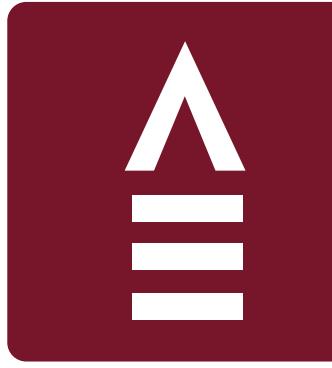




**The Lincoln
Re-issued for Rezoning
October 20, 2025**



**FINLAYSON
BONET
ARCHITECTURE LTD.**

GENERAL NOTES

- ALL WORK TO CONFORM TO 2024 BRITISH COLUMBIA BUILDING CODE AND ALL OTHER APPLICABLE CODES, BYLAWS AND STANDARDS.
- ALL DIMENSIONS ARE IN METRIC (MILLIMETERS) UNLESS NOTED OTHERWISE.
- ALL DIMENSIONS ARE TO FACE OF CONCRETE, FACE OF SHEATHING, CENTERLINE OF STUD, CENTERLINE OF DOORS AND WINDOWS, AND TO FACE OF ANY OTHER STRUCTURAL ELEMENT NOT LISTED.
- CONTRACTOR TO VERIFY ALL DIMENSIONS ON SITE AND INFORM COORDINATING REGISTERED PROFESSIONAL OF ANY DISCREPANCIES PRIOR TO UNDERTAKING THE PORTION OF WORK WHICH IN REFERENCE TO ANY DISCREPANCY.
- DO NOT SCALE THESE DRAWINGS. FINLAYSON BONET ARCHITECTURE LTD. IS NOT RESPONSIBLE FOR ISSUES THAT ARISE FROM A FAILURE TO COMPLY.
- THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL ARCHITECTURAL SPECIFICATIONS, STRUCTURAL DRAWINGS AND SPECIFICATIONS, MECHANICAL DRAWINGS AND SPECIFICATIONS, ELECTRICAL DRAWINGS AND SPECIFICATIONS, CHIMNEY DRAWINGS AND SPECIFICATIONS, LANDSCAPE DRAWINGS AND SPECIFICATIONS, INTERIOR DESIGN DRAWINGS AND SPECIFICATIONS AND ANY OTHER CONSTRUCTION REQUIREMENTS REFERRED TO IN THE CONSTRUCTION OF THIS PROJECT.
- CONTRACTOR TO OBTAIN ALL NECESSARY PERMITS, BY LAW APPROVALS AND OBSERVE ALL REQUIRED SAFETY REGULATIONS THROUGHOUT THE COURSE OF CONSTRUCTION.
- PENETRATIONS THROUGH FIRE SEPARATIONS ARE TO BE SEALED WITH A LISTED ULC FIRESTOP ASSEMBLY.
- IN WET LOCATIONS SUBSTITUTE MOISTURE RESISTANT DRYWALL FOR GYPSUM WALLBOARD.
- ALL EXIT DOORS TO BE 915mm x 2030mm AND EQUIPPED WITH AN AUTOMATIC DOOR CLOSURE.

DRAWING LIST

A0.0	COVER SHEET
A0.1	PROJECT DATA
A1.0	SITE PLAN
A1.1	LANDSCAPE PLAN - LEVEL 1
A1.2	LANDSCAPE PLAN - LEVEL 7
A2.0a	P2 PARKING PLAN
A2.0b	P1 PARKING PLAN
A2.1	LEVEL 1 PLAN
A2.2	LEVEL 2 PLAN
A2.3	LEVEL 3 PLAN
A2.4	LEVEL 4 PLAN
A2.5	LEVEL 5 PLAN
A2.6	LEVEL 6 PLAN
A2.7	LEVEL 7 PLAN
A2.8	LEVEL 8 PLAN
A2.9	LEVEL 9 PLAN
A2.10	LEVEL 10 PLAN
A2.11	LEVEL 11 PLAN
A2.12	ROOF PLAN
A3.0	ELEVATIONS
A3.1	ELEVATIONS
A4.0	SECTIONS
A4.1	SECTIONS
A4.2	SECTIONS
A4.3	SECTIONS
A4.4	SECTIONS
A4.5	SECTIONS
A5.0	SOUTH STREETSCAPE
A5.1	EAST STREETSCAPE
A5.2	NORTH STREETSCAPE
A5.3	WEST STREETSCAPE
A6.0	PERSPECTIVES - ESQUIMALT RD WEST
A6.1	PERSPECTIVES - PARK TERR. WEST
A6.2	PERSPECTIVES - GRENVILLE AVE SOUTH
A6.3	PERSPECTIVES - ADMIRALS RD SOUTH
A6.4	PERSPECTIVES - AERIAL
A6.5	PERSPECTIVES - AERIAL
A6.6	PERSPECTIVES - AERIAL
A6.7	PERSPECTIVES - AERIAL
A6.8	PERSPECTIVES - AERIAL
A6.9	PERSPECTIVES - RESIDENTIAL
A6.10	PERSPECTIVES - COMMERCIAL
A7.0	SOLAR STUDY

UNITS	
TOWNHOUSES =	3
STUDIO UNITS =	10
1 BEDROOM UNITS =	59
1 BEDROOM + DEN UNITS =	8
2 BEDROOM UNITS =	7
2 BEDROOM + DEN UNITS =	8
TOTAL NUMBER OF UNITS =	95

FLOOR AREA RATIO		
AREAS FOR FAR CALCULATIONS	m ²	ft ²
SITE AREA	2536.1 m ²	27,298 ft ²
MAIN	485.9 m ²	5,230 ft ²
LEVEL 2	931.1 m ²	10,022 ft ²
LEVEL 3	844.3 m ²	9,089 ft ²
LEVEL 4	843.6 m ²	9,080 ft ²
LEVEL 5	844.3 m ²	9,089 ft ²
LEVEL 6	843.6 m ²	9,080 ft ²
LEVEL 7	347.4 m ²	3,739 ft ²
LEVEL 8	347.4 m ²	3,739 ft ²
LEVEL 9	268.6 m ²	2,891 ft ²
LEVEL 10	268.6 m ²	2,891 ft ²
LEVEL 11	180.1 m ²	1,939 ft ²
TOTAL GROSS FLOOR AREA	6,204.9 m ²	66,790 ft ²

FLOOR AREA RATIO (COMBINED LOTS) 2.45 : 1

FLOOR AREA RATIO (SOUTH LOT: C3 ZONING) 2.97 : 1

FLOOR AREA RATIO (NORTH LOT: RS-1/RD-3 ZONING) 1.89 : 1

PREPARED IN ACCORDANCE WITH SECTION 14. NUMBERS INDICATED ARE FOR THE LOT SIZE EXCLUDING THE FOLLOWING: SECTION 14.1(G), 14.1(I) AND 14.2(A): P2 (NOT IN CALCULATION) 1,982.7 m² / 20,480 ft²; P1 (NOT IN CALCULATION) 1,982.7 m² / 20,480 ft²

PROJECT DATA

LOCATION	614, 616, 618 GRENVILLE AVENUE, ESQUIMALT, BC
LEGAL DESCRIPTION:	
LOT 221, SUBURBAN LOT 42, ESQUIMALT DISTRICT, PLAN 2854, EXCEPT THAT PART LYING NORTH OF THE SOUTHERLY BOUNDARY OF LOT A, PLAN 19331	
LOT 4 & 3, SUBURBAN LOT 42, ESQUIMALT DISTRICT PLAN 4668	
USE	MIXED USE, RESIDENTIAL AND COMMERCIAL
SITE AREA	2536.1 m ² / 27,298 ft ²

PROJECT INFORMATION TABLE

ZONE (EXISTING)	C3 / RS-1 / RD-3
SITE AREA (m ²)	2536.1 m ² / 27,298 ft ²
TOTAL GROSS FLOOR AREA	6,204.9 m ² / 66,790 ft ²
COMMERCIAL FLOOR AREA	192.5 m ² / 2072 ft ²
FLOOR SPACE RATIO (TOTAL GROSS FLOOR AREA / LOT AREA)	6,204.9 m ² / 2536.1 m ² = 2.45 : 1
LOT COVERAGE %	153.5 m ² / 2536.1 ft ² = 60.5%
USABLE OPEN SPACE %	194.2 m ² / 2536.1 ft ² = 7.6 %
HEIGHT OF BUILDING	38.26 m
MAIN FLOOR ELEVATION	24.20 m
NUMBER OF STOREYS	11
PARKING STALLS (NUMBER) ON SITE	78 REQUIRED - PROVIDED 84
BICYCLE PARKING NUMBER (LONG-TERM AND SHORT-TERM)	116 REQUIRED - PROVIDED 118
BUILDING SETBACKS	
FRONT YARD	0.0 m
REAR YARD	1.9 m
INTERIOR SIDE YARD (NORTH)	5.7 m
INTERIOR SIDE YARD (SOUTH)	0.6 m
RESIDENTIAL USE DETAILS	
TOTAL NUMBER OF UNITS	95
TOTAL RESIDENTIAL FLOOR AREA (m ²)	5838.0 m ² / 62,841 ft ²
AVERAGE GRADE	23.89 m (SEE 1/A0.1)

OFF-STREET PARKING

RESIDENTIAL PARKING SPACES REQUIRED (NUMBER OF DWELLING UNITS)	5
NUMBER OF STUDY DWELLING UNITS = 10 @ 0.5 = 5	
NUMBER OF 1-BEDROOM DWELLING UNITS = 55 @ 0.6 = 35.4	
NUMBER OF DWELLING UNITS GREATER THAN 1-BEDROOM = 26 @ 0.8 = 20.8	
62 STALLS	

COMMERCIAL PARKING SPACES REQUIRED

6 STALLS

VISITOR PARKING SPACES REQUIRED

10 STALLS

TOTAL PARKING SPACES REQUIRED

78 STALLS

TOTAL PARKING SPACES PROVIDED

84 STALLS

ACCESSIBLE PARKING SPACES REQUIRED

3 STALLS

ACCESSIBLE PARKING SPACES PROVIDED

4 STALLS

LOADING SPACES REQUIRED

1 STALLS

LOADING SPACES PROVIDED

1 STALLS

BICYCLE PARKING

SURFACE BIKE PARKING REQUIRED (SHORT-TERM)

6 STALLS

SURFACE BIKE PARKING PROVIDED (SHORT-TERM)

6 STALLS

SURFACE BIKE PARKING REQUIRED (LONG-TERM)

110 STALLS

NUMBER OF DWELLING UNITS WITH 1-BEDROOM = 35.4

NUMBER OF DWELLING UNITS WITH 2 OR MORE BEDROOMS = 26 @ 1.5 = 39

COMMERCIAL AREA = 192.5 m² @ 1 per 150 m² = 1.3

110 STALLS

SURFACE BIKE PARKING PROVIDED (LONG-TERM)

116 STALLS

TOTAL BIKE PARKING SPACES REQUIRED

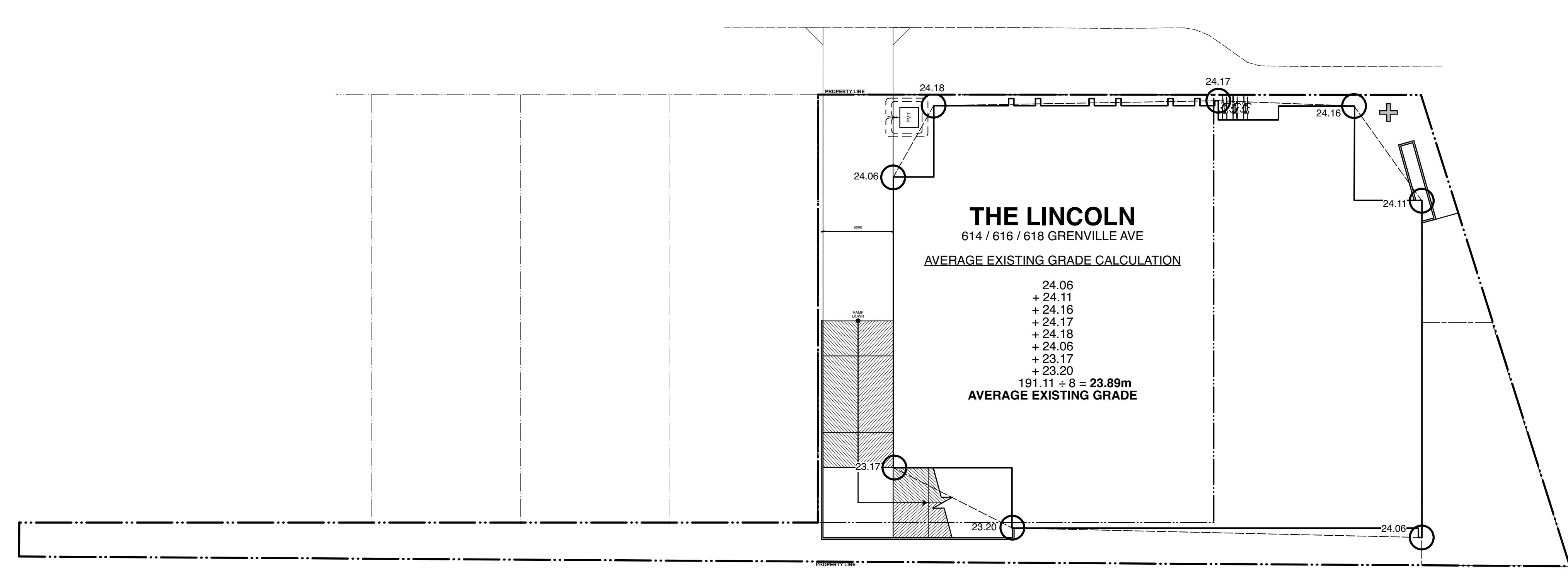
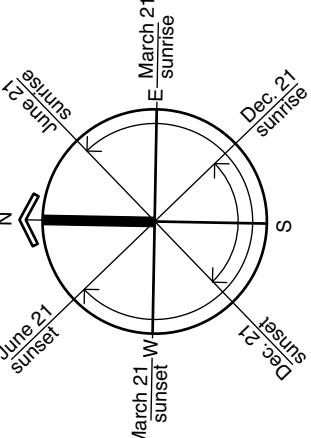
116 STALLS

TOTAL BIKE PARKING SPACES PROVIDED

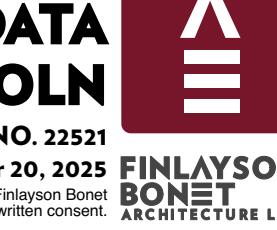
118 STALLS

PREPARED IN ACCORDANCE WITH CORPORATION OF THE TOWNSHIP OF ESQUIMALT BYLAW NO. 3089

2025-10-21



A0.1 - PROJECT DATA
THE LINCOLN



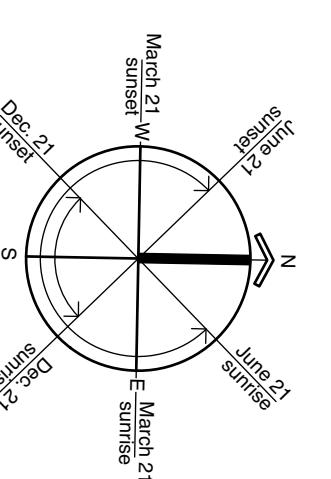
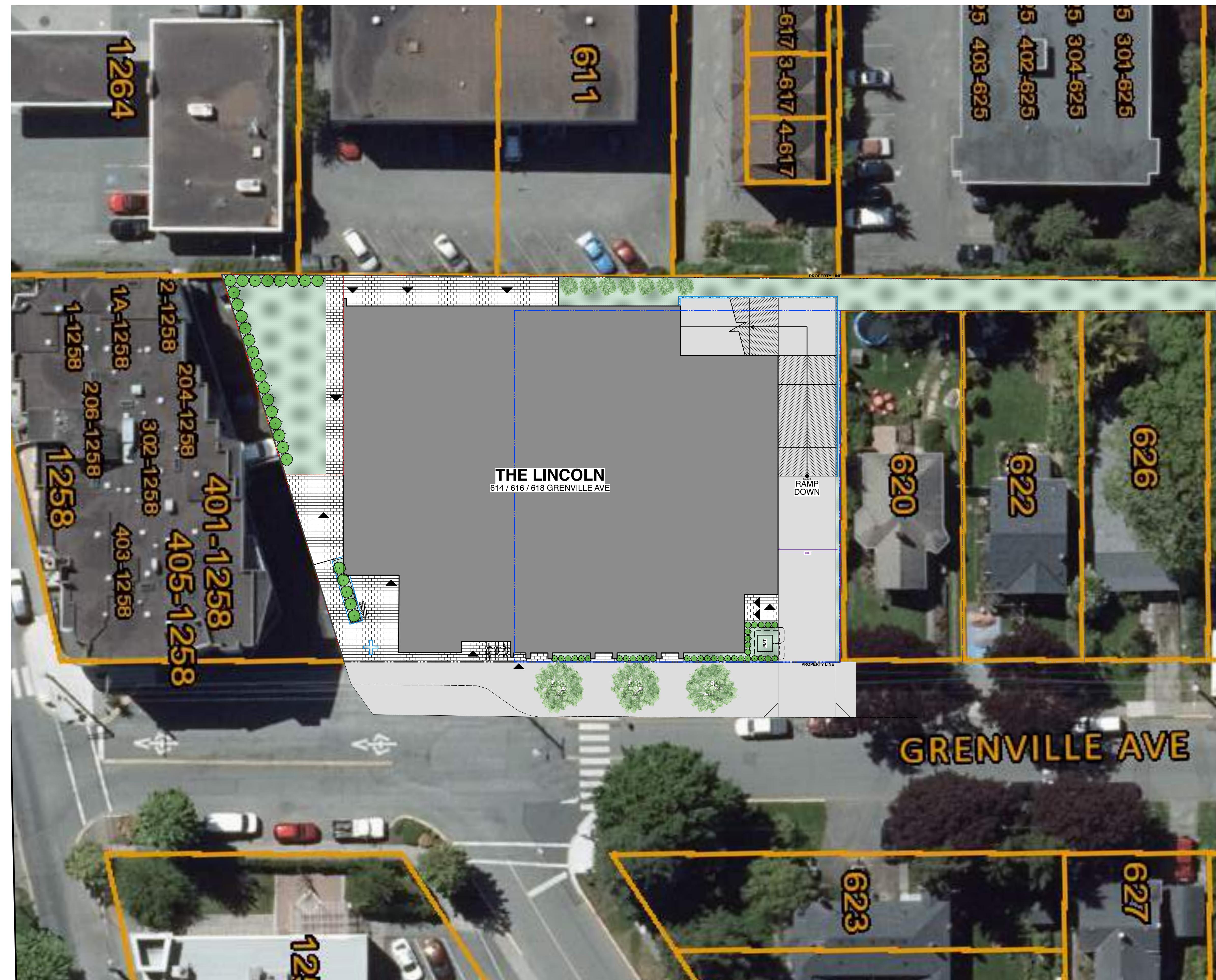
614 Grenville Ave, Esquimalt, B.C.

SCALE: 1:250

DATE: October 20, 2025

FINLAYSON
BONET
ARCHITECTURE LTD.

© Copyright reserved. These plans and designs are at all times the property of Finlayson Bonet Architecture Limited, to be



A1.0 - SITE PLAN
THE LINCOLN

614 Grenville Ave, Esquimalt, B.C.

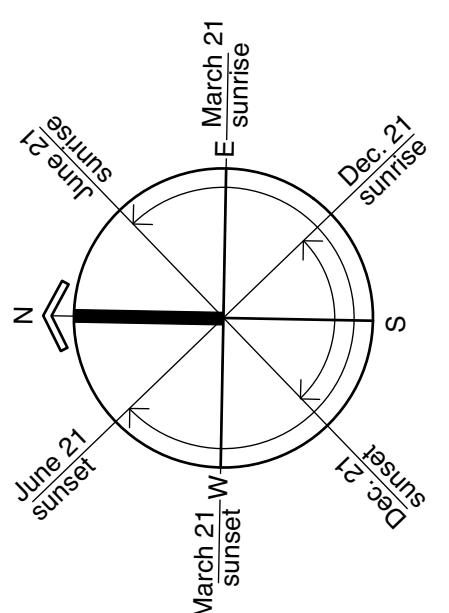
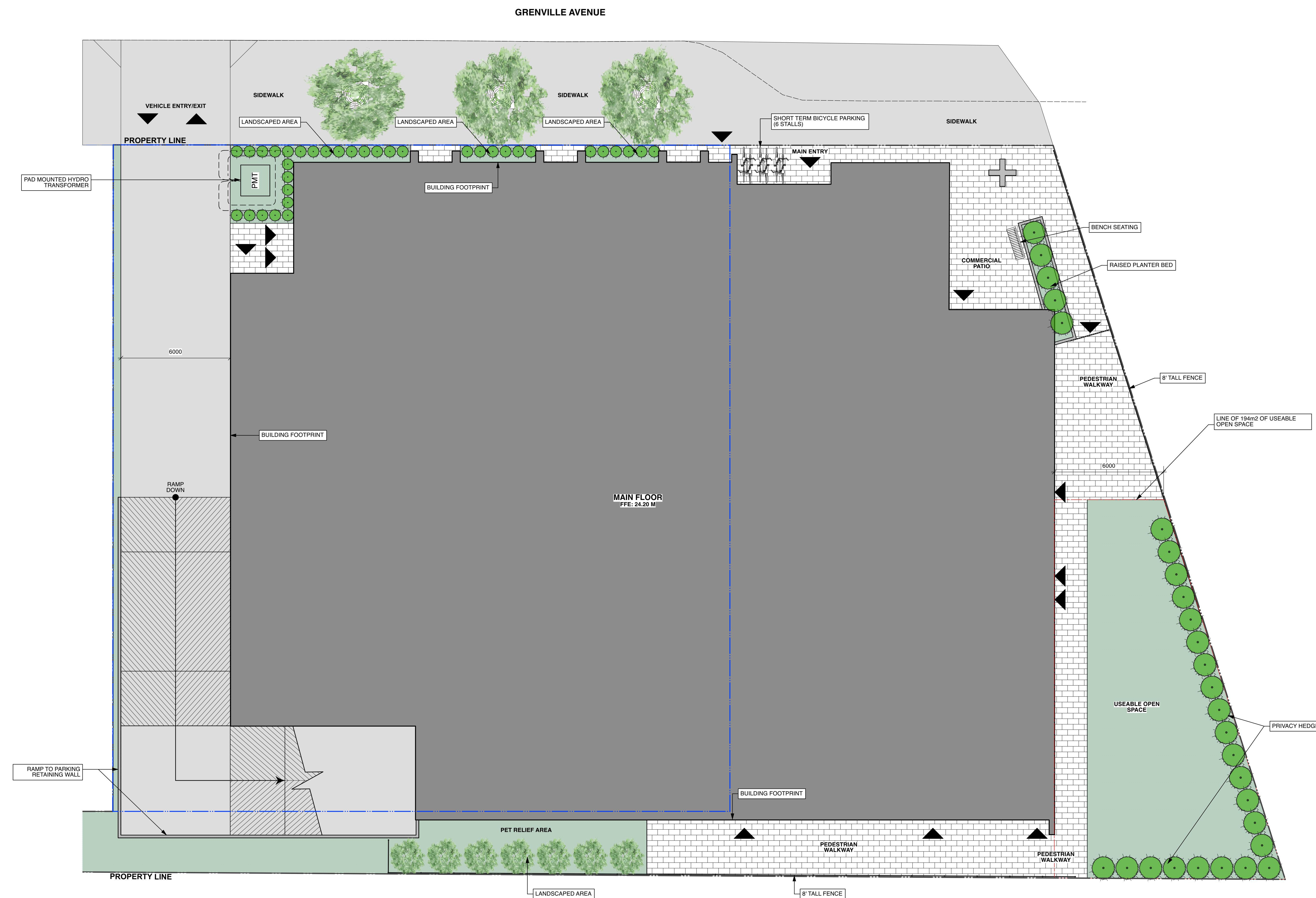
PROJECT NO. 22521

SCALE: 1:200

DATE: October 20, 2025

© Copyright reserved. These plans and designs are and at all times remain the property of Finlayson Bonet Architecture Limited, to be used for the project shown, and may not be reproduced without written consent.





A1.1 - LANDSCAPE PLAN - LEVEL 1 THE LINCOLN

14 Grenville Ave, Esquimalt, B.C. V8M 1L2

PROJECT NO. 22521

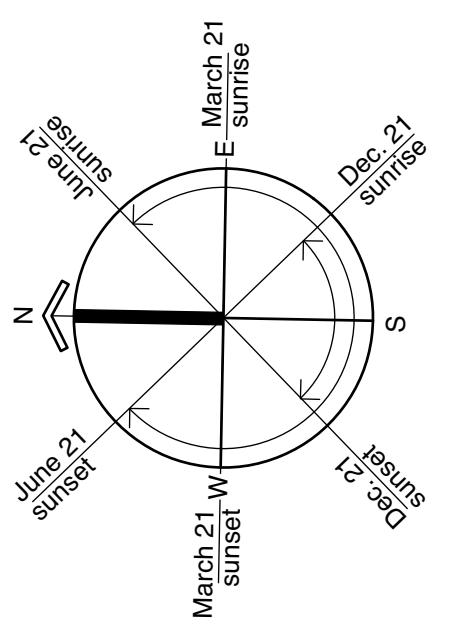
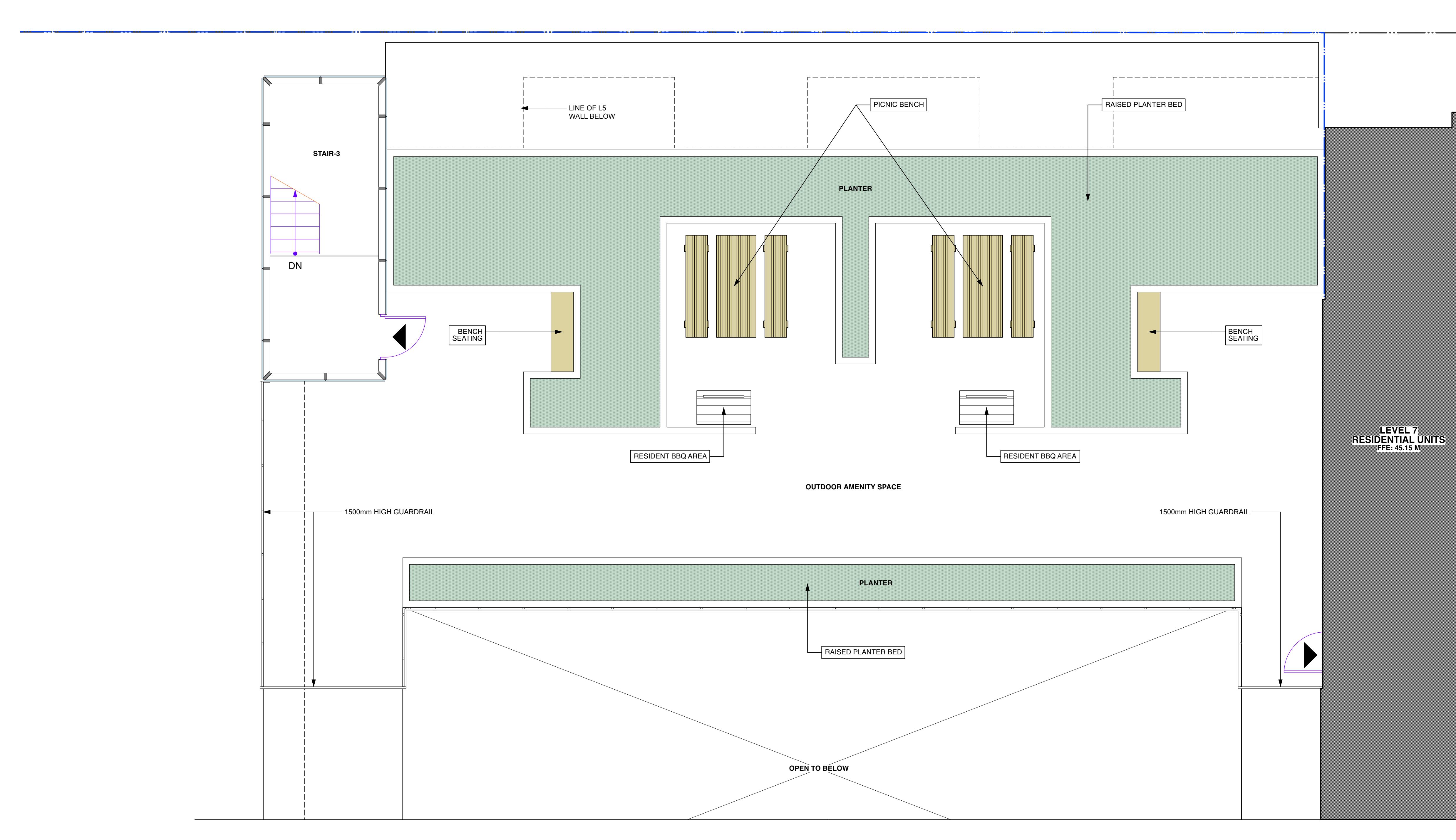
© 2008 All rights reserved. These plans and designs are and

DATE: October 20, 2025

Copyright reserved. These plans and designs are and at all times remain the property of Finlayson Bonet Lecture Limited, to be used for the project shown, and may not be reproduced without written consent.

es remain the property of Finlayson Bonet
ot be reproduced without written consent.

© 2007 DONALD ARCHITECTURE LTD.



A1.1 - LANDSCAPE PLAN - LEVEL 7
THE LINCOLN

614 Grenville Ave, Esquimalt, B.C.

PROJECT NO. 22521

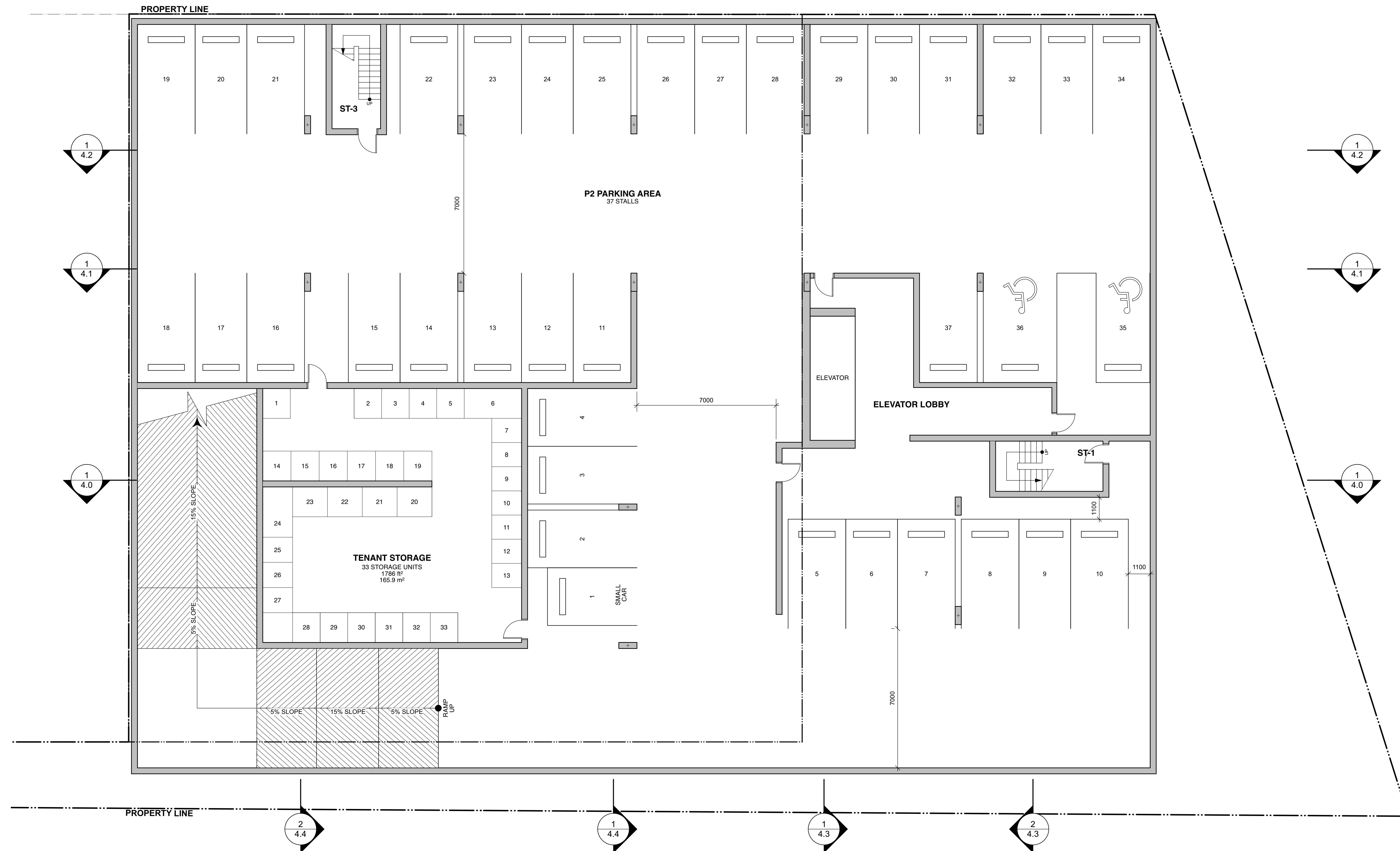
SCALE: 1:50

DATE: October 20, 2025

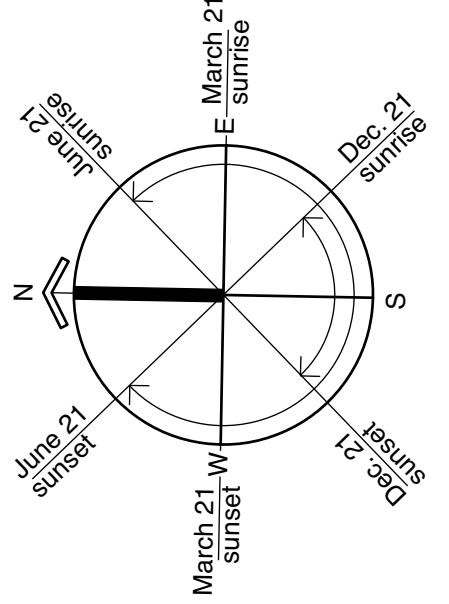
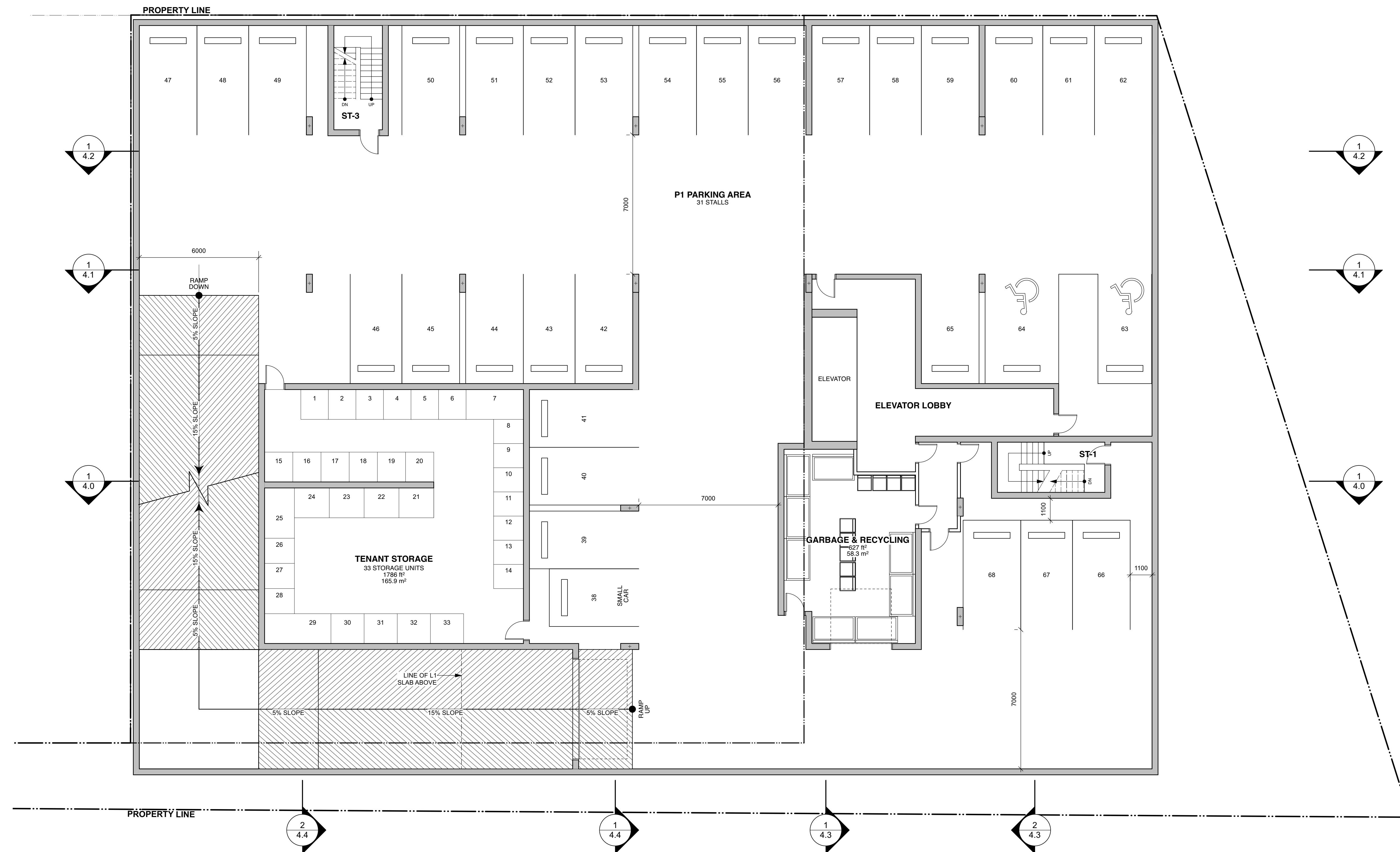
© Copyright reserved. These plans and designs are and at all times remain the property of Finlayson Bonet Architecture Limited, to be used for the project shown, and may not be reproduced without written consent.



PARKING STALL COUNT				
LEVEL	REGULAR	ACCESSIBLE	SMALL CAR	TOTAL
P2	24	2	11	37
P1	20	2	9	31
L1	16	0	0	16
TOTAL	60	4	20	84



<u>PARKING STALL COUNT</u>				
<u>LEVEL</u>	<u>REGULAR</u>	<u>ACCESSIBLE</u>	<u>SMALL CAR</u>	<u>TOTAL</u>
P2	24	2	11	37
P1	20	2	9	31
L1	16	0	0	16
<u>TOTAL</u>	60	4	20	84



A2.0b - P1 PARKING PLANS THE LINCOLN

Grenville Ave, Esquimalt, B.C.
SCALE: 1:100

PROJECT NO. 22521
DATE: October 20, 2025 **FIN**
main the property of Finlayson Bonet **BON**

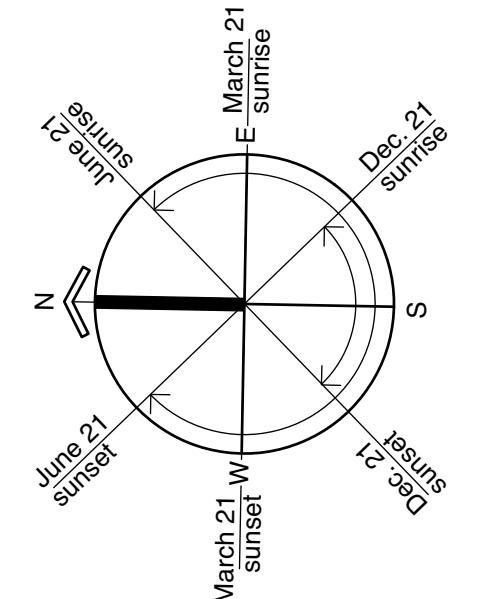
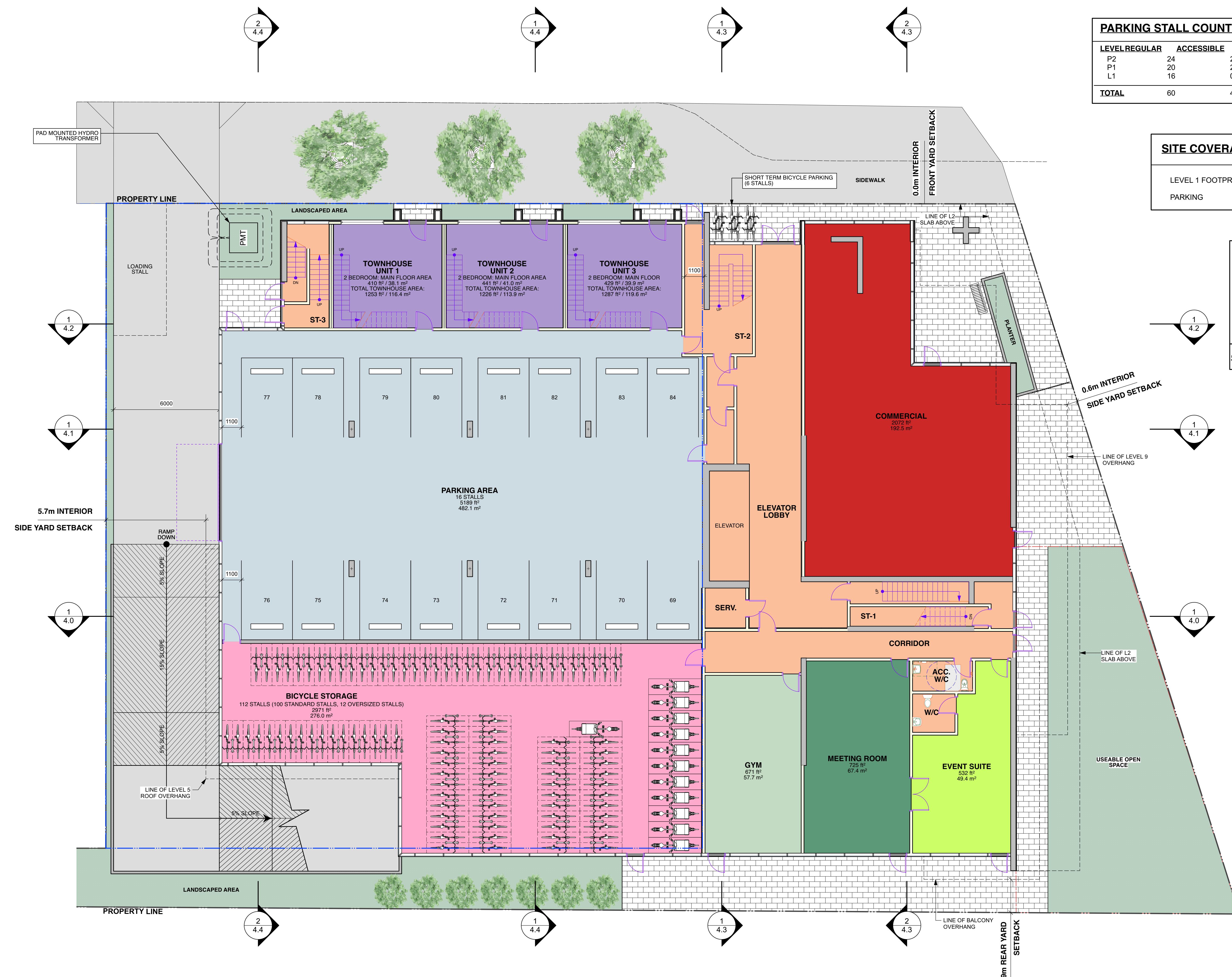
14 Grenville Ave, Esquimalt, B.C. **PROJECT NO. 22521**
SCALE: 1:100 **DATE: October 20, 2025** **FINLAYSON BONET**
Copyright reserved. These plans and designs are and at all times remain the property of Finlayson Bonet.

right reserved. These plans and designs are and at all times remain the property of Finlayson Bonet
Architecture Limited, to be used for the project shown, and may not be reproduced without written consent.

<u>PARKING STALL COUNT</u>				
<u>LEVEL</u>	<u>REGULAR</u>	<u>ACCESSIBLE</u>	<u>SMALL CAR</u>	<u>TOTAL</u>
P2	24	2	11	37
P1	20	2	9	31
L1	16	0	0	16
<u>TOTAL</u>	60	4	20	84

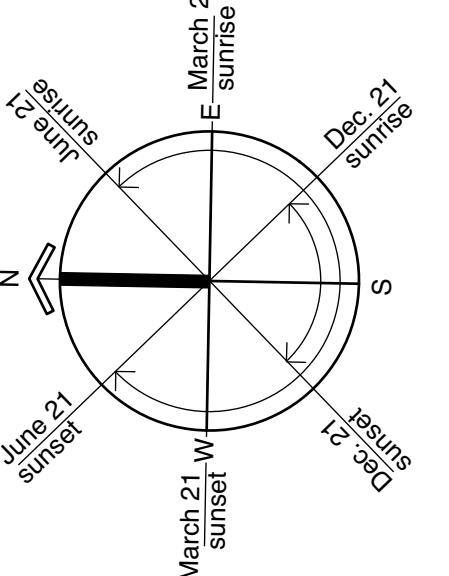
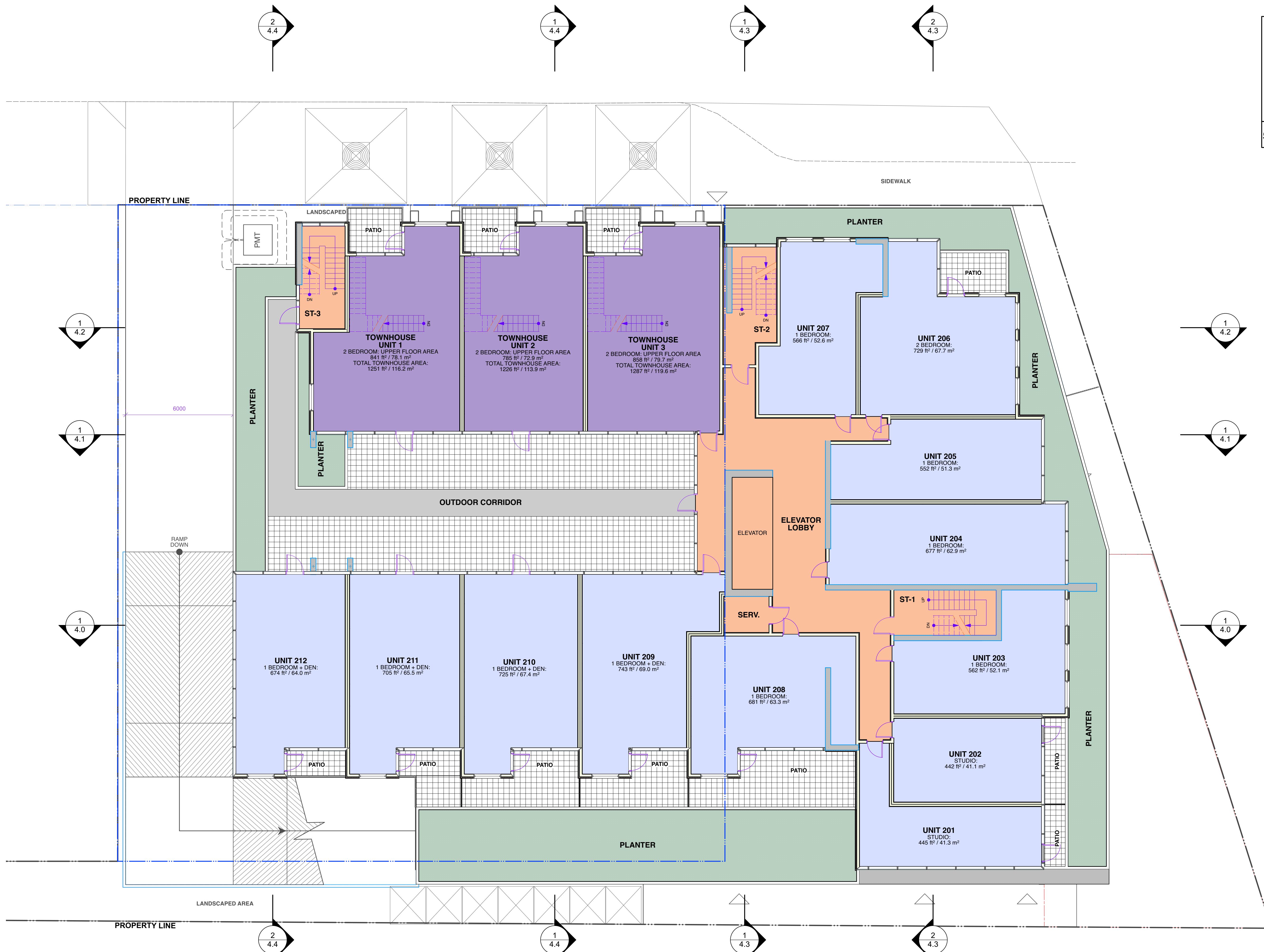
SITE COVERAGE	
LEVEL 1 FOOTPRINT	61.1% OF SITE
PARKING	19.0% OF SITE

<u>UNIT COUNT</u>	
TOWNHOUSE	3
STUDIO	0
1 BEDROOM	0
1 BEDROOM + DEN	0
2 BEDROOM	0
2 BEDROOM + DEN	0
<hr/>	
<u>TOTAL</u>	3 UNITS



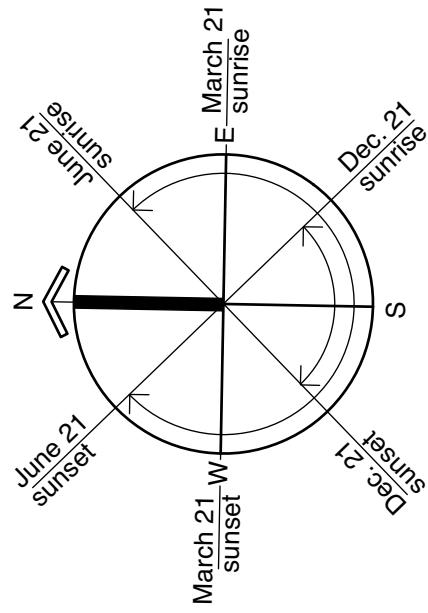
A2.1 - LEVEL 1 & SITE PLAN THE LINCOLN

<u>UNIT COUNT</u>	
TOWNHOUSE	3
STUDIO	2
1 BEDROOM	5
1 BEDROOM + DEN	4
2 BEDROOM	1
2 BEDROOM + DEN	0
<hr/>	
<u>TOTAL</u>	15 UNITS
<hr/>	
<u>ROSS FLOOR AREA</u>	931.1 m ² / 10,022 ft ²



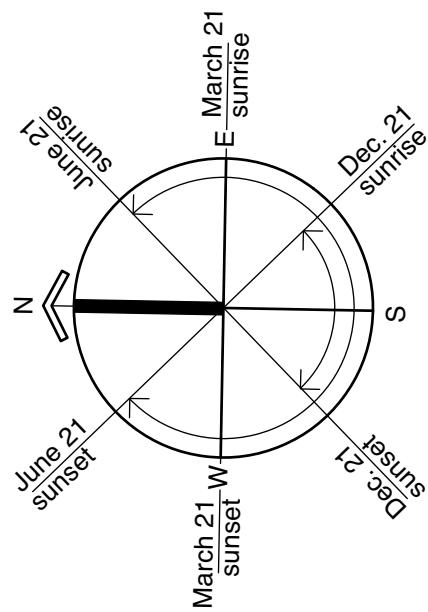
A2.2 - LEVEL 2 PLAN THE LINCOLN

<u>UNIT COUNT</u>	
TOWNHOUSE	0
STUDIO	2
1 BEDROOM	11
1 BEDROOM + DEN	1
2 BEDROOM	1
2 BEDROOM + DEN	0
<hr/>	
<u>TOTAL</u>	15 UNITS
<hr/>	
<u>GROSS FLOOR AREA</u>	844.3 m² / 9,022 ft²



A2.3 - LEVEL 3 PLAN THE LINCOLN

UNIT COUNT	
TOWNHOUSE	0
STUDIO	2
1 BEDROOM	11
1 BEDROOM + DEN	1
2 BEDROOM	1
2 BEDROOM + DEN	0
TOTAL	15 UNITS
GROSS FLOOR AREA 843.6 m ² / 9,080 ft ²	



A2.4 - LEVEL 4 PLAN
THE LINCOLN



614 Grenville Ave, Esquimalt, B.C.

PROJECT NO. 22521

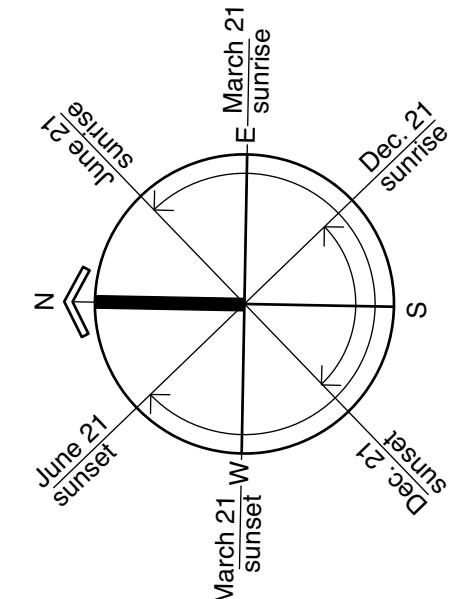
SCALE: 1:100

DATE: October 20, 2025

© Copyright reserved. These plans and designs are and at all times remain the property of Finlayson Bonet Architecture Limited, to be used for the project shown, and may not be reproduced without written consent.

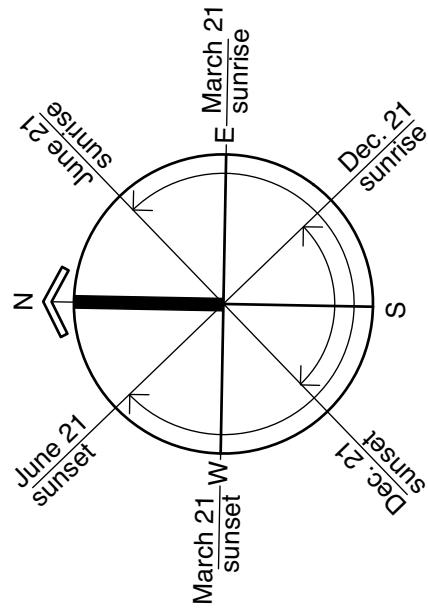
FINLAYSON BONET ARCHITECTURE LTD.

<u>UNIT COUNT</u>	
TOWNHOUSE	0
STUDIO	2
1 BEDROOM	11
1 BEDROOM + DEN	1
2 BEDROOM	1
2 BEDROOM + DEN	0
<hr/>	
<u>TOTAL</u>	15 UNITS
<hr/>	
<u>GROSS FLOOR AREA</u>	844.3 m² / 9,089 ft²



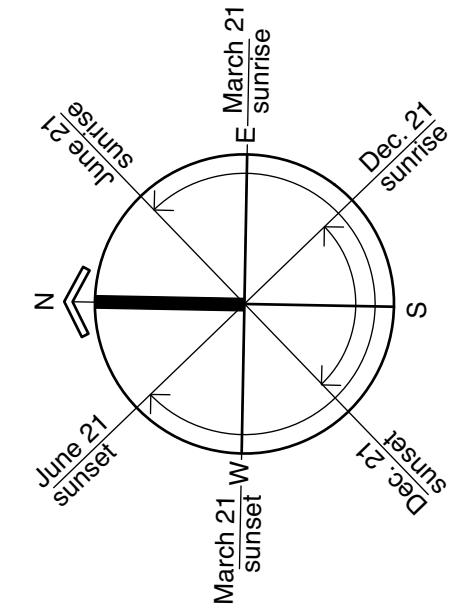
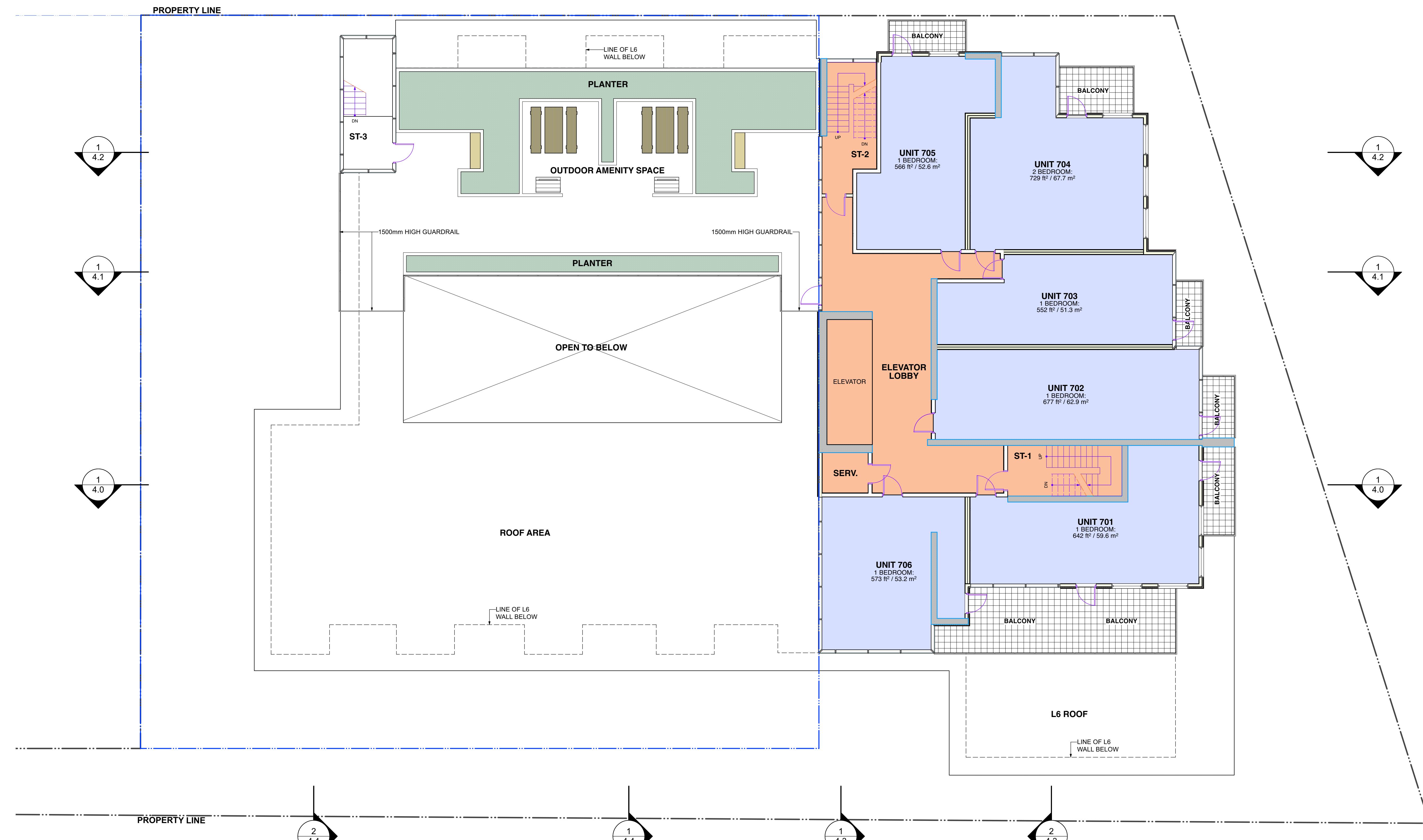
A2.5 - LEVEL 5 PLAN THE LINCOLN

<u>UNIT COUNT</u>	
TOWNHOUSE	0
STUDIO	2
1 BEDROOM	11
1 BEDROOM + DEN	1
2 BEDROOM	1
2 BEDROOM + DEN	0
<hr/>	
<u>TOTAL</u>	15 UNITS
<hr/>	
<u>GROSS FLOOR AREA</u>	843.6 m² / 9,080 ft²



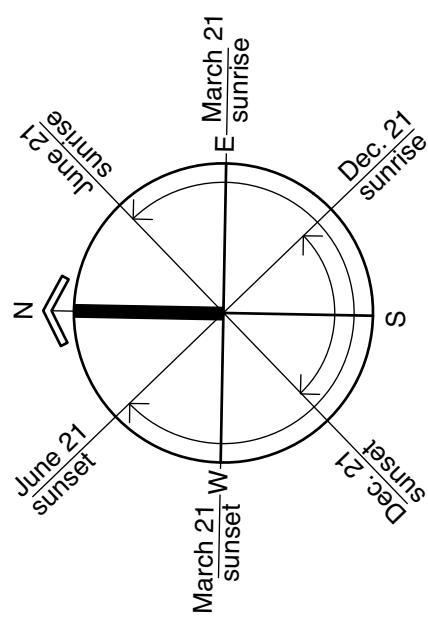
A2.6 - LEVEL 6 PLAN THE LINCOLN

<u>UNIT COUNT</u>	
TOWNHOUSE	0
STUDIO	0
1 BEDROOM	5
1 BEDROOM + DEN	0
2 BEDROOM	1
2 BEDROOM + DEN	0
 <hr/>	
<u>TOTAL</u>	6 UNITS
 <hr/>	
<u>GROSS FLOOR AREA</u>	347.4 m² / 3,739 ft²



A2.7 - LEVEL 7 PLAN THE LINCOLN

UNIT COUNT	
TOWNHOUSE	0
STUDIO	0
1 BEDROOM	5
1 BEDROOM + DEN	0
2 BEDROOM	1
2 BEDROOM + DEN	0
TOTAL	6 UNITS
GROSS FLOOR AREA 347.4 m ² / 3,739 ft ²	



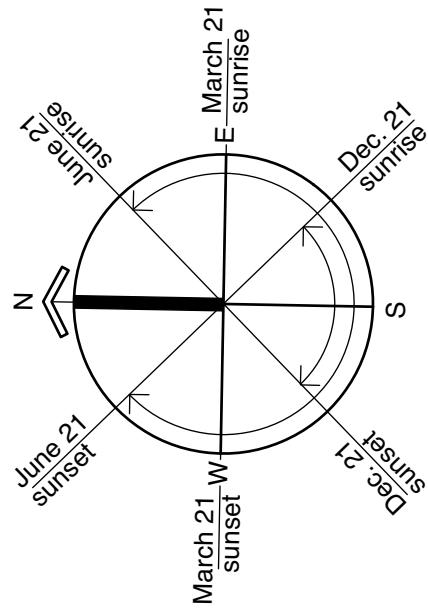
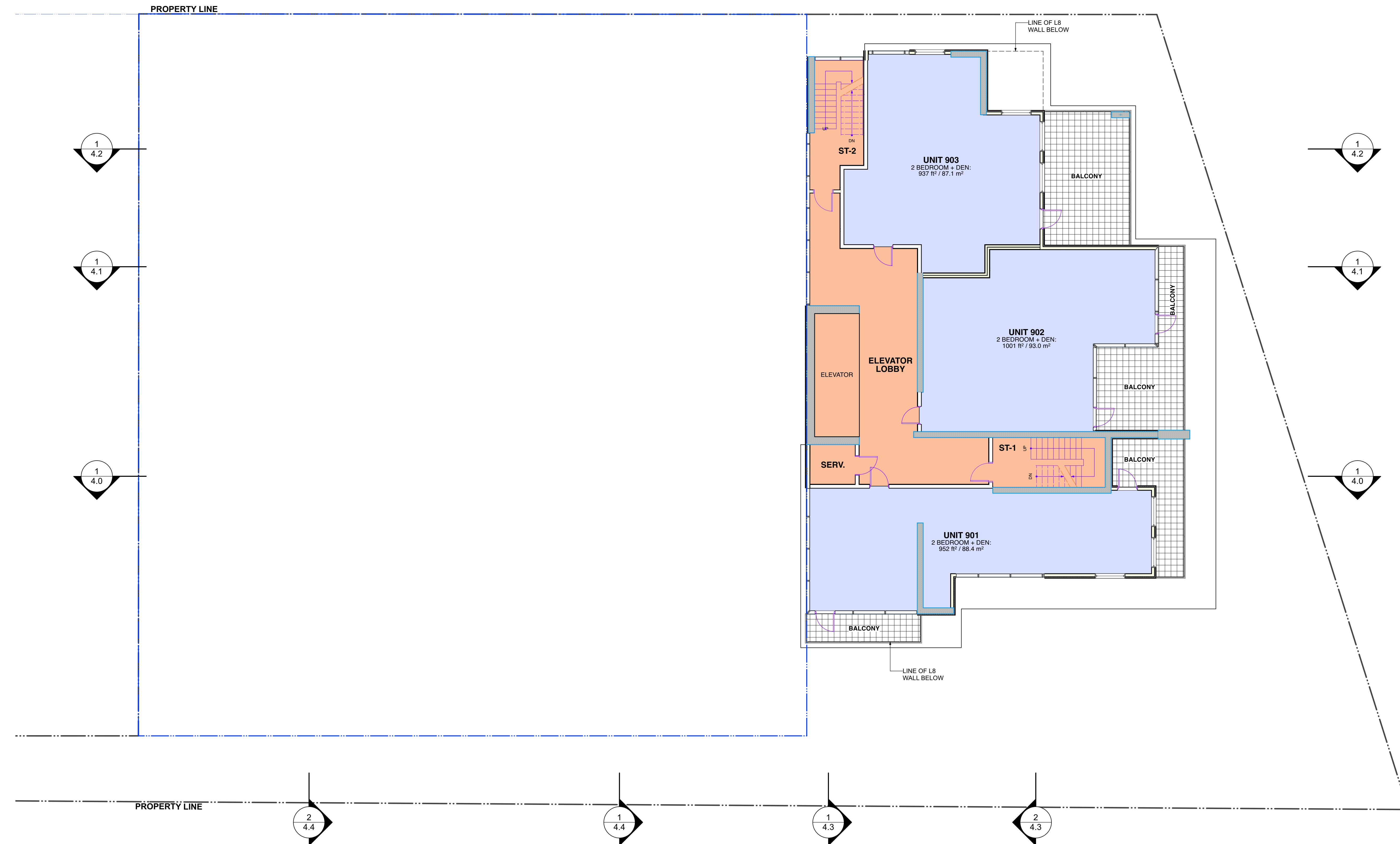
A2.8 - LEVEL 8 PLAN
THE LINCOLN

614 Grenville Ave, Esquimalt, B.C. PROJECT NO. 22521
SCALE: 1:100 DATE: October 20, 2025

© Copyright reserved. These plans and designs are and at all times remain the property of Finlayson Bonet Architecture Limited, to be used for the project shown, and may not be reproduced without written consent.



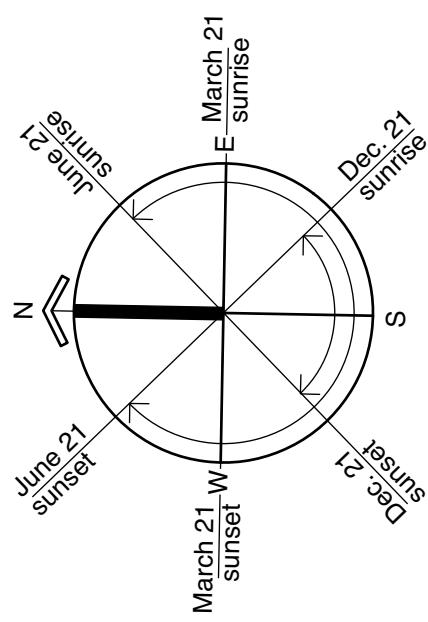
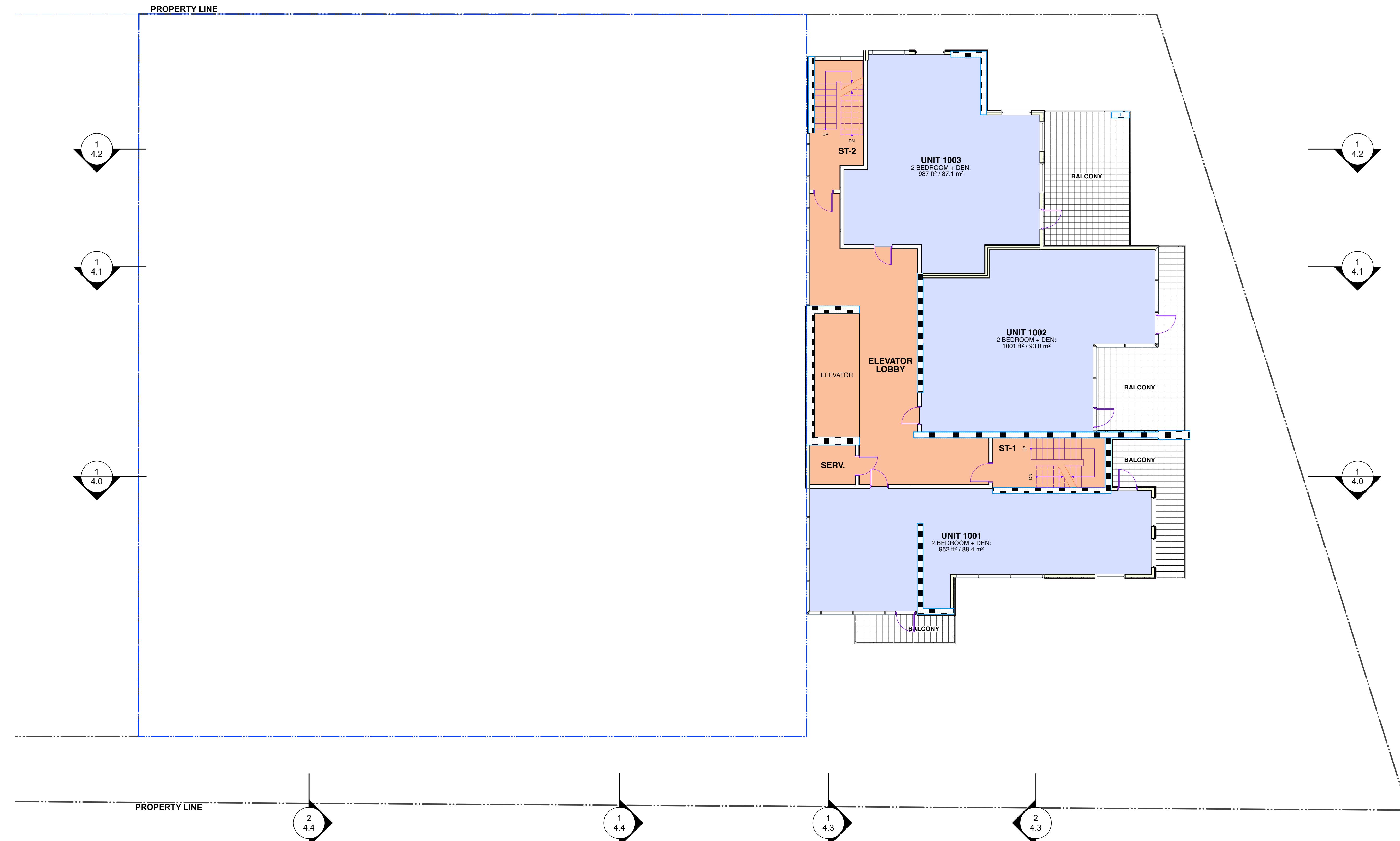
UNIT COUNT	
TOWNHOUSE	0
STUDIO	0
1 BEDROOM	0
1 BEDROOM + DEN	0
2 BEDROOM	0
2 BEDROOM + DEN	3
TOTAL	3 UNITS
GROSS FLOOR AREA 268.6 m ² / 2,891 ft ²	



A2.9 - LEVEL 9 PLAN
THE LINCOLN



UNIT COUNT	
TOWNHOUSE	0
STUDIO	0
1 BEDROOM	0
1 BEDROOM + DEN	0
2 BEDROOM	0
2 BEDROOM + DEN	3
TOTAL	3 UNITS
GROSS FLOOR AREA 268.6 m ² / 2,891 ft ²	

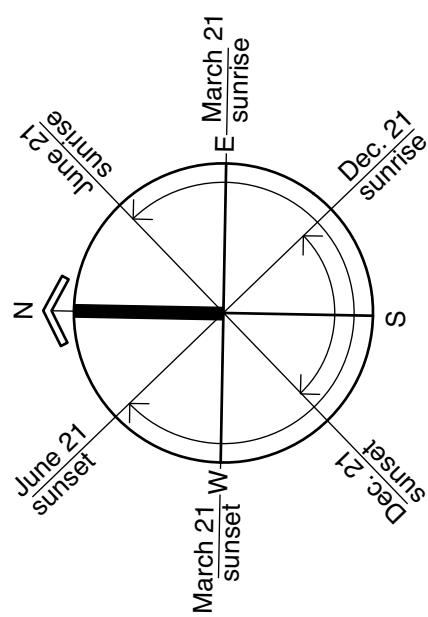
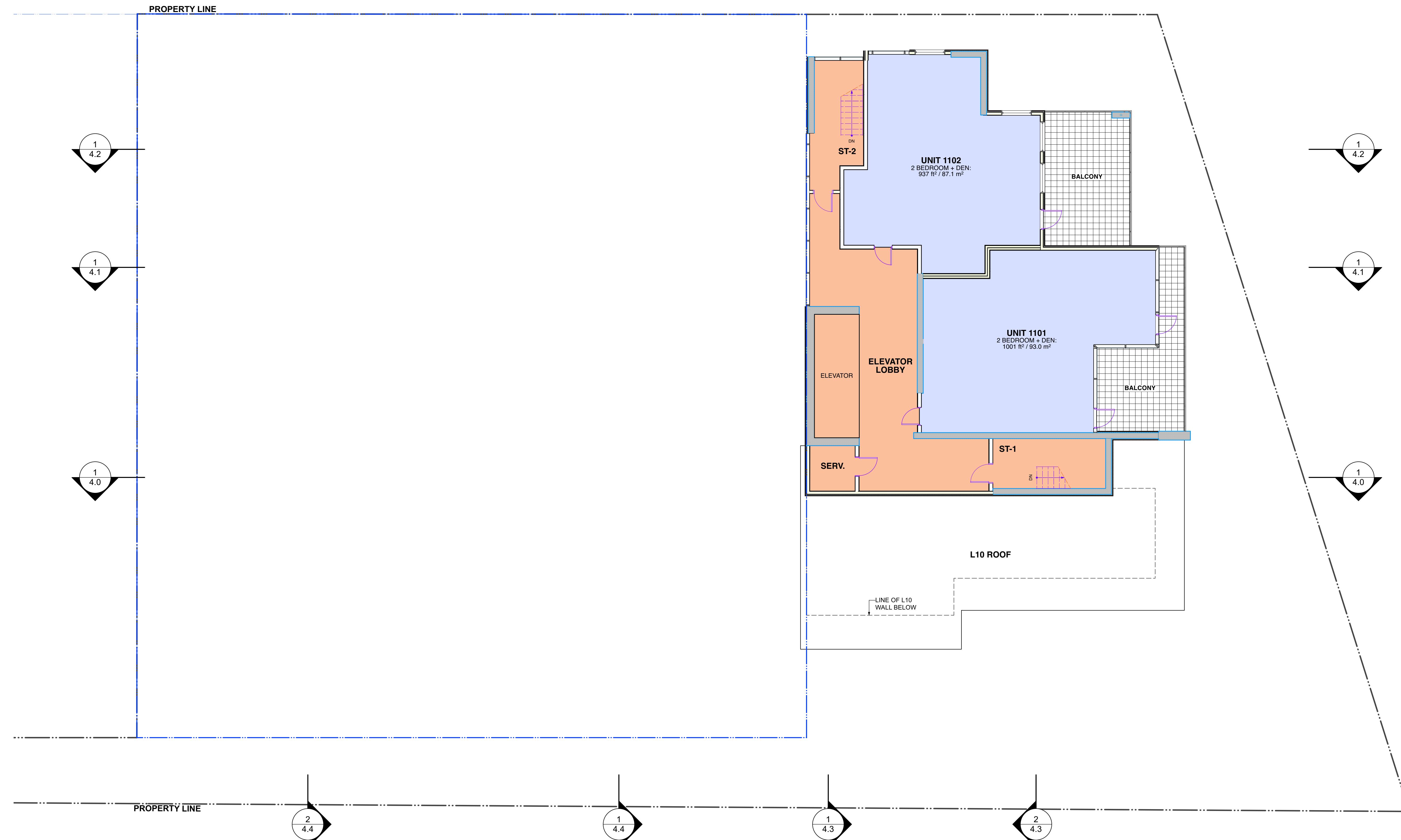


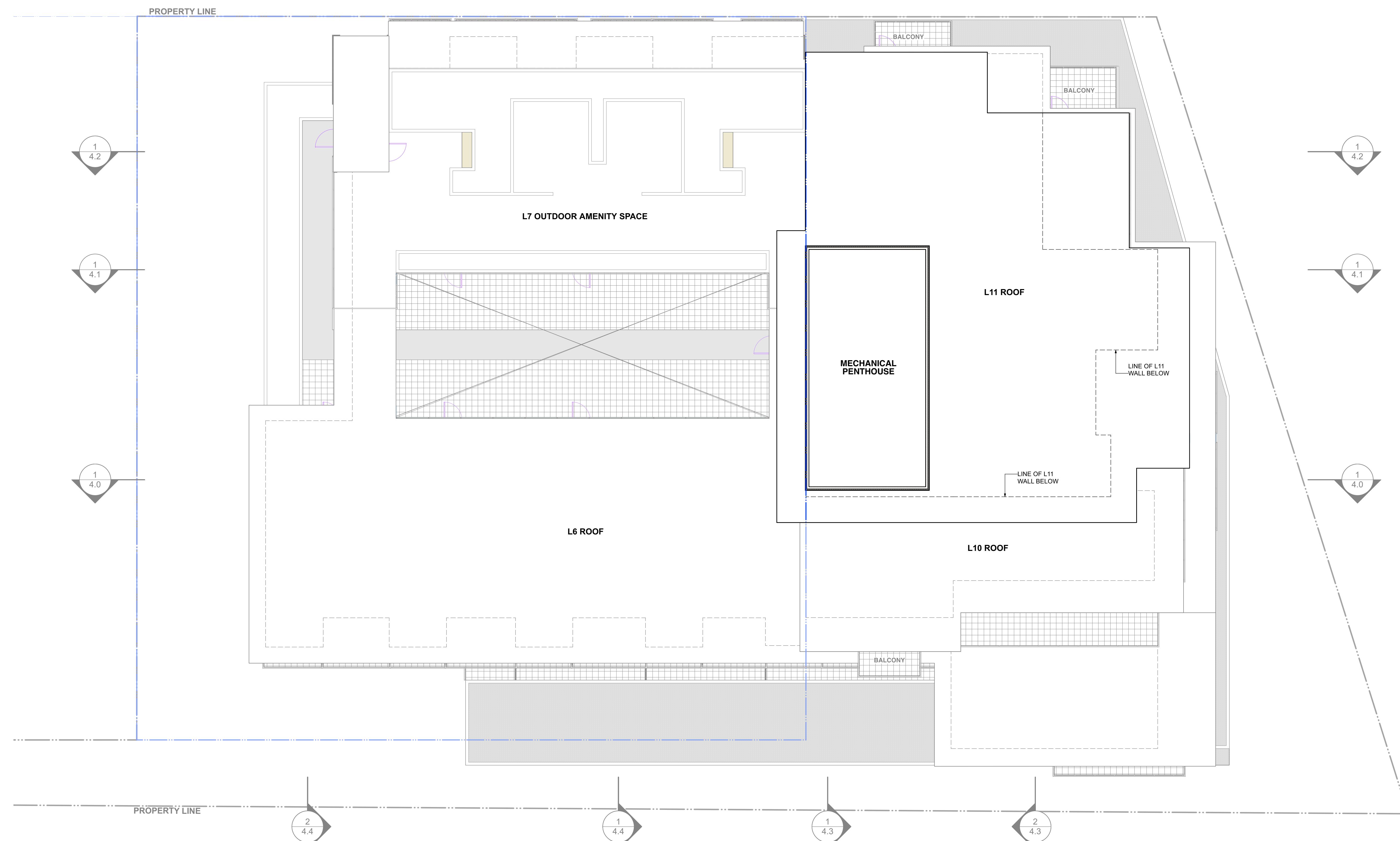
A2.10 - LEVEL 10 PLAN
THE LINCOLN

614 Grenville Ave, Esquimalt, B.C. PROJECT NO. 22521
SCALE: 1:100 DATE: October 20, 2025
© Copyright reserved. These plans and designs are and at all times remain the property of Finlayson Bonet Architecture Limited, to be used for the project shown, and may not be reproduced without written consent.



UNIT COUNT	
TOWNHOUSE	0
STUDIO	0
1 BEDROOM	0
2 BEDROOM	0
2 BEDROOM + DEN	2
TOTAL	2 UNITS
GROSS FLOOR AREA 180.1 m ² / 1,939 ft ²	





A2.16 - ROOF PLAN
THE LINCOLN



614 Grenville Ave, Esquimalt, B.C.

PROJECT NO. 22521

SCALE: 1:100

DATE: October 20, 2025

© Copyright reserved. These plans and designs are and at all times remain the property of Finlayson Bonet Architecture Limited, to be used for the project shown, and may not be reproduced without written consent.

FINLAYSON
BONET
ARCHITECTURE LTD.



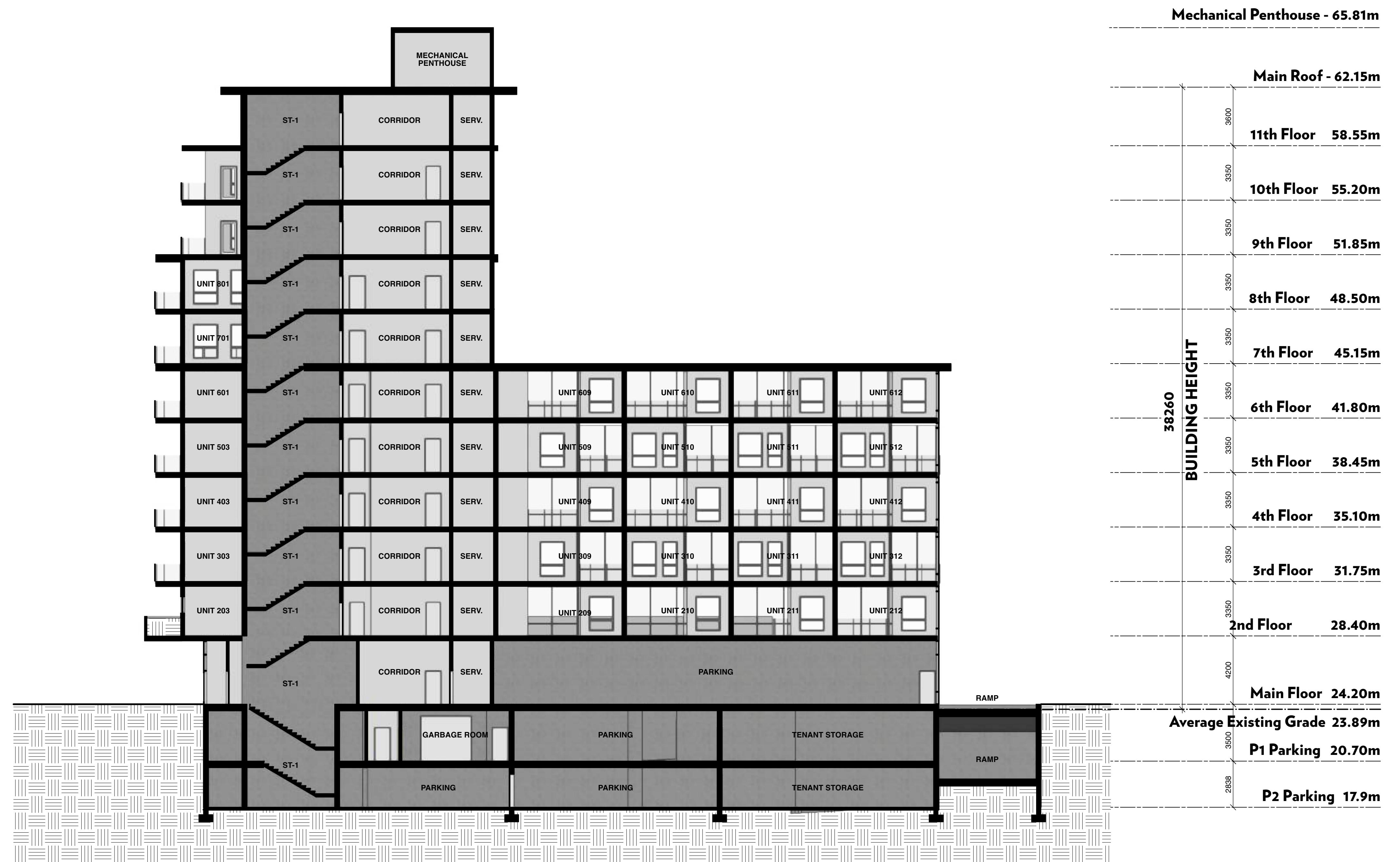
2
3.0 **SOUTH ELEVATION**
Scale: 1:150

EAST ELEVATION
Scale: 1:150



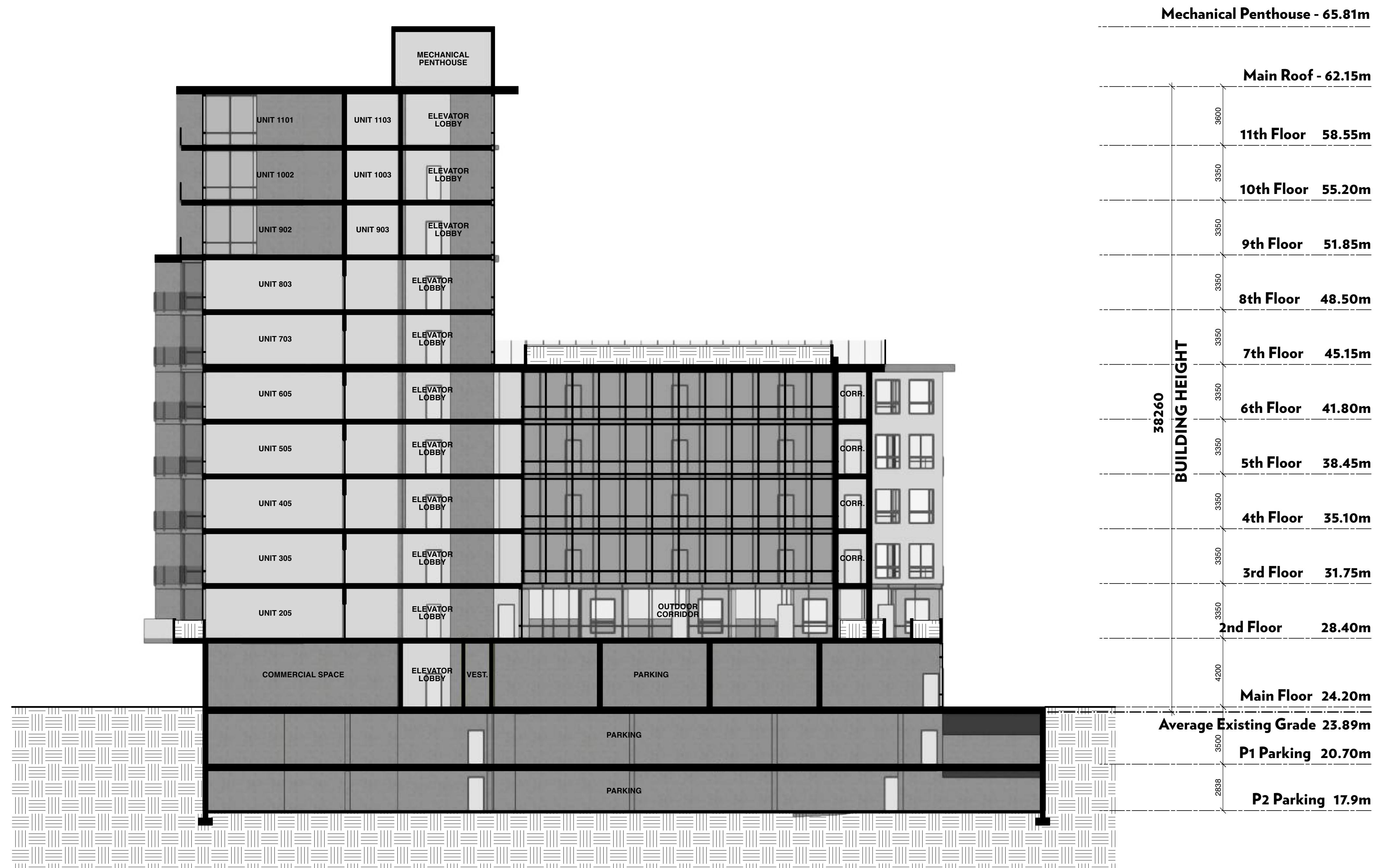
4 Grenville Ave, Esquimalt, B.C. **PROJECT NO. 22521**
SCALE: **DATE: October 20, 2025** **FINLAYSON BONET**
All rights reserved. These plans and designs are and at all times remain the property of Finlayson Bonet

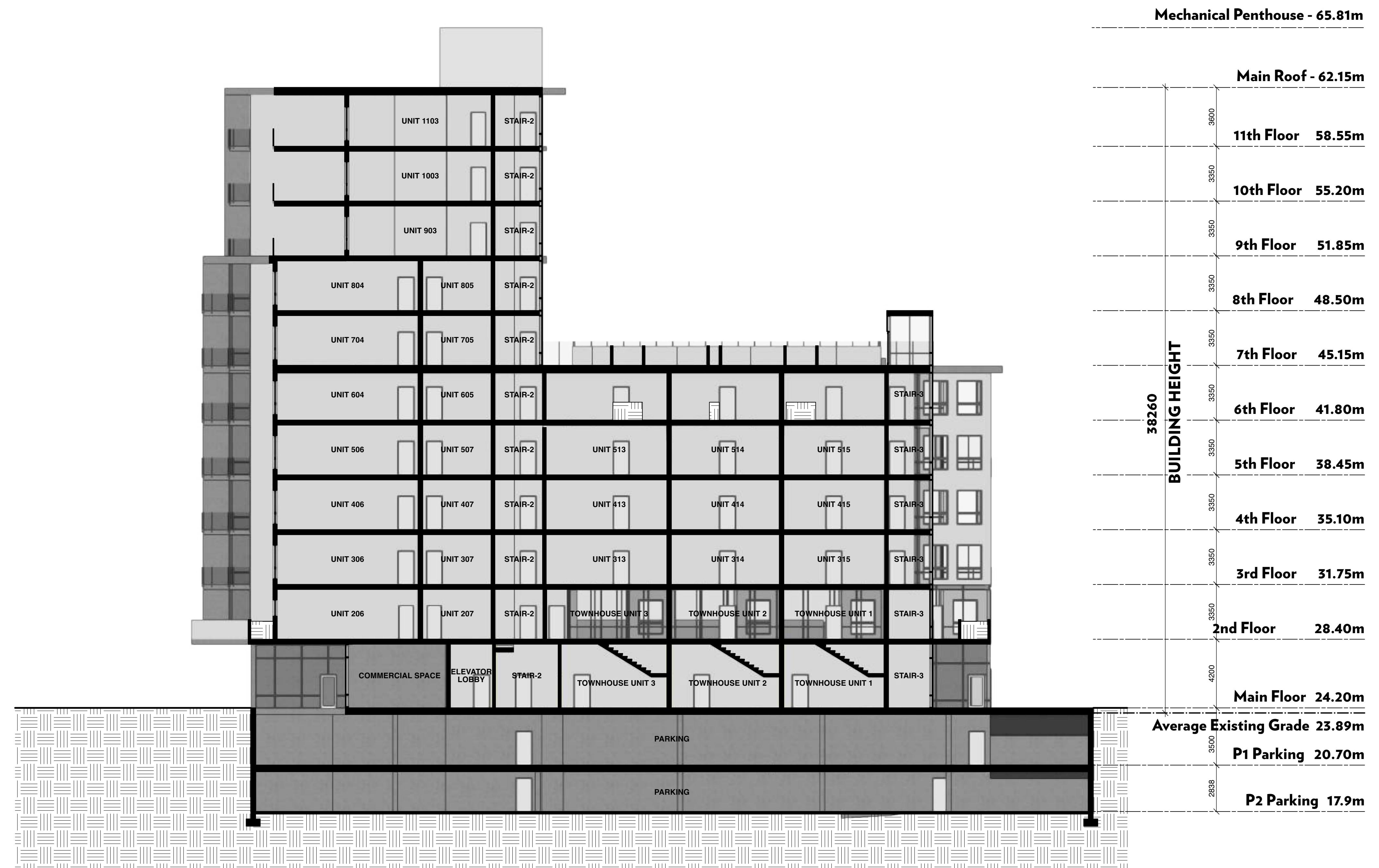




A4.0 - SECTIONS
THE LINCOLN

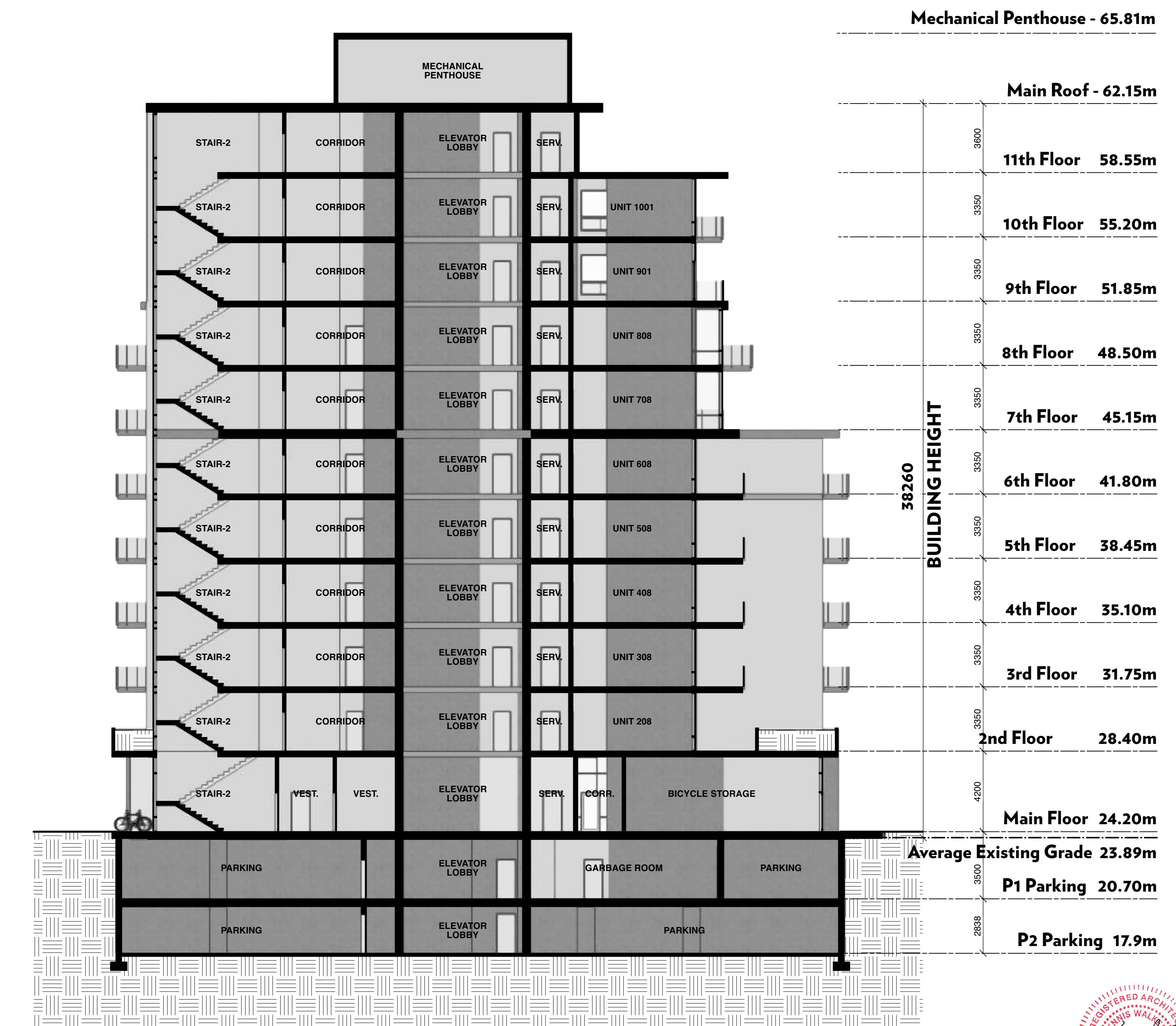








2
4.3 SECTION
Scale: 1:150



1
4.3 SECTION
Scale: 1:150

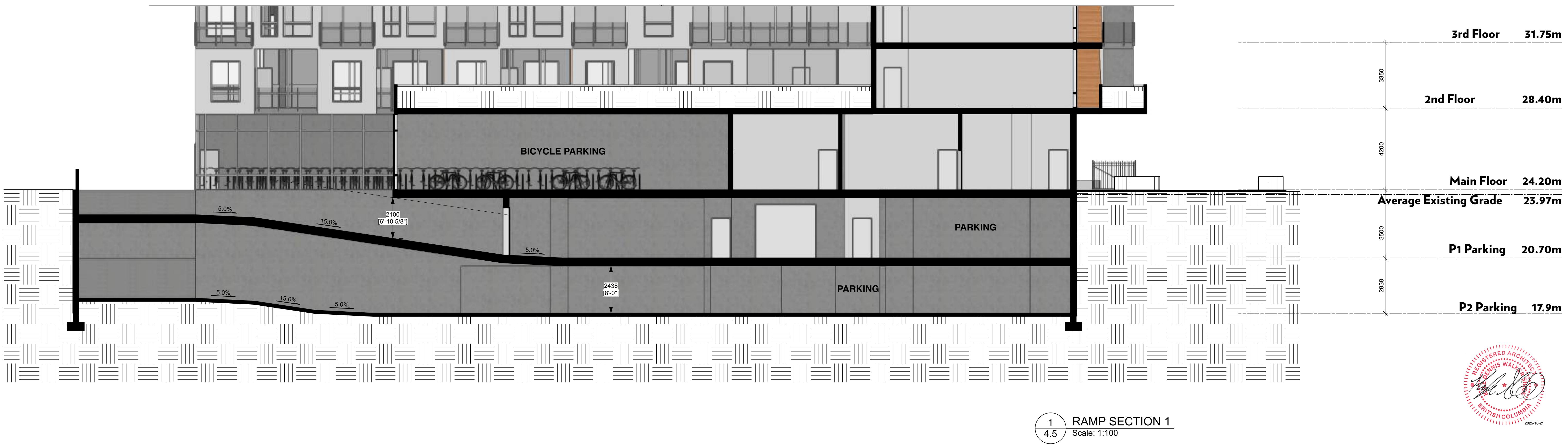
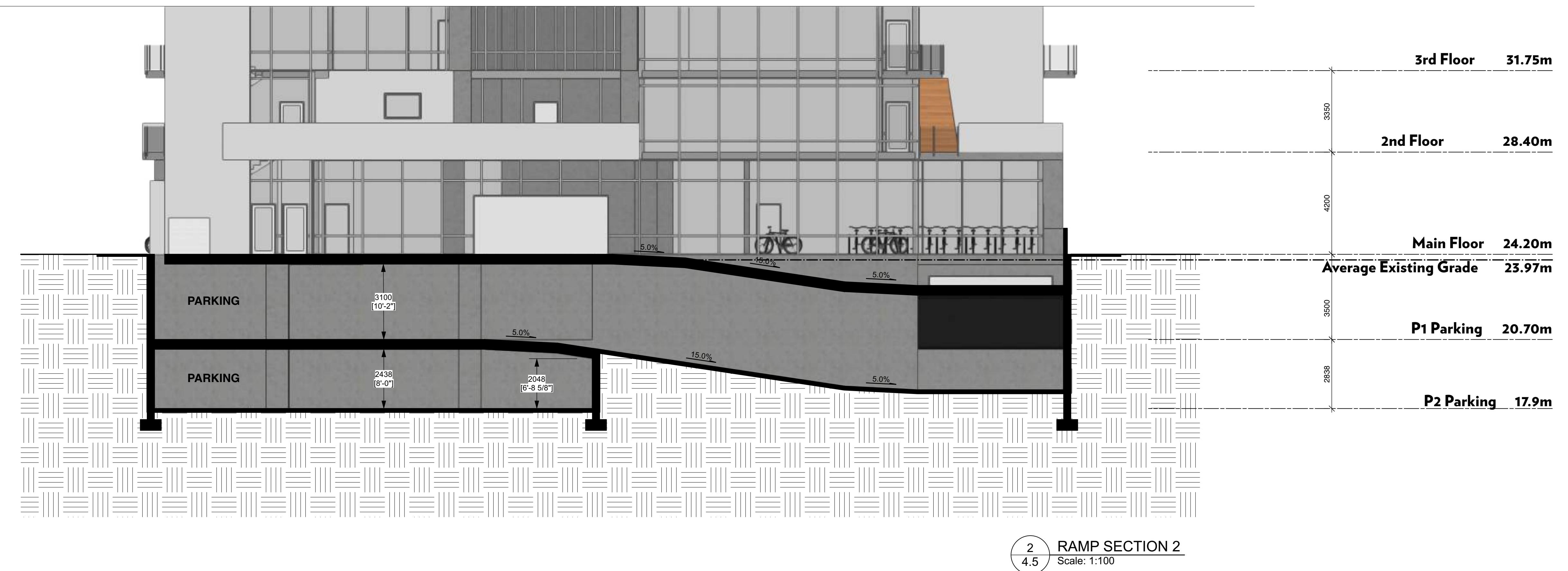


A4.3 - SECTIONS
THE LINCOLN



614 Grenville Ave, Esquimalt, B.C.
PROJECT NO. 22521
SCALE:
DATE: October 20, 2025
© Copyright reserved. These plans and designs are at all times the property of Finlayson Bonet Architecture Limited, to be used for the project shown, and may not be reproduced without written consent.





**A4.5 - SECTIONS
THE LINCOLN**

614 Grenville Ave, Esquimalt, B.C.
PROJECT NO. 22521
SCALE:
DATE: October 20, 2025
© Copyright reserved. These plans and designs are and at all times remain the property of Finlayson Bonet
Architecture Limited, to be used for the project shown, and may not be reproduced without written consent.





A5.0 - SOUTH STREETSCAPE
THE LINCOLN

614 Grenville Ave, Esquimalt, B.C.
SCALE: DATE: October 20, 2025

PROJECT NO. 22521
© Copyright reserved. These plans and designs are and at all times remain the property of Finlayson Bonet
Architecture Limited, to be used for the project shown, and may not be reproduced without written consent.



**A5.1 - EAST STREETSCAPE
THE LINCOLN**

614 Grenville Ave, Esquimalt, B.C.
SCALE: DATE: October 20, 2025

PROJECT NO. 22521
© Copyright reserved. These plans and designs are and at all times remain the property of Finlayson Bonet
Architecture Limited, to be used for the project shown, and may not be reproduced without written consent.
**FINLAYSON
BONET**
ARCHITECTURE LTD.



**A5.2 - NORTH STREETSCAPE
THE LINCOLN**

614 Grenville Ave, Esquimalt, B.C.
SCALE: DATE: October 20, 2025

© Copyright reserved. These plans and designs are and at all times remain the property of Finlayson Bonet Architecture Limited, to be used for the project shown, and may not be reproduced without written consent.





2025-10-21

**A5.3 - WEST STREETSCAPE
THE LINCOLN**



614 Grenville Ave, Esquimalt, B.C.
SCALE:
DATE: October 20, 2025

PROJECT NO. 22521
© Copyright reserved. These plans and designs are and at all times remain the property of Finlayson Bonet
Architecture Limited, to be used for the project shown, and may not be reproduced without written consent.
FINLAYSON
BONET
ARCHITECTURE LTD.



A6.0 - PERSPECTIVES - ESQUIMALT RD. LOOKING WEST
THE LINCOLN

614 Grenville Ave. Esquimalt, B.C.
PROJECT NO. 22521
SCALE: DATE: October 20, 2025

© Copyright reserved. These plans and designs are and at all times remain the property of Finlayson Bonet
Architecture Limited, to be used for the project shown, and may not be reproduced without written consent.





**A6.1 - PERSPECTIVES - PARK TERR. LOOKING WEST
THE LINCOLN**

PROJECT NO. 22521
614 Grenville Ave, Esquimalt, B.C.
SCALE: 1:200
DATE: October 20, 2025
© Copyright reserved. These plans and designs are and at all times remain the property of Finlayson Bonet Architecture Limited, to be used for the project shown, and may not be reproduced without written consent.





**A6.2 - PERSPECTIVES - GRENVILLE AVE. LOOKING SOUTH
THE LINCOLN**

614 Grenville Ave, Esquimalt, B.C.
PROJECT NO. 22521
SCALE:
DATE: October 20, 2025

© Copyright reserved. These plans and designs are and at all times remain the property of Finlayson Bonet
Architecture Limited, to be used for the project shown, and may not be reproduced without written consent.





A6.3 - PERSPECTIVES - ADMIRALS RD. LOOKING SOUTH-EAST
THE LINCOLN

614 Grenville Ave, Esquimalt, B.C. PROJECT NO. 22521
SCALE: DATE: October 20, 2025
© Copyright reserved. These plans and designs are and at all times remain the property of Finlayson Bonet
Architecture Limited, to be used for the project shown, and may not be reproduced without written consent.





A6.4 - PERSPECTIVES - ADMIRALS RD. LOOKING EAST
THE LINCOLN

614 Grenville Ave, Esquimalt, B.C.
PROJECT NO. 22521
SCALE:
DATE: October 20, 2025
© Copyright reserved. These plans and designs are and at all times remain the property of Finlayson Bonet
Architecture Limited, to be used for the project shown, and may not be reproduced without written consent.





A6.5 - PERSPECTIVES - AERIAL
THE LINCOLN

614 Grenville Ave, Esquimalt, B.C.
SCALE: DATE: October 20, 2025

PROJECT NO. 22521
© Copyright reserved. These plans and designs are and at all times remain the property of Finlayson Bonet Architecture Limited, to be used for the project shown, and may not be reproduced without written consent.





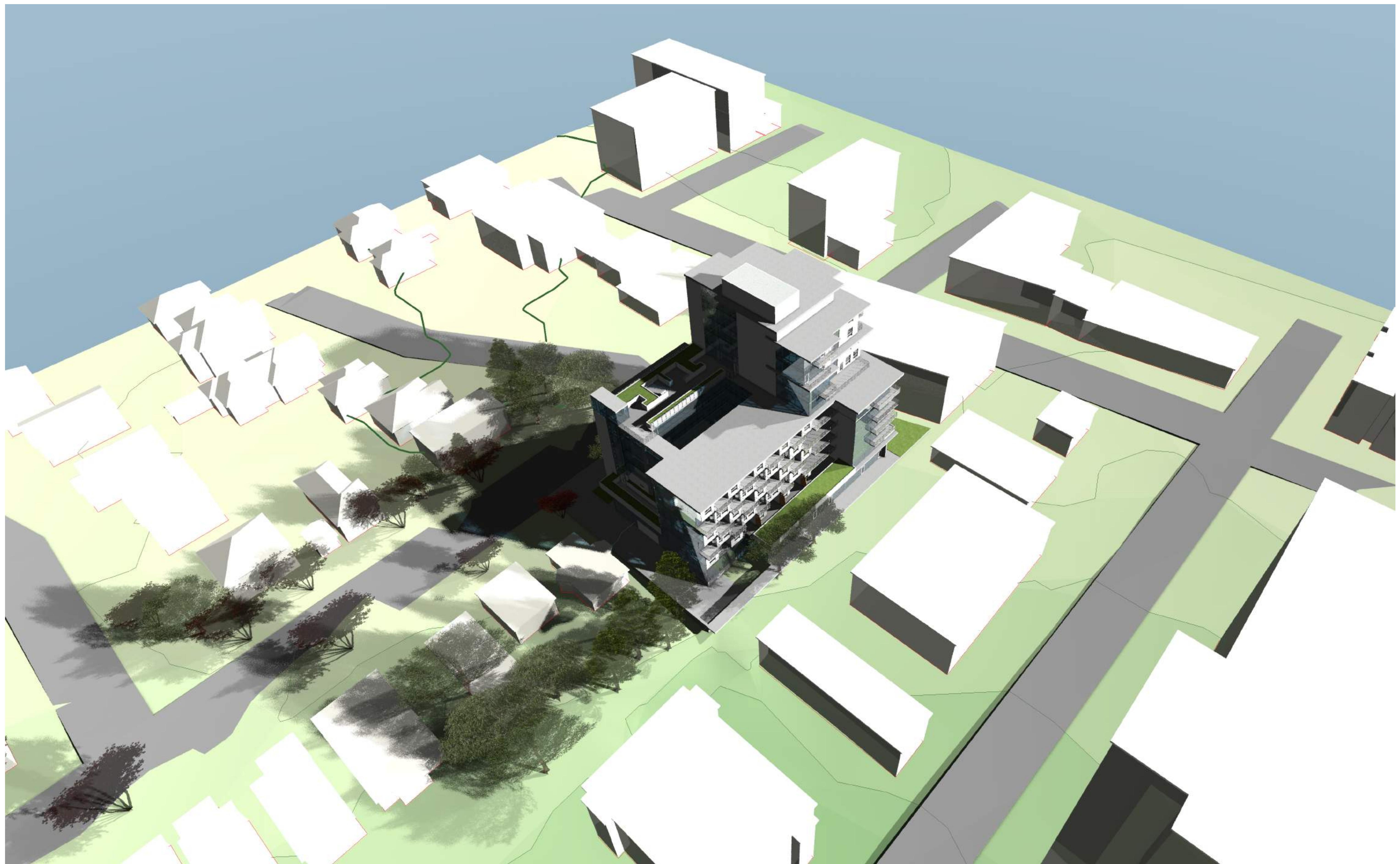
A6.6 - PERSPECTIVES - AERIAL
THE LINCOLN

614 Grenville Ave, Esquimalt, B.C.
SCALE:

PROJECT NO. 22521
DATE: October 20, 2025

© Copyright reserved. These plans and designs are and at all times remain the property of Finlayson Bonet Architecture Limited, to be used for the project shown, and may not be reproduced without written consent.





A6.7 - PERSPECTIVES - AERIAL
THE LINCOLN

614 Grenville Ave, Esquimalt, B.C.
SCALE:

PROJECT NO. 22521
DATE: October 20, 2025

© Copyright reserved. These plans and designs are and at all times remain the property of Finlayson Bonet Architecture Limited, to be used for the project shown, and may not be reproduced without written consent.





A6.8 - PERSPECTIVES - AERIAL
THE LINCOLN



614 Grenville Ave, Esquimalt, B.C.
SCALE:

PROJECT NO. 22521
DATE: October 20, 2025

© Copyright reserved. These plans and designs are and at all times remain the property of Finlayson Bonet
Architecture Limited, to be used for the project shown, and may not be reproduced without written consent.



A6.9 - PERSPECTIVES - RESIDENTIAL
THE LINCOLN



614 Grenville Ave, Esquimalt, B.C.
SCALE:
DATE: October 20, 2025

PROJECT NO. 22521
© Copyright reserved. These plans and designs are and at all times remain the property of Finlayson Bonet
Architecture Limited, to be used for the project shown, and may not be reproduced without written consent.
2025-10-21
FINLAYSON
BONET
ARCHITECTURE LTD.



**A6.10 - PERSPECTIVES - COMMERCIAL
THE LINCOLN**

614 Grenville Ave, Esquimalt, B.C.
SCALE:

PROJECT NO. 22521
DATE: October 20, 2025

© Copyright reserved. These plans and designs are and at all times remain the property of Finlayson Bonet Architecture Limited, to be used for the project shown, and may not be reproduced without written consent.



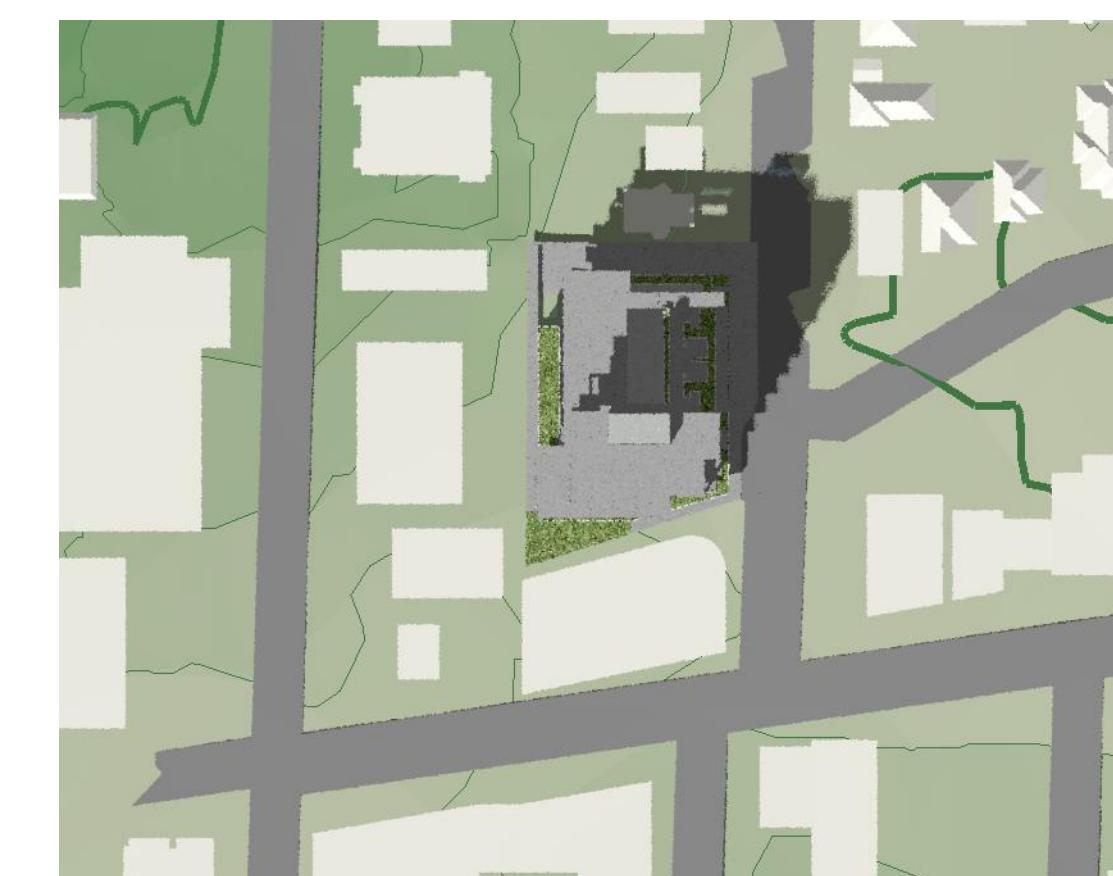
10 AM



12 PM



2 PM



4 PM



MARCH 21ST

JUNE 21ST

SEPTEMBER 21ST

DECEMBER 21ST



**A7.0 - SOLAR STUDY
THE LINCOLN**



614 Grenville Ave, Esquimalt, B.C. PROJECT NO. 22521
SCALE: DATE: October 20, 2022
© Copyright reserved. These plans and designs are and at all times remain the property of Finlayson Bonet
Architecture Limited, to be used for the project shown, and may not be reproduced without written consent.