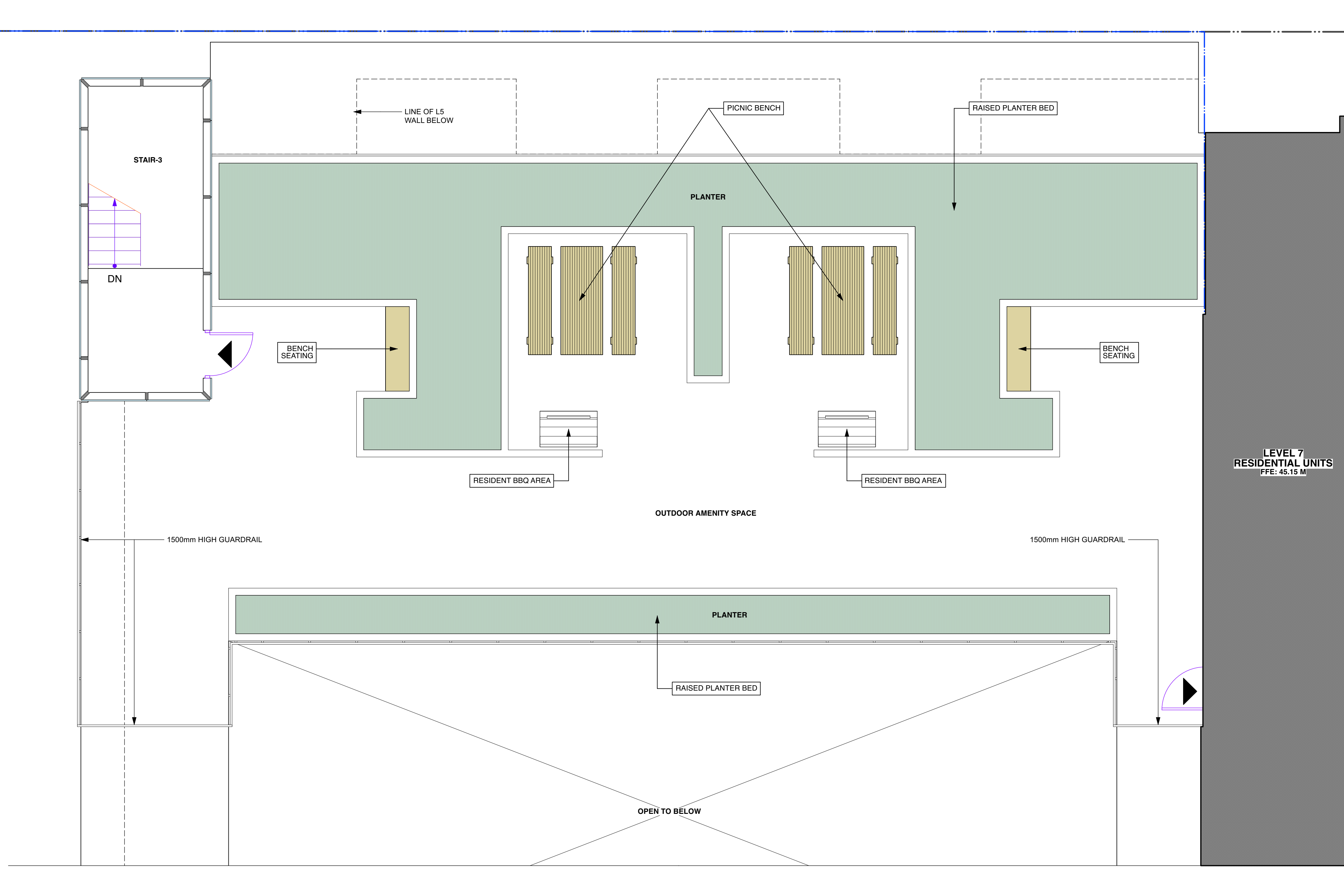
614 Grenville Ave, Esquimalt, B.C. PROJECT NO. 22521  
SCALE: 1:200 DATE: October 20, 2025  
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**A1.1 - LANDSCAPE PLAN - LEVEL 7**  
**THE LINCOLN**

614 Grenville Ave, Esquimalt, B.C.  
SCALE: 1:50

PROJECT NO. 22521  
DATE: October 20, 2025

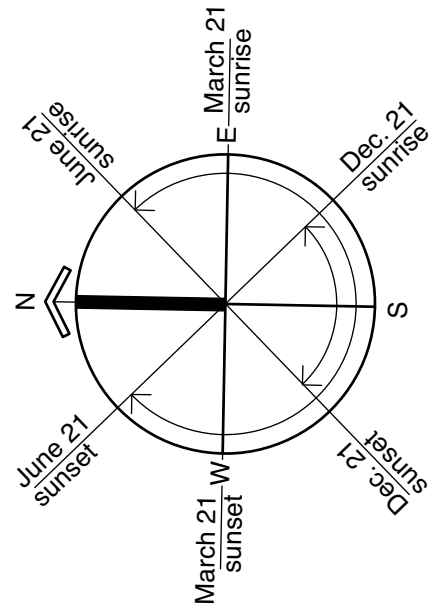
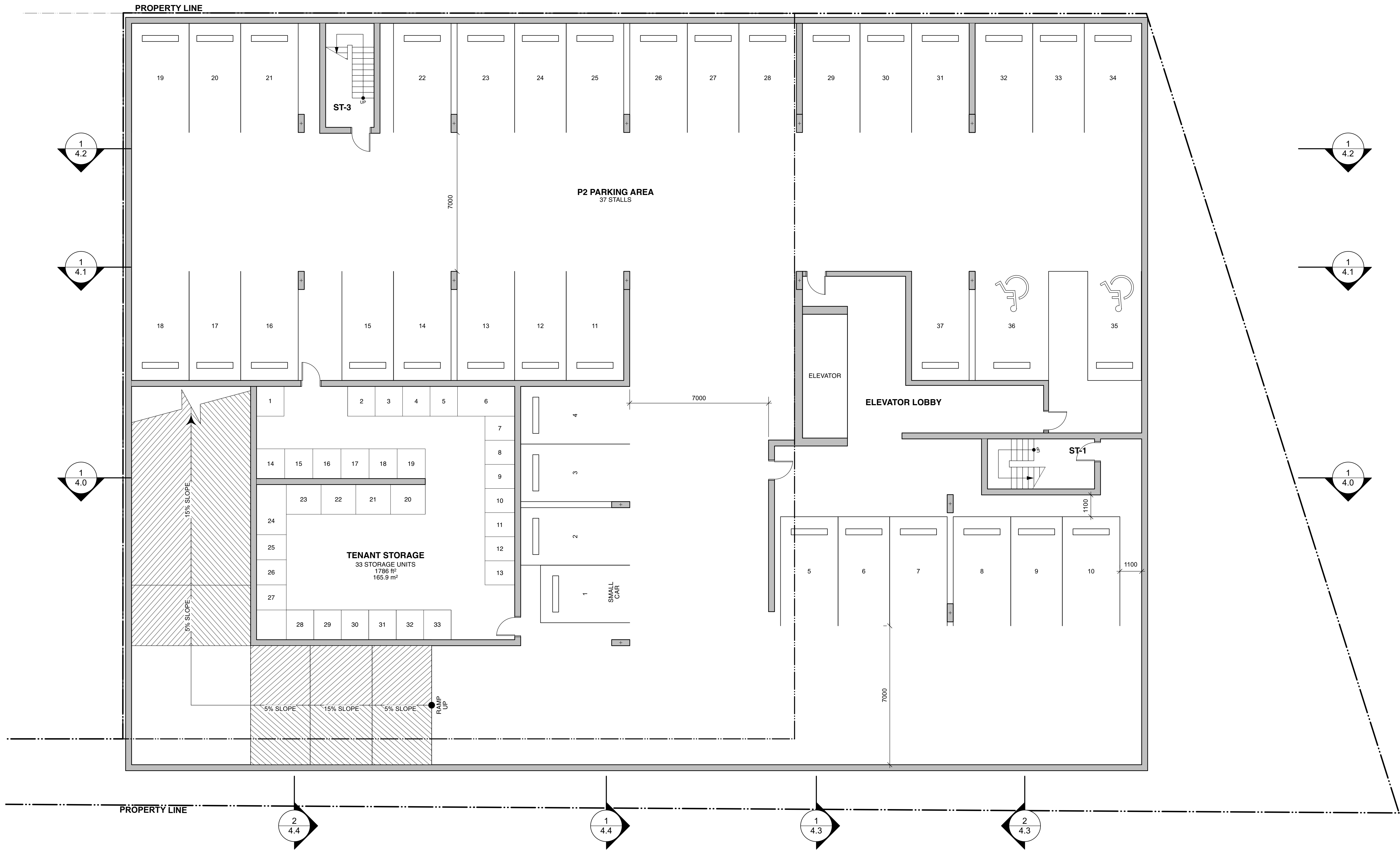
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PARKING STALL COUNT				
LEVEL	REGULAR	ACCESSIBLE	SMALL CAR	TOTAL
P2	24	2	11	37
P1	20	2	9	31
L1	16	0	0	16
TOTAL	60	4	20	84

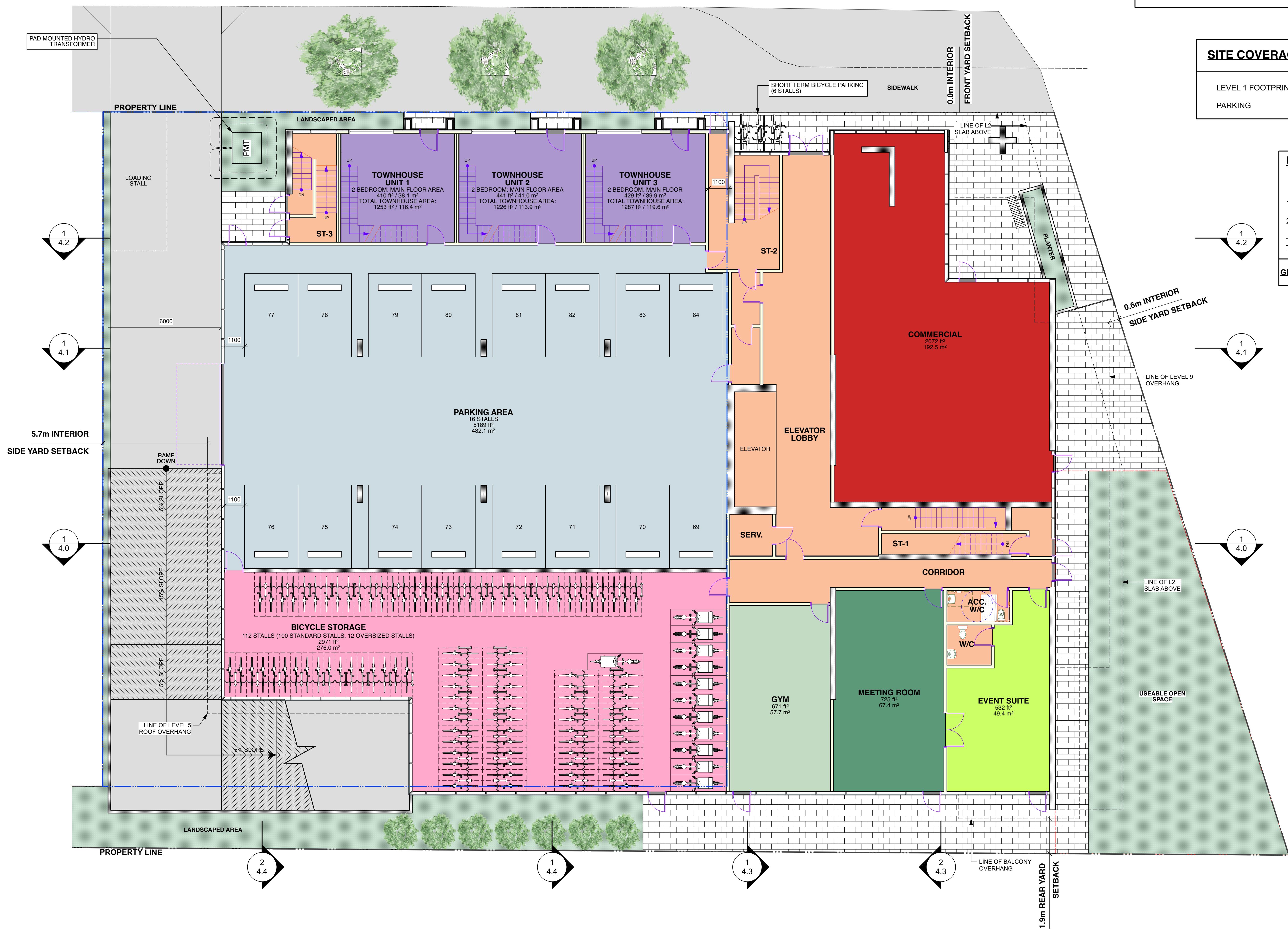


**A2.0a - P2 PARKING PLAN**  
**THE LINCOLN**





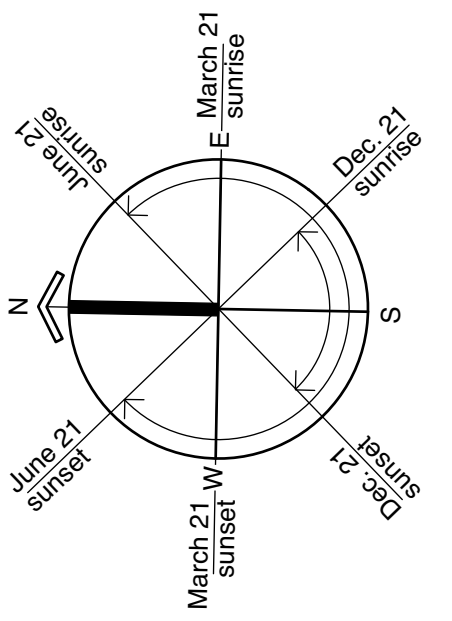




PARKING STALL COUNT				
LEVEL	REGULAR	ACCESSIBLE	SMALL CAR	TOTAL
P2	24	2	11	37
P1	20	2	9	31
L1	16	0	0	16
TOTAL	60	4	20	84

SITE COVERAGE	
LEVEL 1 FOOTPRINT	61.1% OF SITE
PARKING	19.0% OF SITE

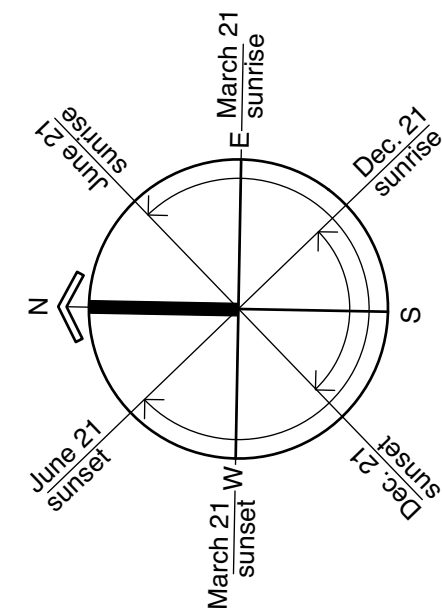
UNIT COUNT	
TOWNHOUSE	3
STUDIO	0
1 BEDROOM	0
1 BEDROOM + DEN	0
2 BEDROOM	0
2 BEDROOM + DEN	0
TOTAL	3 UNITS
GROSS FLOOR AREA	485.9 m <sup>2</sup> / 5,230 ft <sup>2</sup>







UNIT COUNT		
TOWNHOUSE		3
STUDIO		2
1 BEDROOM		5
1 BEDROOM + DEN		4
2 BEDROOM		1
2 BEDROOM + DEN		0
TOTAL		15 UNITS
GROSS FLOOR AREA 931.1 m <sup>2</sup> / 10,022 ft <sup>2</sup>		



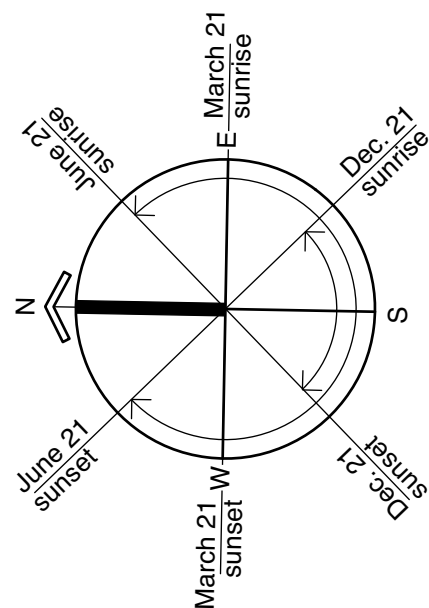


UNIT COUNT

TOWNHOUSE	0
STUDIO	2
1 BEDROOM	11
1 BEDROOM + DEN	1
2 BEDROOM	1
2 BEDROOM + DEN	0

TOTAL 15 UNITS

GROSS FLOOR AREA 844.3 m<sup>2</sup> / 9,022 ft<sup>2</sup>



A2.3 - LEVEL 3 PLAN  
THE LINCOLN

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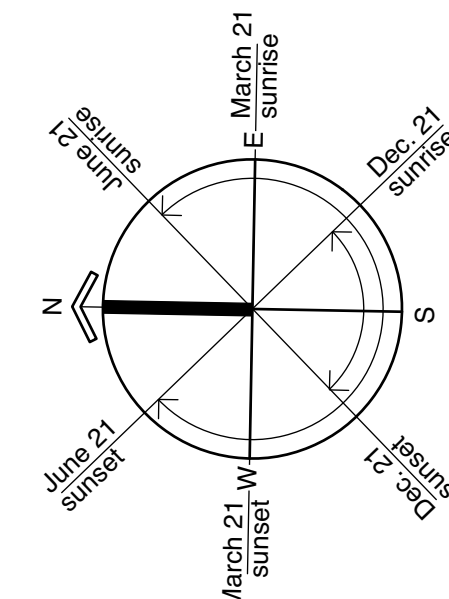


UNIT COUNT

TOWNHOUSE	0
STUDIO	2
1 BEDROOM	11
1 BEDROOM + DEN	1
2 BEDROOM	1
2 BEDROOM + DEN	0

TOTAL 15 UNITS

GROSS FLOOR AREA 843.6 m<sup>2</sup> / 9,080 ft<sup>2</sup>



A2.4 - LEVEL 4 PLAN  
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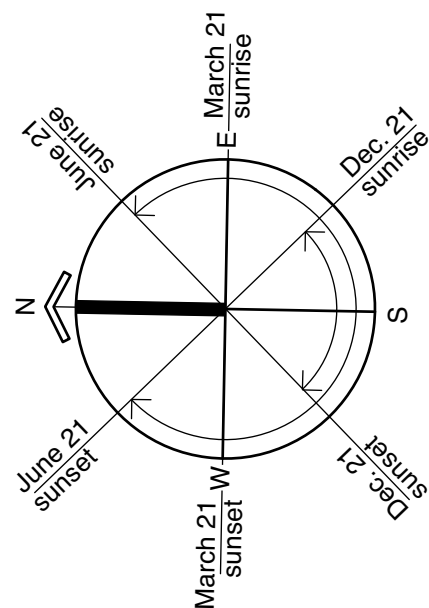


UNIT COUNT

TOWNHOUSE	0
STUDIO	2
1 BEDROOM	11
1 BEDROOM + DEN	1
2 BEDROOM	1
2 BEDROOM + DEN	0

TOTAL 15 UNITS

GROSS FLOOR AREA 844.3 m<sup>2</sup> / 9,089 ft<sup>2</sup>



A2.5 - LEVEL 5 PLAN  
THE LINCOLN

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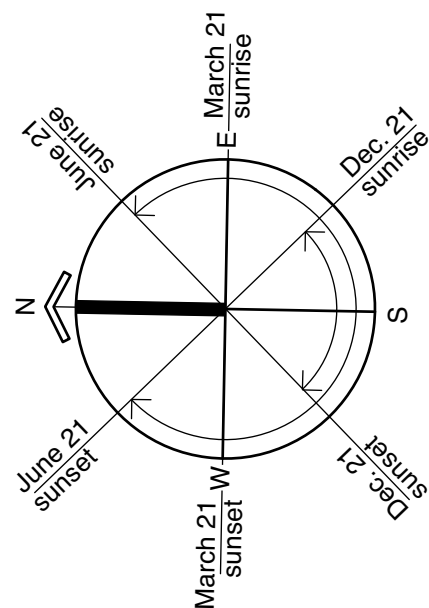


UNIT COUNT

TOWNHOUSE	0
STUDIO	2
1 BEDROOM	11
1 BEDROOM + DEN	1
2 BEDROOM	1
2 BEDROOM + DEN	0

TOTAL 15 UNITS

GROSS FLOOR AREA 843.6 m<sup>2</sup> / 9,080 ft<sup>2</sup>



A2.6 - LEVEL 6 PLAN  
THE LINCOLN

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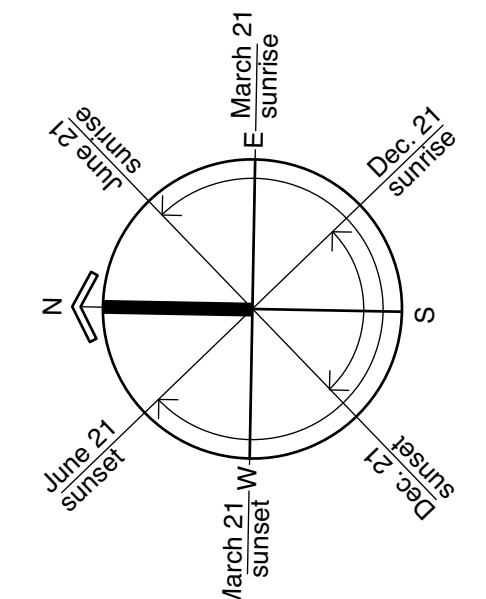
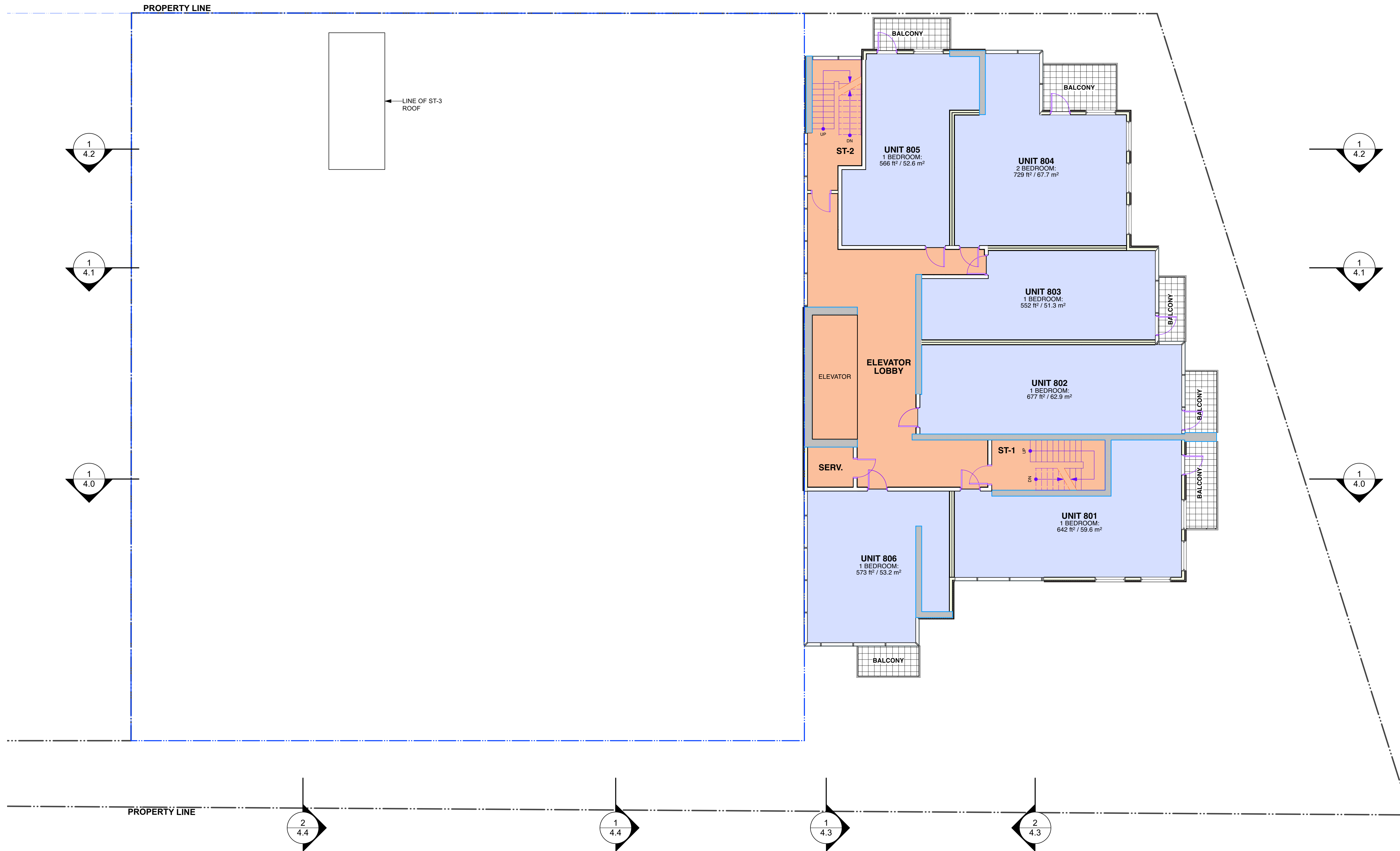


UNIT COUNT

TOWNHOUSE	0
STUDIO	0
1 BEDROOM	5
1 BEDROOM + DEN	0
2 BEDROOM	1
2 BEDROOM + DEN	0

TOTAL 6 UNITS

GROSS FLOOR AREA 347.4 m<sup>2</sup> / 3,739 ft<sup>2</sup>



A2.8 - LEVEL 8 PLAN  
THE LINCOLN

614 Grenville Ave, Esquimalt, B.C.

PROJECT NO. 22521

SCALE: 1:100

DATE: October 20, 2025

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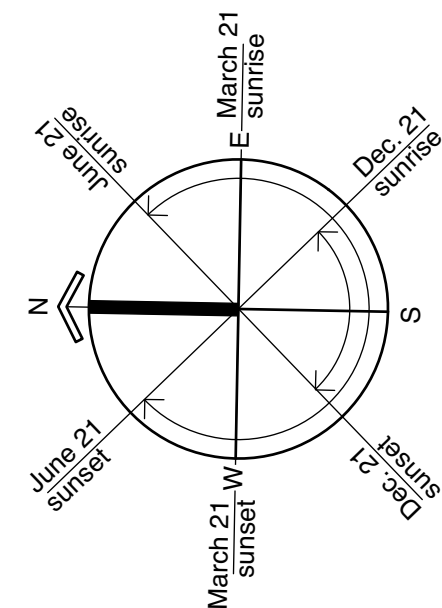
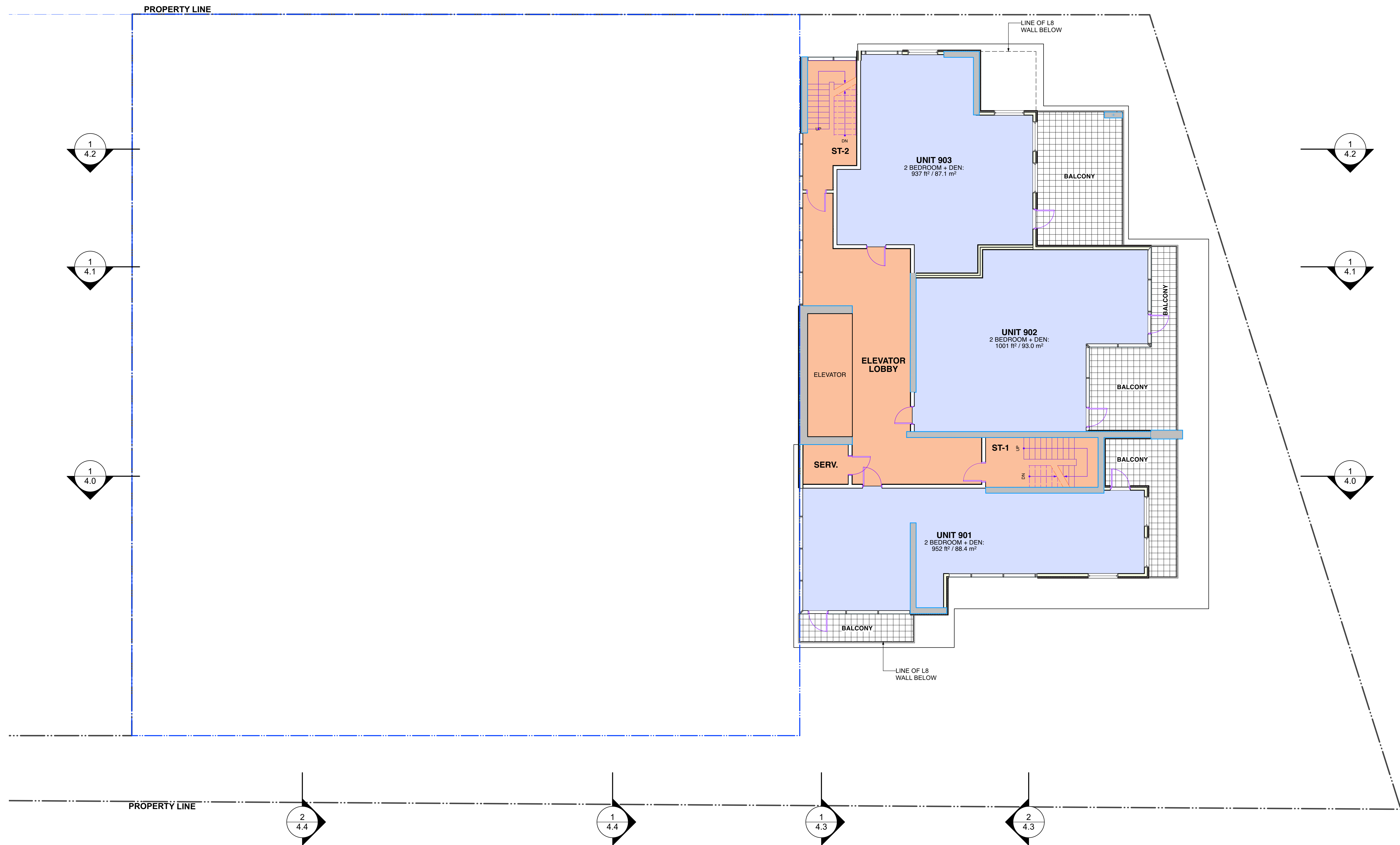


UNIT COUNT

TOWNHOUSE	0
STUDIO	0
1 BEDROOM	0
1 BEDROOM + DEN	0
2 BEDROOM	0
2 BEDROOM + DEN	3

TOTAL 3 UNITS

GROSS FLOOR AREA 268.6 m<sup>2</sup> / 2,891 ft<sup>2</sup>



A2.9 - LEVEL 9 PLAN  
THE LINCOLN

614 Grenville Ave, Esquimalt, B.C.

PROJECT NO. 22521

SCALE: 1:100

DATE: October 20, 2025

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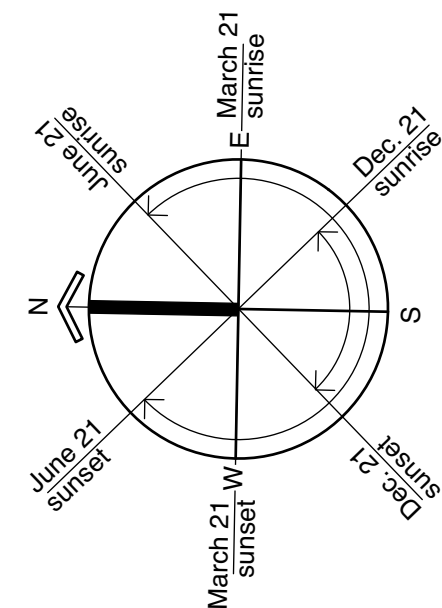
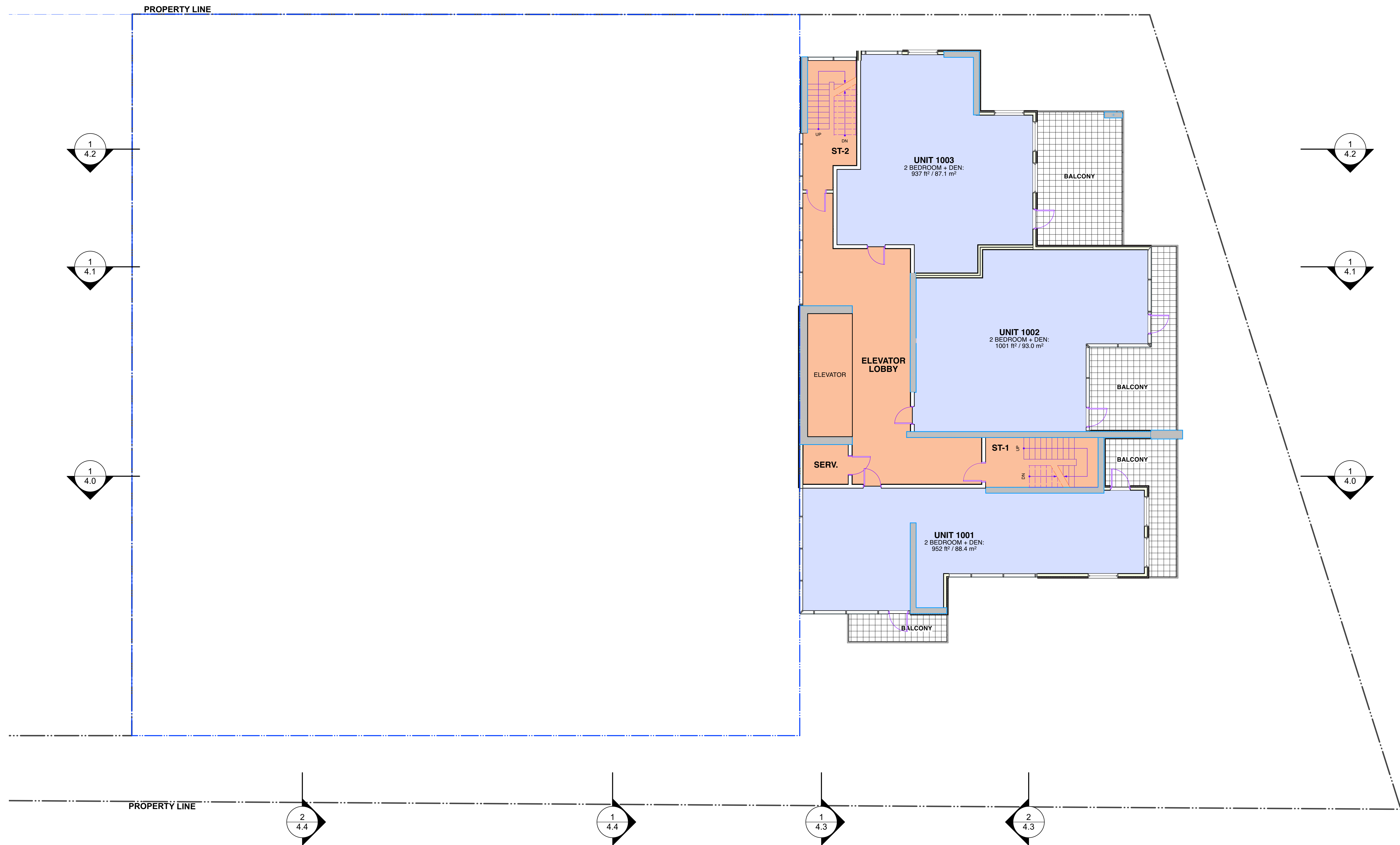


UNIT COUNT

TOWNHOUSE	0
STUDIO	0
1 BEDROOM	0
1 BEDROOM + DEN	0
2 BEDROOM	0
2 BEDROOM + DEN	3

TOTAL 3 UNITS

GROSS FLOOR AREA 268.6 m<sup>2</sup> / 2,891 ft<sup>2</sup>



A2.10 - LEVEL 10 PLAN  
THE LINCOLN

614 Grenville Ave, Esquimalt, B.C.

PROJECT NO. 22521

SCALE: 1:100

DATE: October 20, 2025

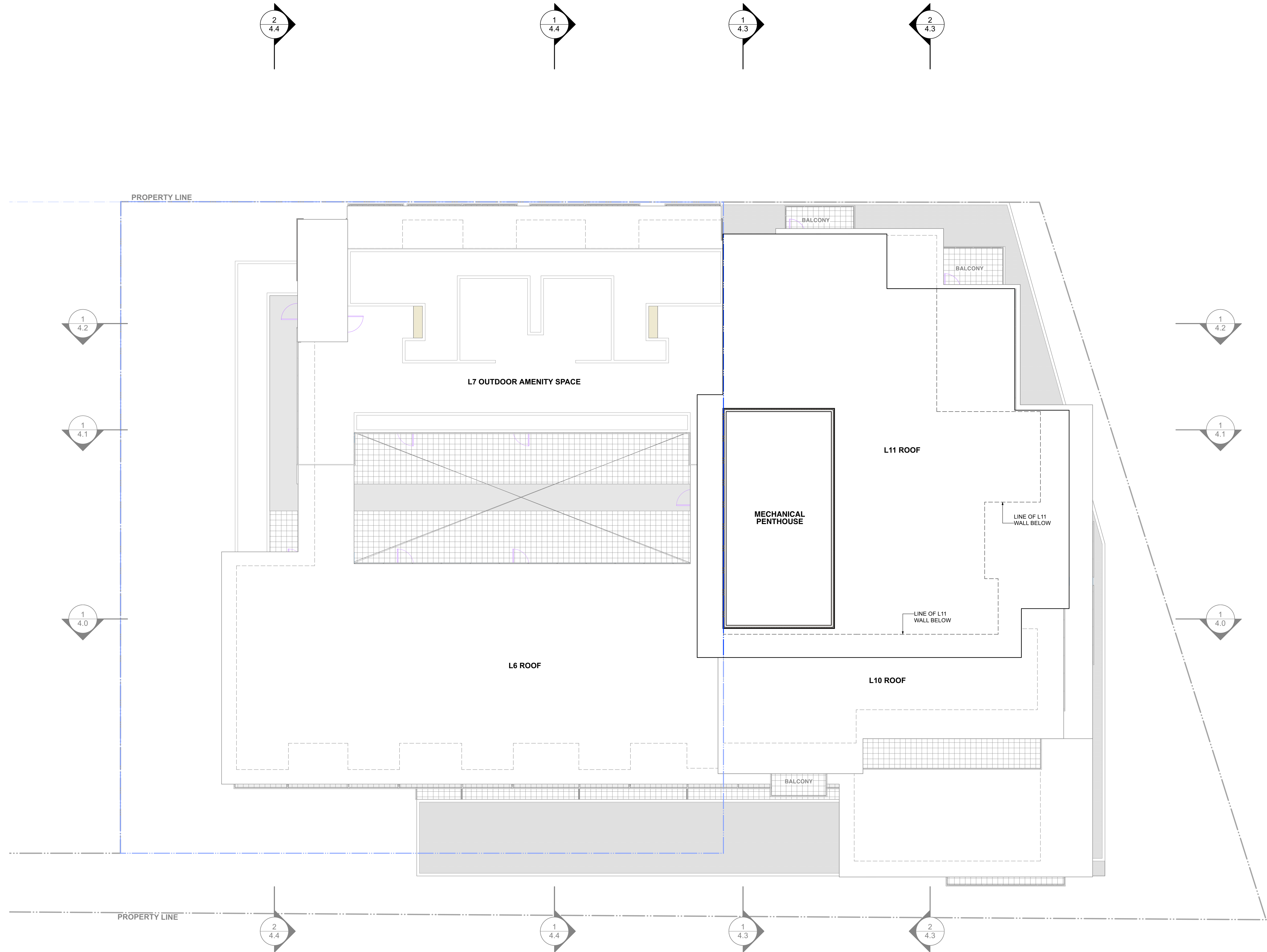
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**A2.16 - ROOF PLAN**  
**THE LINCOLN**







2 SOUTH ELEVATION  
3.0 Scale: 1:150

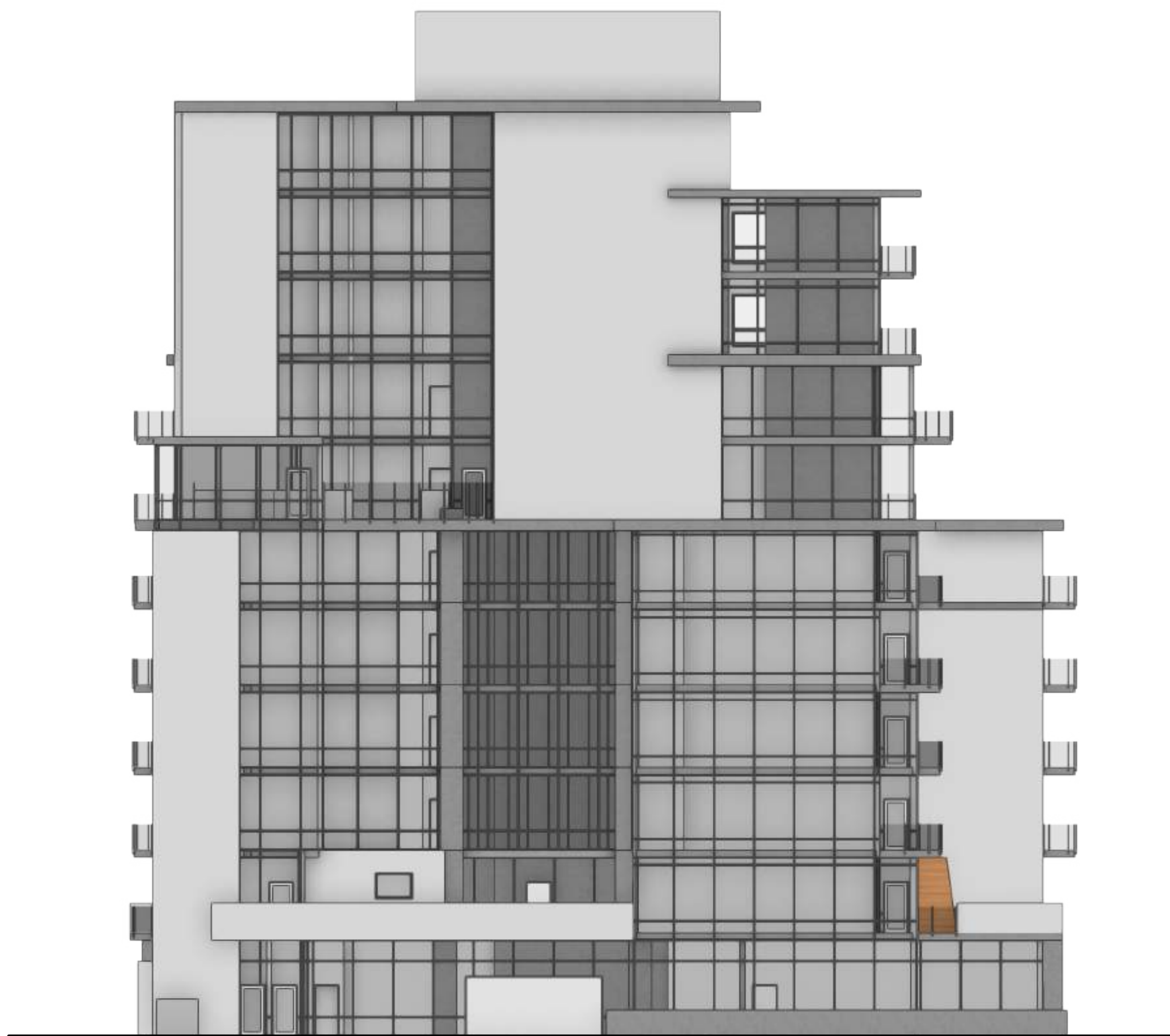


1 EAST ELEVATION  
3.0 Scale: 1:150

Mechanical Penthouse - 65.81m	
Main Roof - 62.15m	
BUILDING HEIGHT 38260	3900
	11th Floor 58.55m
	3850
	10th Floor 55.20m
	3800
	9th Floor 51.85m
	3750
	8th Floor 48.50m
	3700
	7th Floor 45.15m
	3650
	6th Floor 41.80m
	3600
	5th Floor 38.45m
	3550
	4th Floor 35.10m
	3500
	3rd Floor 31.75m
	3450
	2nd Floor 28.40m
	4200
	Main Floor 24.20m
Average Existing Grade 23.89m	
2838	3500
	P1 Parking 20.70m
	P2 Parking 17.9m







2 NORTH ELEVATION  
3.1 Scale: 1:150

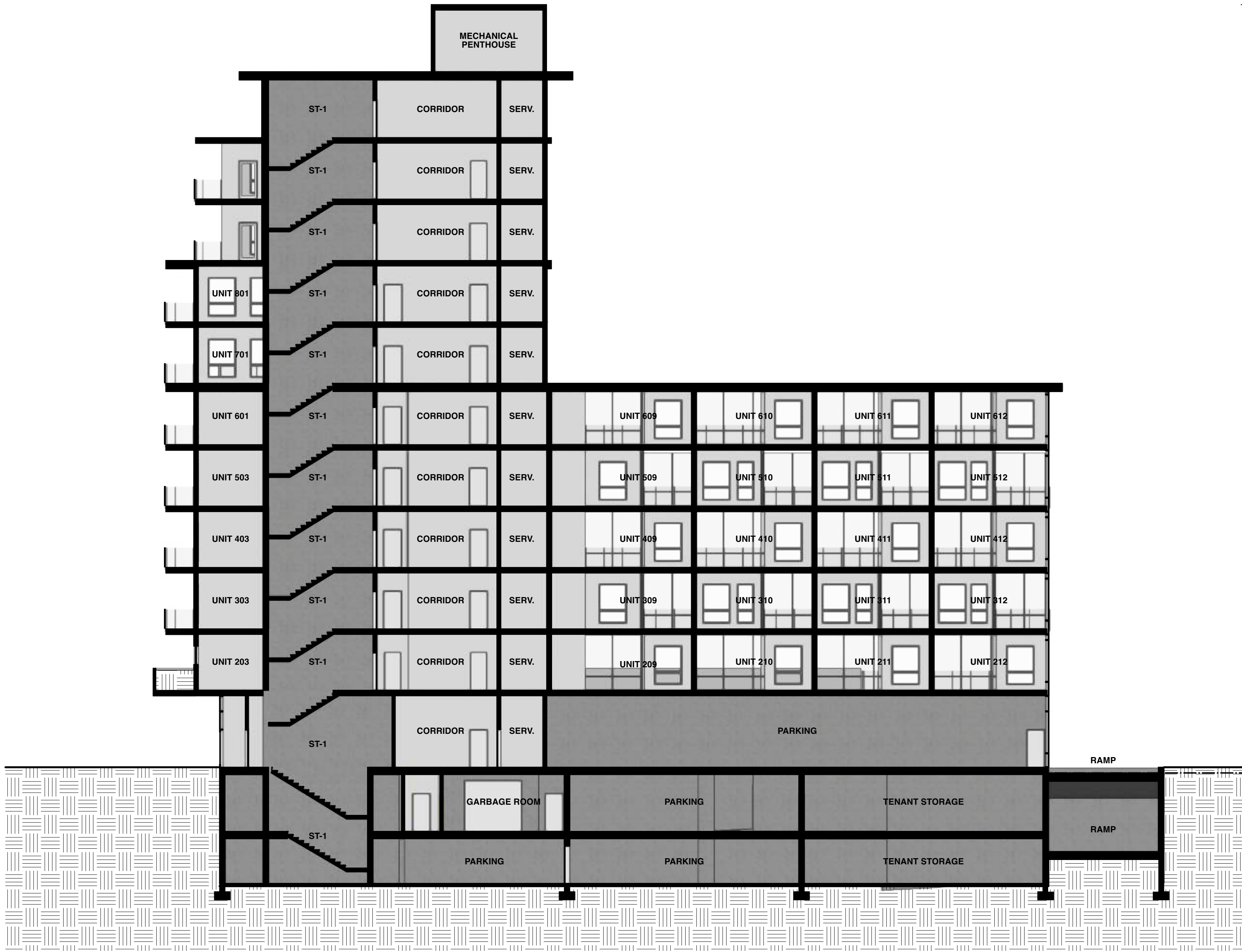


1 WEST ELEVATION  
3.1 Scale: 1:150

Mechanical Penthouse - 65.81m	
Main Roof - 62.15m	
38260 BUILDING HEIGHT	11th Floor 58.55m
	10th Floor 55.20m
	9th Floor 51.85m
	8th Floor 48.50m
	7th Floor 45.15m
	6th Floor 41.80m
	5th Floor 38.45m
	4th Floor 35.10m
	3rd Floor 31.75m
	2nd Floor 28.40m
Main Floor 24.20m	
Average Existing Grade 23.89m	
P1 Parking 20.70m	
P2 Parking 17.9m	







Mechanical Penthouse - 65.81m

Main Roof - 62.15m

11th Floor 58.55m

10th Floor 55.20m

9th Floor 51.85m

8th Floor 48.50m

7th Floor 45.15m

6th Floor 41.80m

5th Floor 38.45m

4th Floor 35.10m

3rd Floor 31.75m

2nd Floor 28.40m

Main Floor 24.20m

Average Existing Grade 23.89m

P1 Parking 20.70m

P2 Parking 17.9m

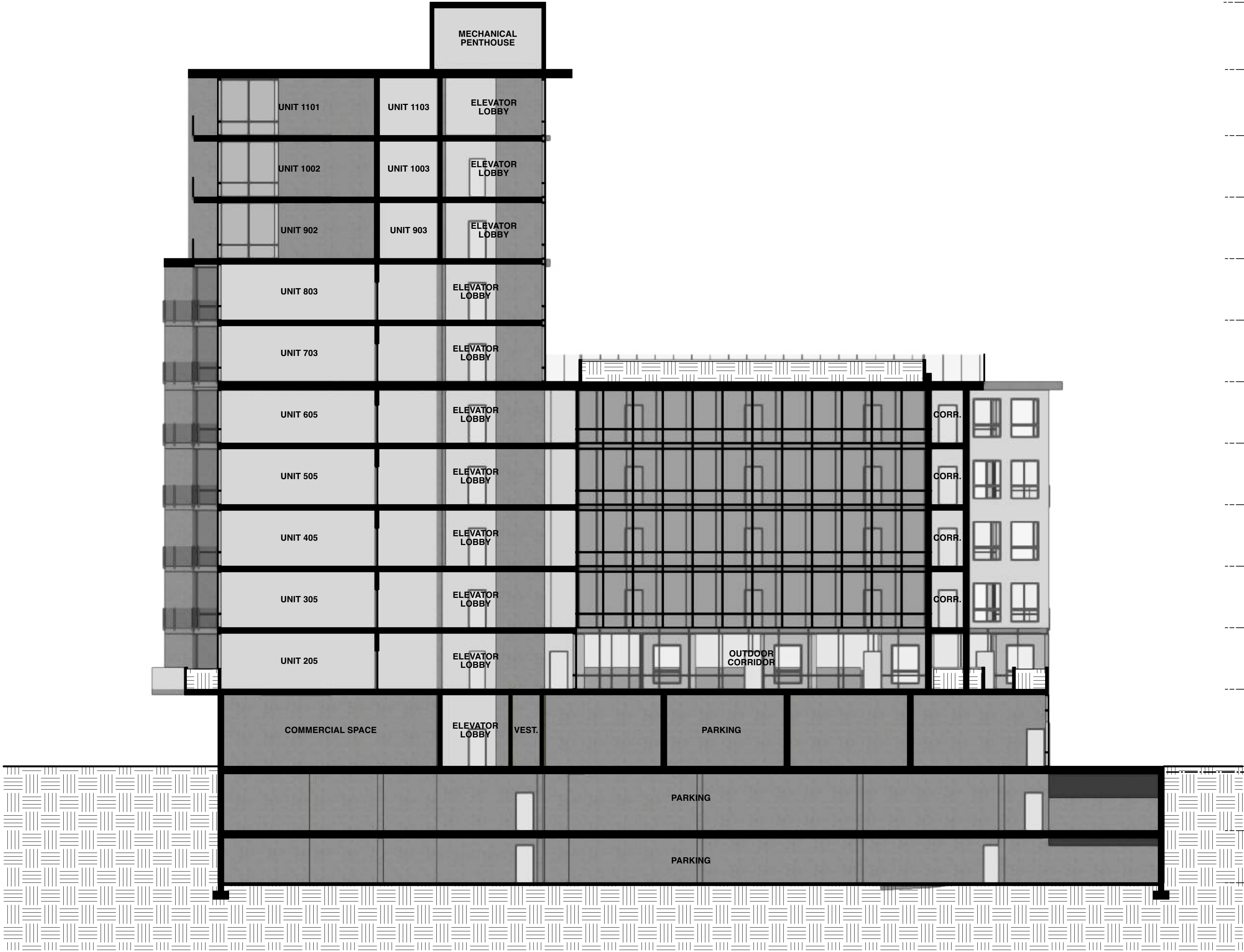
38260  
BUILDING HEIGHT

1  
4.0 SECTION  
Scale: 1:150



A4.0 - SECTIONS  
THE LINCOLN



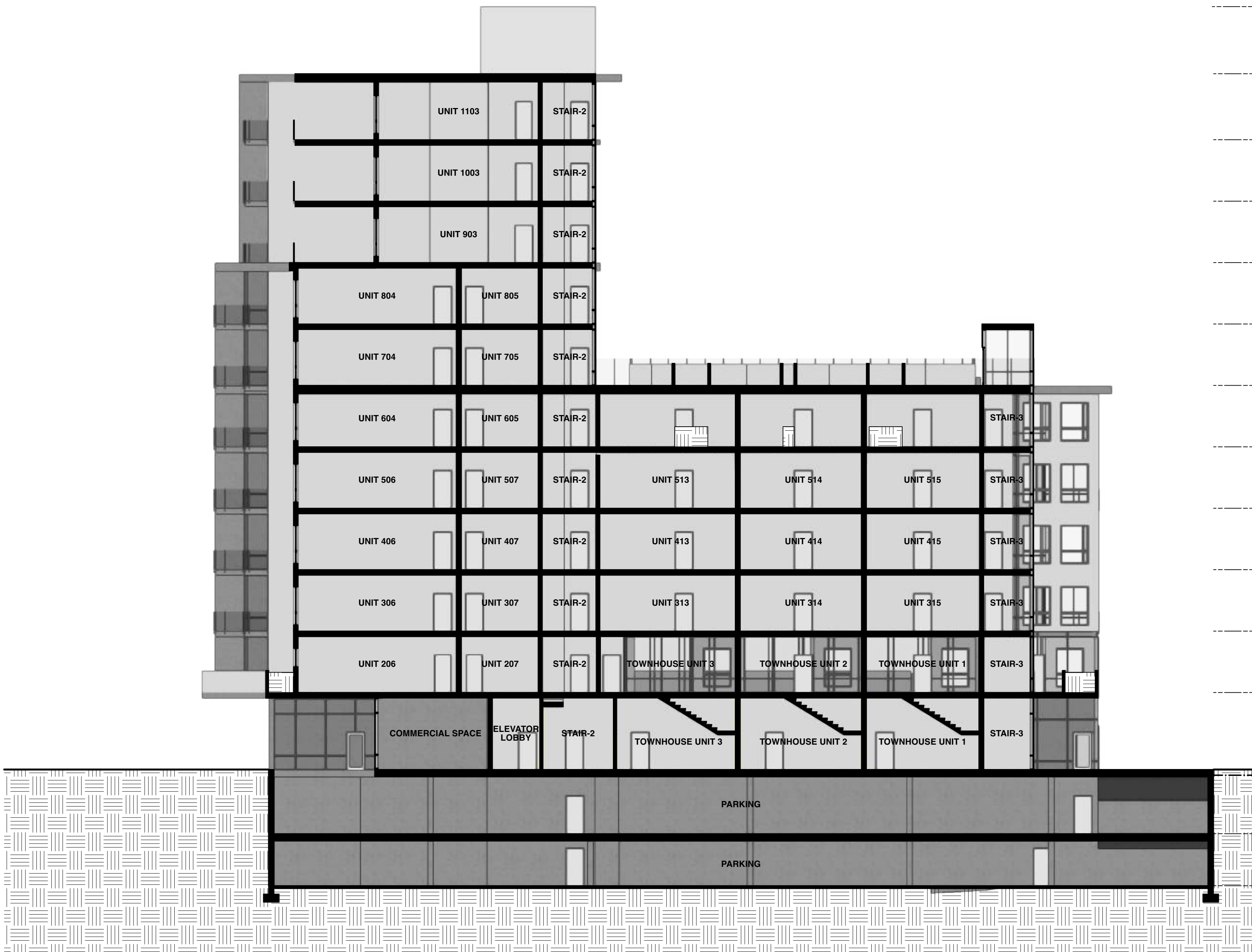


Mechanical Penthouse - 65.81m	
Main Roof - 62.15m	
BUILDING HEIGHT 38260	11th Floor 58.55m
	10th Floor 55.20m
	9th Floor 51.85m
	8th Floor 48.50m
	7th Floor 45.15m
	6th Floor 41.80m
	5th Floor 38.45m
	4th Floor 35.10m
	3rd Floor 31.75m
	2nd Floor 28.40m
Main Floor 24.20m	
Average Existing Grade 23.89m	
P1 Parking 20.70m	
P2 Parking 17.9m	

1 SECTION  
4.1 Scale: 1:150







Mechanical Penthouse - 65.81m

Main Roof - 62.15m

11th Floor 58.55m

10th Floor 55.20m

9th Floor 51.85m

8th Floor 48.50m

7th Floor 45.15m

6th Floor 41.80m

5th Floor 38.45m

4th Floor 35.10m

3rd Floor 31.75m

2nd Floor 28.40m

Main Floor 24.20m

Average Existing Grade 23.89m

P1 Parking 20.70m

P2 Parking 17.9m

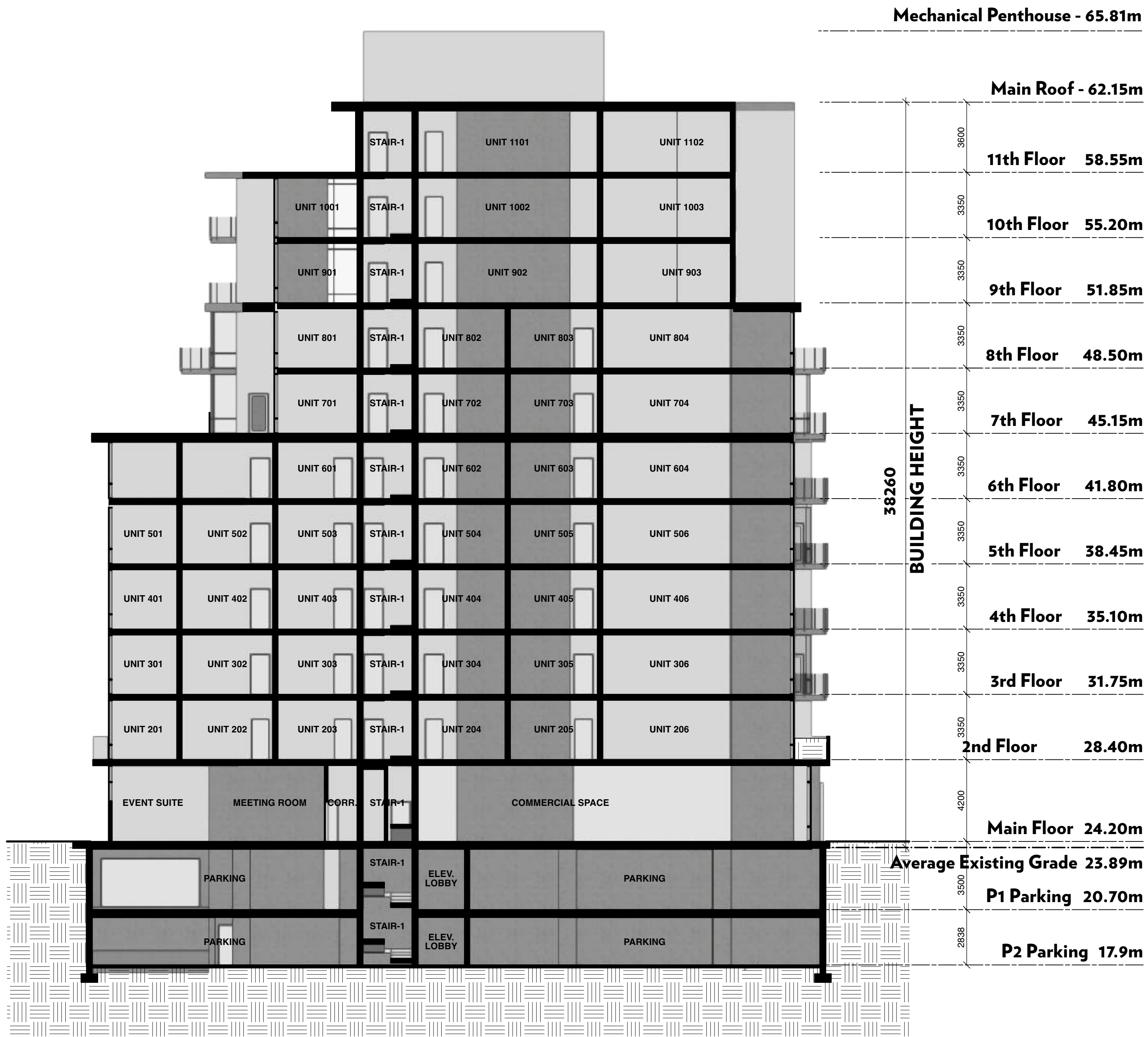
38260  
BUILDING HEIGHT

1 SECTION  
4.2 Scale: 1:150

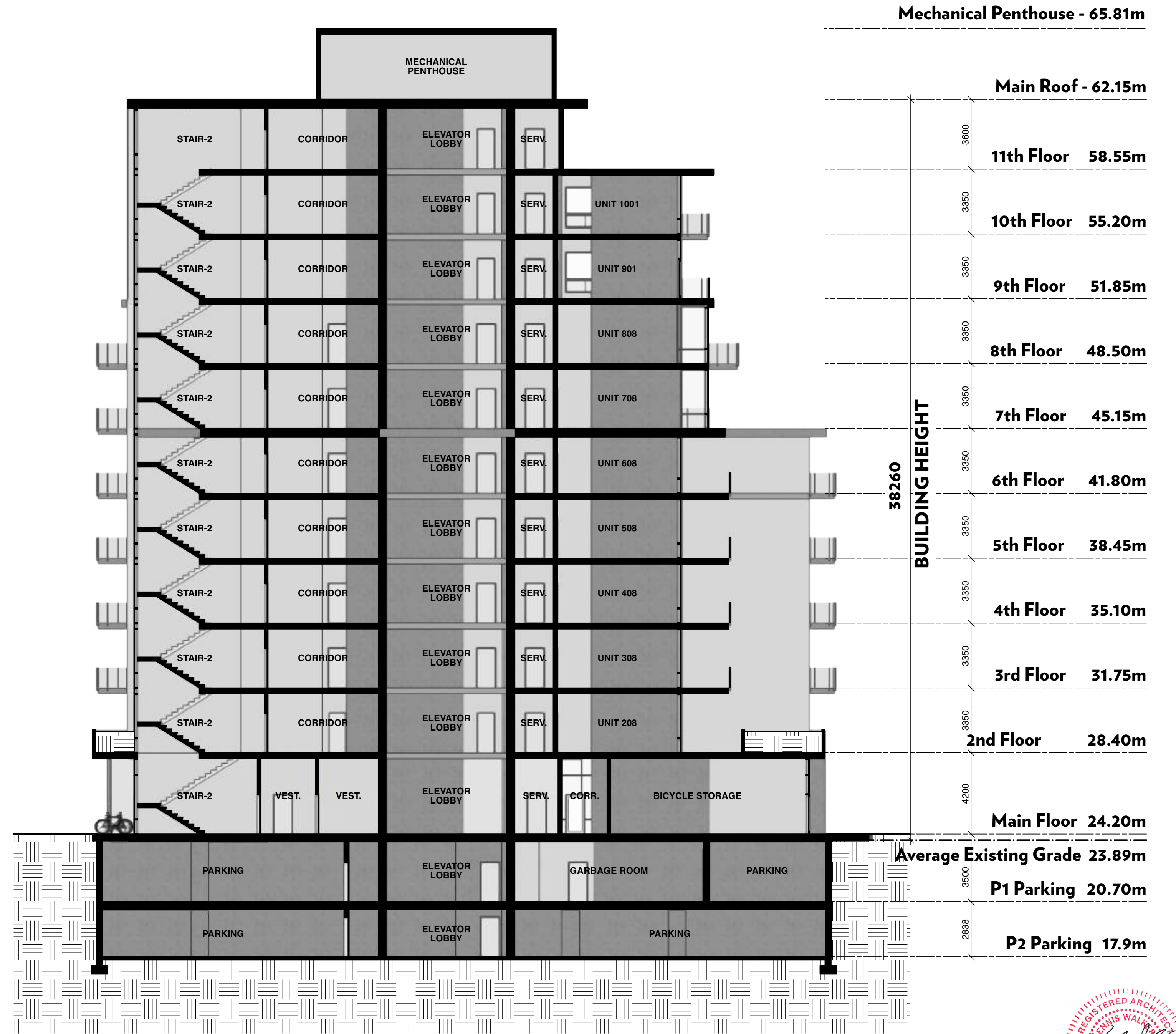


A4.2 - SECTIONS  
THE LINCOLN



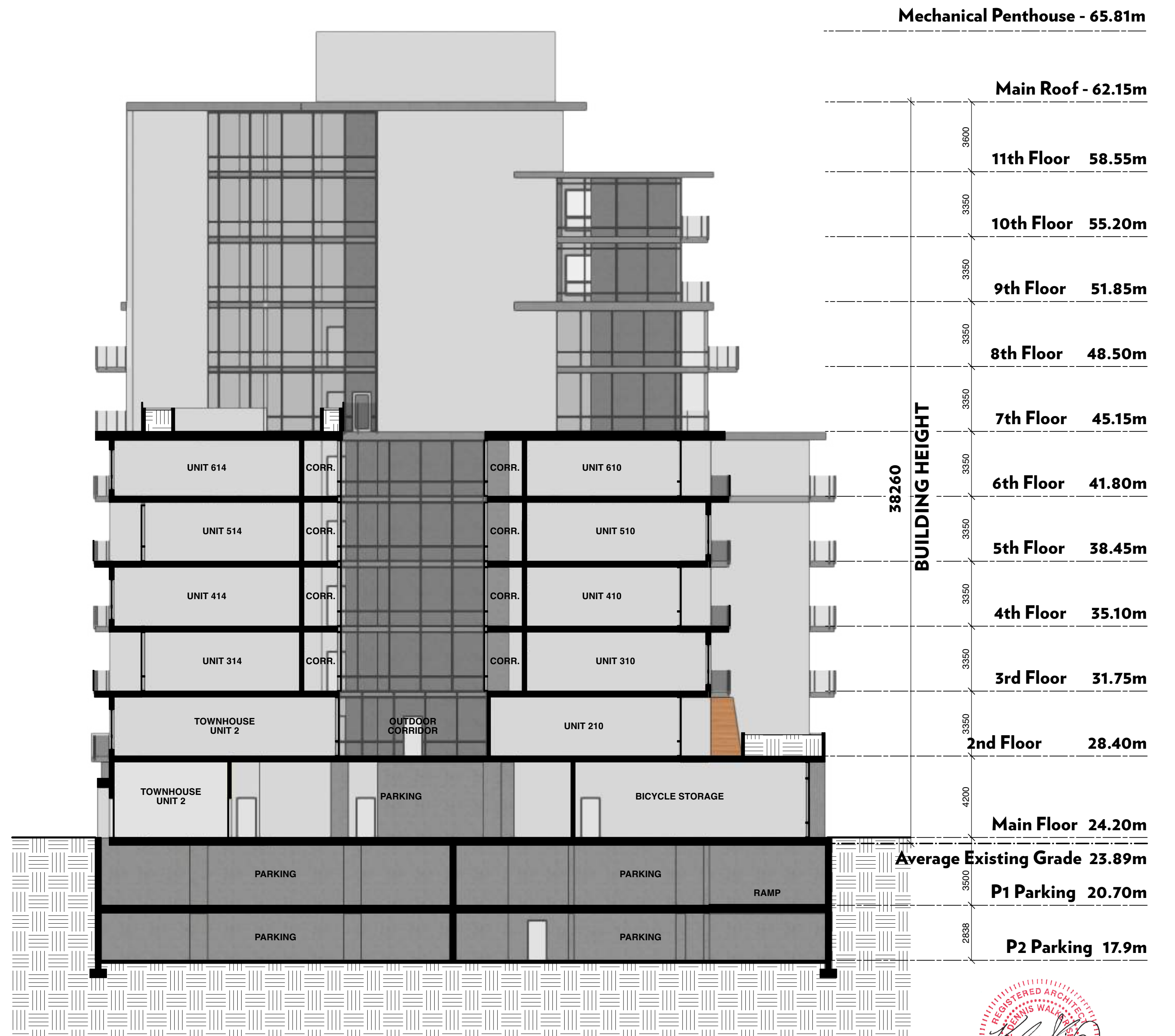
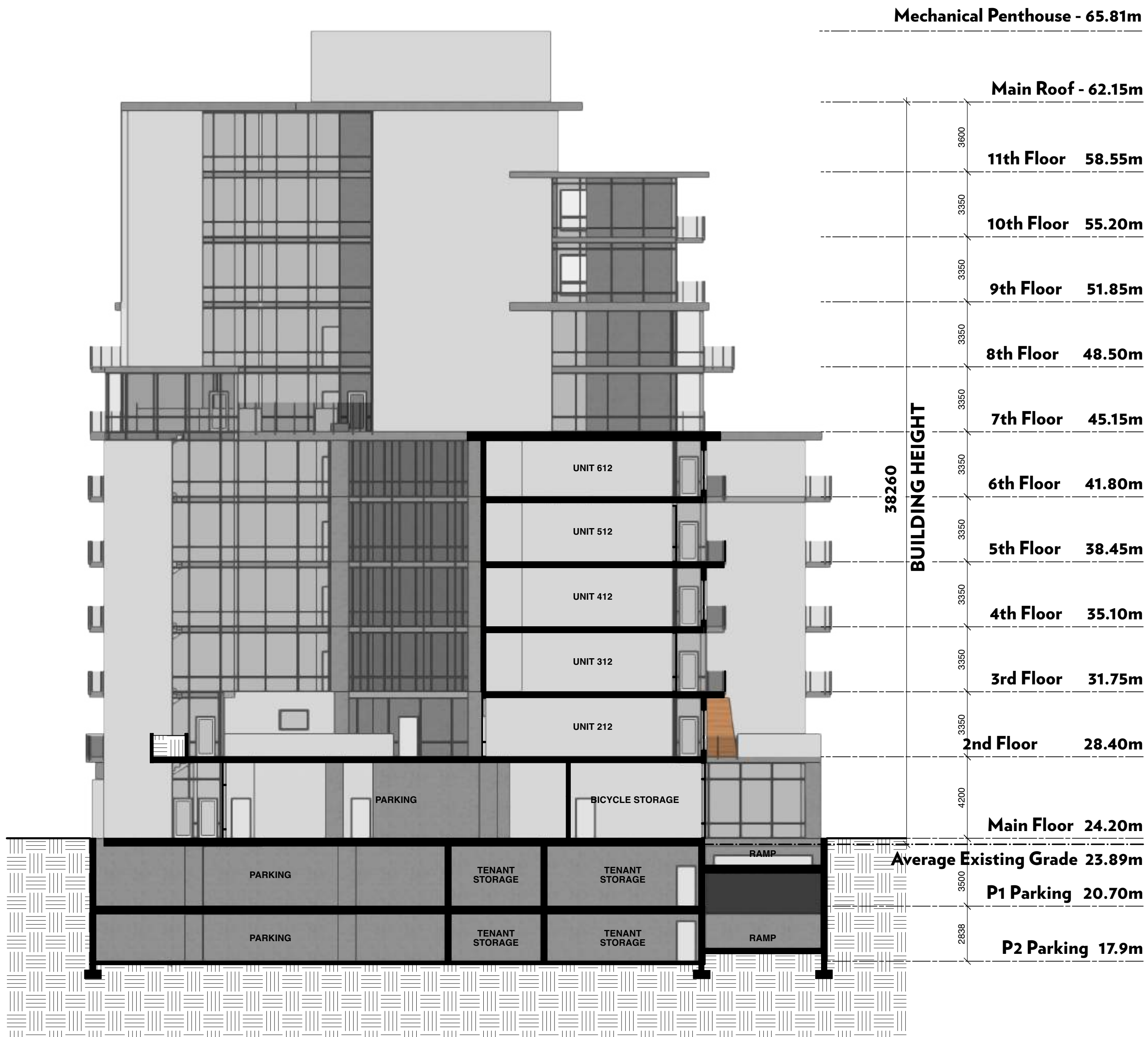


2 SECTION  
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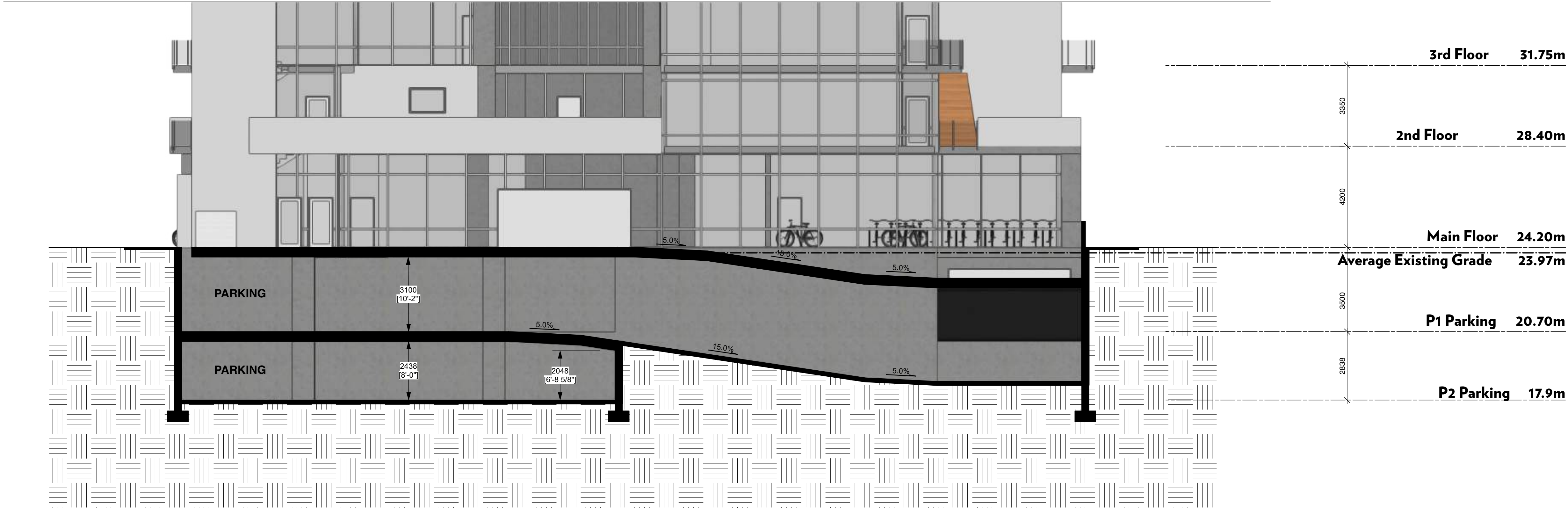


1 SECTION  
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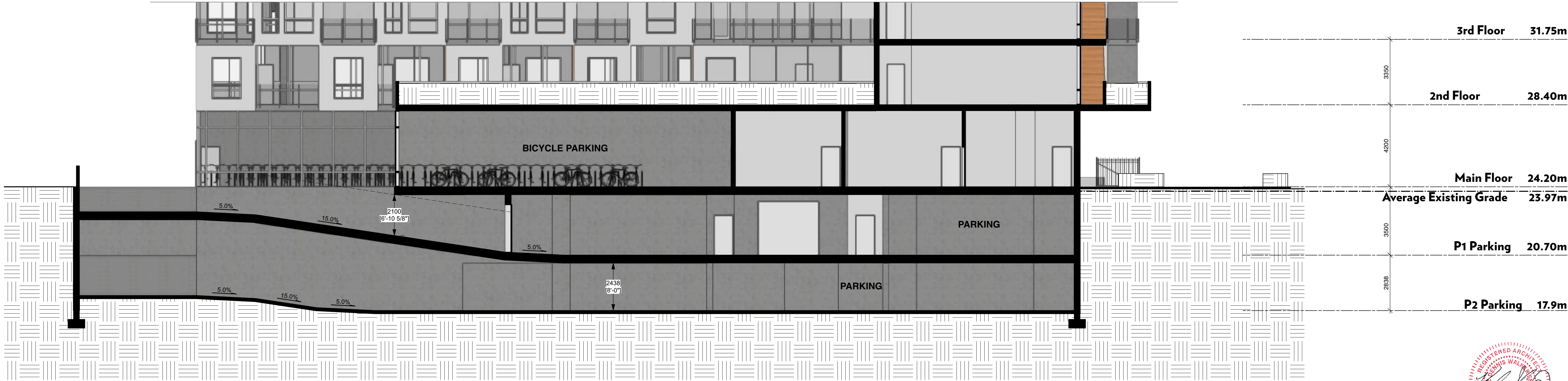








2 RAMP SECTION 2  
4.5 Scale: 1:100



1 RAMP SECTION 1  
4.5 Scale: 1:100



A4.5 - SECTIONS  
THE LINCOLN





**A5.0 - SOUTH STREETSCAPE  
THE LINCOLN**

614 Granville Ave. Esquimalt, B.C. PROJECT NO. 22521

SCALE: DATE: October 20, 2025

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**A5.1 - EAST STREETScape  
THE LINCOLN**

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**A5.2 - NORTH STREETSCAPE  
THE LINCOLN**

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**A5.3 - WEST STREETSCAPE  
THE LINCOLN**

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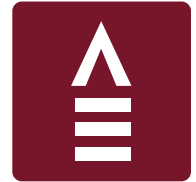


**A6.0 - PERSPECTIVES - ESQUIMALT RD. LOOKING WEST  
THE LINCOLN**

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**A6.1 - PERSPECTIVES - PARK TERR. LOOKING WEST  
THE LINCOLN**







**A6.2 - PERSPECTIVES - GRENVILLE AVE. LOOKING SOUTH  
THE LINCOLN**







**A6.3 - PERSPECTIVES - ADMIRALS RD. LOOKING SOUTH-EAST  
THE LINCOLN**







**A6.4 - PERSPECTIVES - ADMIRALS RD. LOOKING EAST  
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# **A6.5 - PERSPECTIVES - AERIAL** **THE LINCOLN**

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**A6.6 - PERSPECTIVES - AERIAL  
THE LINCOLN**

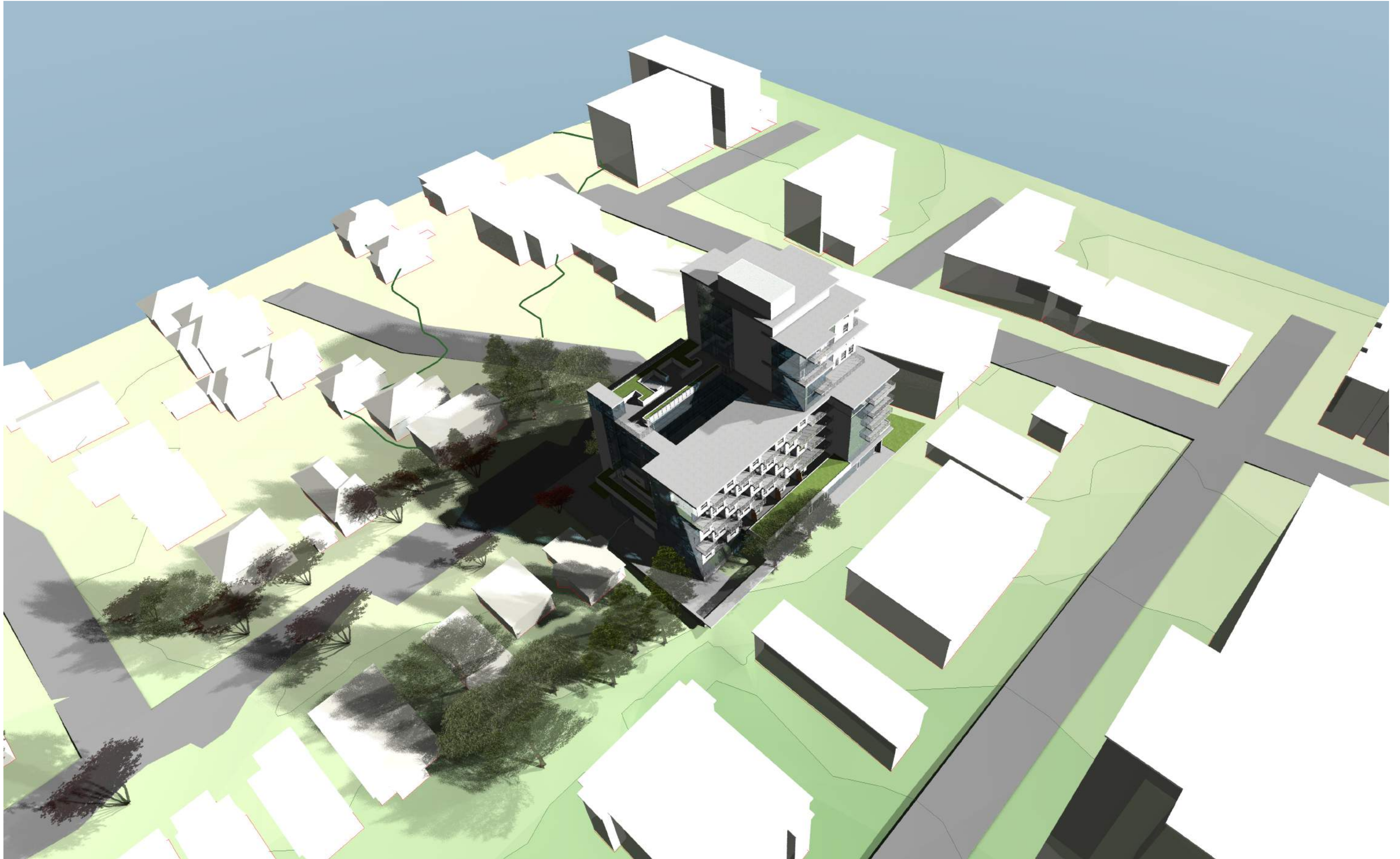
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**A6.7 - PERSPECTIVES - AERIAL  
THE LINCOLN**

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**A6.8 - PERSPECTIVES - AERIAL**  
**THE LINCOLN**

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**A6.9 - PERSPECTIVES - RESIDENTIAL  
THE LINCOLN**

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**A6.10 - PERSPECTIVES - COMMERCIAL  
THE LINCOLN**

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10 AM



12 PM



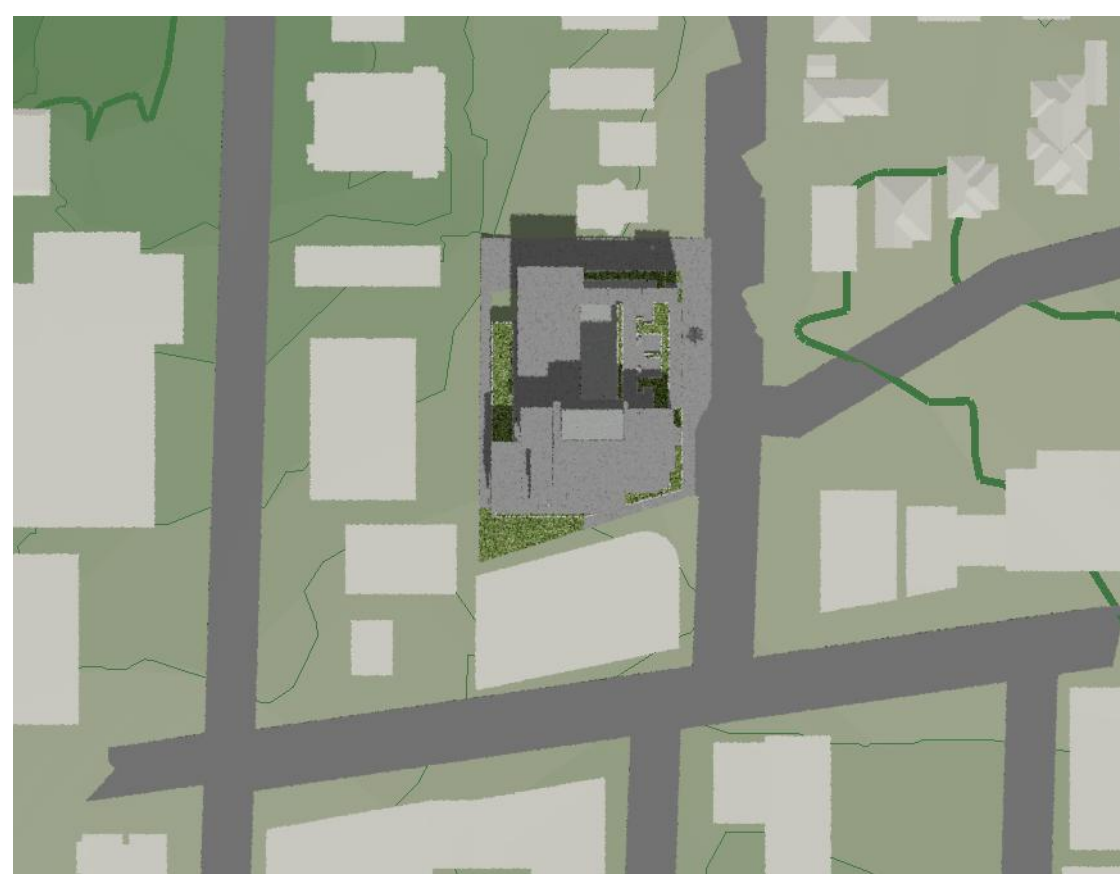
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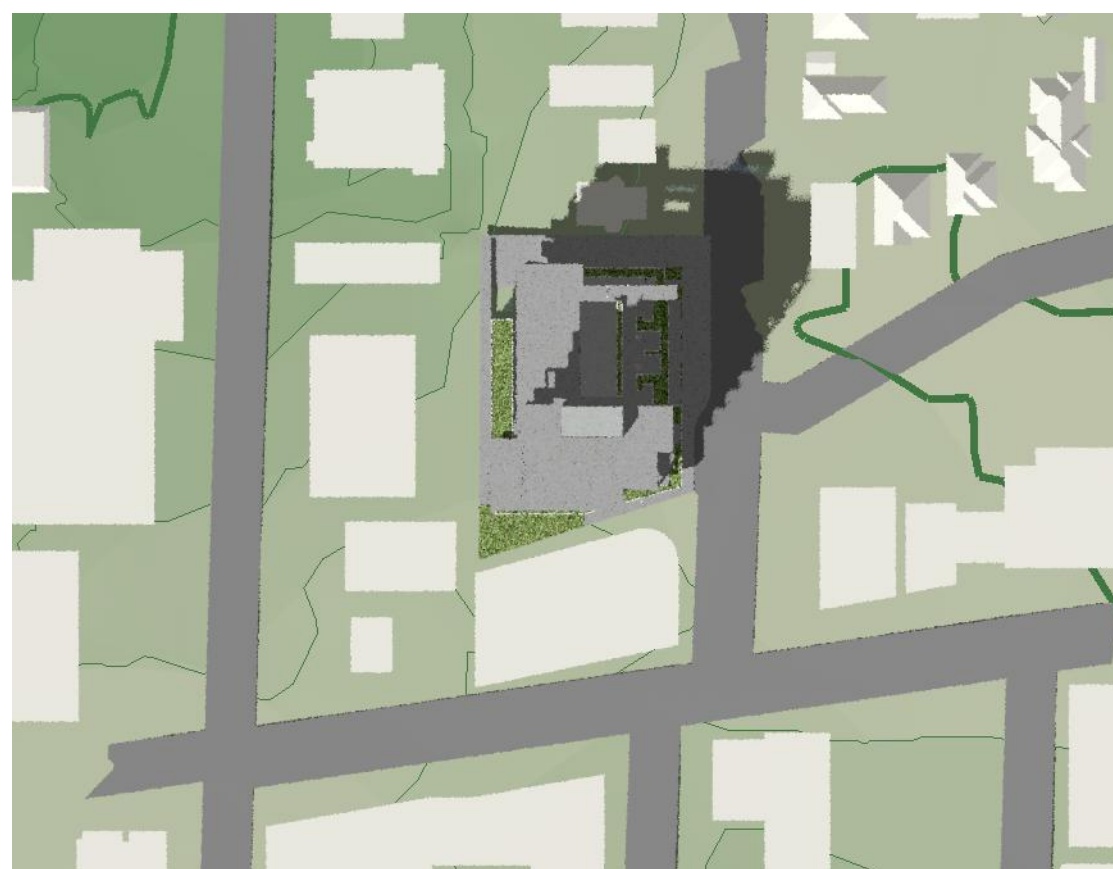
4 PM



MARCH 21ST



JUNE 21ST



SEPTEMBER 21ST



DECEMBER 21ST