

**Site Plan Of:**  
**Lot 4, Section 11,**  
**Esquimalt District, Plan 4729.**  
**P.I.D. 003-150-909**



Scale = 1:250

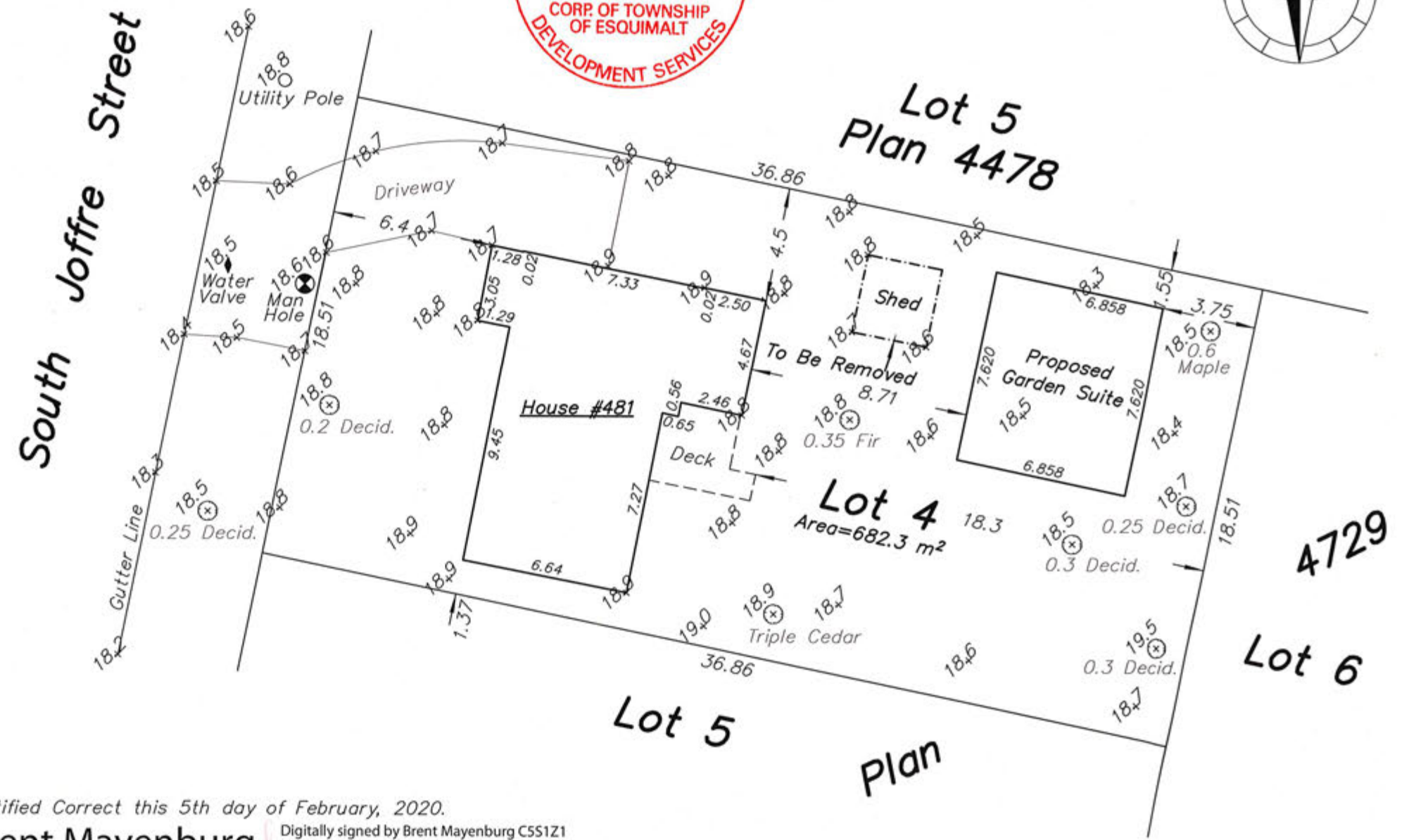
Dated this 5th day of February, 2020.

Distances and elevations shown are in metres.

Elevations are based on geodetic datum CVD28BC and derived from OCM 84H0168.

This site plan is for building and design purposes and is for the exclusive use of our client.

This document shows the relative location of the surveyed structures and features with respect to the boundaries of the parcel described above. This document shall not be used to define property lines or property corners.



**Wey Mayenburg Land Surveying Inc.**  
[www.weysurveys.com](http://www.weysurveys.com)  
 #4-2227 James White Boulevard  
 Sidney, BC V8L 1Z5  
 Telephone (250) 656-5155  
 File: 190213\SIT\GH

Certified Correct this 5th day of February, 2020.  
**Brent Mayenburg**  
**C5S1Z1**  
 Digitally signed by Brent Mayenburg C5S1Z1  
 DN: c=CA, cn=Brent Mayenburg C5S1Z1, o=BC  
 Land Surveyor, ou=Verify ID at  
[www.juricert.com/LKUP.cfm?id=C5S1Z1](http://www.juricert.com/LKUP.cfm?id=C5S1Z1)  
 Date: 2020.02.07 09:18:55 -08'00'  
 B.C.L.S. (Not valid unless originally signed & sealed)

## GENERAL NOTES

### GENERAL NOTES

ALL MATERIALS AND CONSTRUCTION METHODS TO CONFORM TO THE CURRENT EDITION OF THE BRITISH COLUMBIA BUILDING CODE (BCBC), GOOD CONSTRUCTION PRACTICE, AS WELL AS ANY OTHER LOCAL BUILDING CODES OR BYLAWS WHICH MAY TAKE PRECEDENCE.

ALL MEASUREMENTS ON SITE BY BUILDER PRIOR TO CONSTRUCTION COMMENCEMENT OF CONSTRUCTION OR ANY PART THEREOF CONSTITUTES ACCEPTANCE OF THE DRAWINGS/SITE CONDITIONS AND MEANS DIMENSIONS & ELEVATIONS HAVE BEEN VERIFIED & ARE ACCEPTABLE.

IF ANY DISCREPANCIES ARISE, THEY SHOULD BE REPORTED TO THE DESIGNER.

DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALE.

FRAMING LUMBER SHALL BE GRADED #2 OR BETTER UNLESS OTHERWISE SPECIFIED.

ALL INTERIOR FINISHES, CASINGS, WINDOW TYPES AND MILLWORK TO OWNERS APPROVAL.

STAIR TREADS TO BE PLYWOOD OR OTHER ENGINEERED PRODUCT AND SECURED WITH SCREWS AND SUB-FLOOR ADHESIVE.

TEMPORARY HEAT REQUIRED PRIOR TO DRYWALL INSTALLATION TO ASSIST IN DRYING OF FRAMEWORK. MOISTURE CONTENT OF FRAMEWORK MUST NOT EXCEED 19%.

### SITE PLAN

LAYOUT TO BE CONFIRMED BY A CURRENTLY REGISTERED BRITISH COLUMBIA LEGAL LAND SURVEYOR.

ALL SET BACKS TO BE CONFIRMED BY THE OWNER AND BUILDER.

ALL GRADE ELEVATIONS ARE THE RESPONSIBILITY OF THE OWNER AND BUILDER.

VERIFY EXISTING AND PROPOSED GRADES PRIOR TO CONSTRUCTION.

### FOUNDATION

THE BUILDER IS RESPONSIBLE FOR LOCATING THE FOOT PRINT OF THE STRUCTURE IN THE PROPER PLACE AS PER PLANS.

CONCRETE FOUNDATION WALLS NOT SUBJECT TO SURCHARGE SHALL BE INSTALLED ON COMPACTED, UNDISTURBED, INORGANIC STABLE SOILS BELOW THE DEPTH OF FROST PENETRATION WITH AN ALLOWABLE BEARING PRESSURE OF 75 kPa OR GREATER. IF SOFTER CONDITIONS APPLY, THE BEARING CAPACITY AND SIZE OF FOOTINGS ARE TO BE DESIGNED BY A QUALIFIED ENGINEER.

THE SILL PLATE IS TO BE FASTENED TO THE FOUNDATION WALL WITH NOT LESS THAN 12.7mm Ø ANCHOR BOLTS SPACED NOT MORE THAN 2.4m O.C. OR FOR BRACED WALL PANELS 2 15mm Ø ANCHOR BOLTS PER BRACED WALL PANEL 500mm FROM THE ENDS OF THE FOUNDATION AND SPACED 1.7m O.C. EMBEDDED 100mm DEEP.

ALL LUMBER IN CONTACT WITH CONCRETE SHALL BE TREATED OR PROTECTED BY A MOISTURE RESISTANT GASKET.

IT IS THE RESPONSIBILITY OF THE OWNER/CONTRACTOR TO HAVE SITE SOIL CONDITIONS INSPECTED AND ADVISE THE DESIGNER OF ANY SOIL CONDITIONS WHICH MAY REQUIRE ENGINEERING.

ALL FOUNDATION WALLS ARE 200mm THICK 20MPa CONCRETE UNLESS OTHERWISE SPECIFIED.

FOUNDATION WALLS MAY BE A MAXIMUM OF 4' HIGH FROM GRADE TO UNDERSIDE OF FLOOR IF LATERALLY UNSUPPORTED AT TOP. ALL OTHER CONCRETE FOUNDATION WALLS TO BE ENGINEERED.

### FRAMING

ALL ENGINEERED COMPONENTS TO BE SIZED BY SUPPLIER.

ALL SPANS AND LOADINGS SHALL CONFORM TO THE CURRENT VERSION OF THE BCBC. VERIFICATION OF ALL COMPONENTS IS THE RESPONSIBILITY OF THE OWNER/BUILDER. ANY COMPONENTS WHICH CANNOT BE DESIGNED WITH THE BCBC SHALL BE DESIGNED BY A QUALIFIED ENGINEER.

TRUSSES AND LAYOUT ARE TO BE ENGINEERED AND INSTALLED ACCORDING TO MANUFACTURERS SPECIFICATIONS.

IT IS ASSUMED THAT THE CONTRACTOR IS FAMILIAR WITH THE 2018 BCBC AND INDUSTRY STANDARDS FOR WOOD FRAME CONSTRUCTION. NOT EVERY DETAIL OF WOOD FRAMING IS SHOWN ON THESE DRAWINGS.

ALL LINTELS DOUBLE 2X10 S.S. SPF FOR CLEAR SPANS UP TO 9' UNLESS OTHERWISE NOTED.

EXTERIOR WALL THICKNESS SHOWN ARE MEASURED FROM OUTSIDE OF EXTERIOR SHEATHING TO INSIDE OF DRYWALL.

INTERIOR WALL THICKNESS SHOWN ARE MEASURED FROM OUTSIDE OF DRYWALL TO OUTSIDE OF DRYWALL.

ROOM MEASUREMENTS SHOWN ARE TO THE NEAREST INCH. DIMENSIONS SHOWN ARE TO THE NEAREST 1/2".

CONFIRM ALL VANITY'S, BATHTUBS, SHOWERS AND KITCHEN CUPBOARDS WITH OWNER PRIOR TO FRAMING AS THESE MAY REQUIRE MODIFICATIONS TO THE ROOM SIZES.

### TYPICAL DOOR AND WINDOW HEADER HEIGHT\*

8' CEILINGS: 68"  
9' CEILINGS: 70"  
10' CEILINGS: VARIES

### ROOFING

ALL ROOFING SHALL BE APPLIED TO THE MANUFACTURERS SPECIFICATIONS AND SHALL INCLUDE EAVE PROTECTION FROM ICE DAMMING AND SNOW BUILD UP.

### PLUMBING AND ELECTRICAL

ANY PLUMBING AND ELECTRICAL SHOWN ON THESE PLANS IS FOR ILLUSTRATIONAL PURPOSES ONLY AND MUST BE DESIGNED AND INSTALLED BY A QUALIFIED PROFESSIONAL.

### FLASHING

ALL PENETRATIONS THROUGH THE ROOF WILL REQUIRE FLASHING.

ALL ROOFING TO INCLUDE STEP FLASHING.

ALL EXPOSED OPENINGS TO INCLUDE FLASHING.

ALL FLASHING END DAMS TO BE 25mm (1") HIGH.

### DOORS

FRAME OPENING TO BE 1 1/2" WIDER THAN DOOR.

FRAME OPENING 1 1/2" WIDER THAN BIFOLD DOORS AND FRAME HEIGHT IS 81.5"

ALL INTERIOR DOORS TO BE 80" TALL U.L.O. PROVIDE MIN. 2-STUDS AT EACH SIDE OF JAMB FRAMING.

### FENESTRATION

ALL WINDOWS, DOORS & SKYLIGHTS TO CONFORM TO NAFS-08 AND THE CANADIAN SUPPLEMENT TO NAFS.

### FENESTRATION PERFORMANCE REQUIREMENTS:

CLASS R - PG 30 - +VE/-VE DP = 1440Pa/1440Pa - WATER PENETRATION RESISTANCE = 260Pa - CANADIAN AIR INFILTRATION/EXFILTRATION = A2

WINDOW/DOOR LABELS TO BE LEFT IN PLACE UNTIL FINAL INSPECTION.

SUPPLY AND INSTALL ALL WINDOW TYPES, INTERIOR CASINGS AND MILLWORK TO OWNERS APPROVAL.

ALL WINDOWS ADJACENT TO BATH TUBS TO BE SAFETY GLASS.

### GUARDS/HANDRAILS

INSTALL GRASPABLE HANDRAIL TO ALL INTERIOR STAIRS AT 34" TO 38" ABOVE STAIR NOSING.

INSTALL GUARDS AT ALL BALCONIES, DECKS AND PORCHES GREATER THAN 2' ABOVE GRADE. INSTALL GUARD AT 42" HEIGHT WHERE SURFACE IS GREATER THAN 6' ABOVE ADJACENT SURFACE, OTHERWISE 36" GUARDRAIL ALLOWABLE.

TOPLESS GLASS GUARDS TO BE ENGINEERED WITH SEALED DRAWINGS.

### VENTILATION

PROVIDE ATTIC AND CRAWLSPACE ACCESS AND VENTILATION IN ACCORDANCE WITH BCBC.

PROVIDE HEATING, MECHANICAL VENTILATION, AND AIR CONDITIONING WHERE REQUIRED IN ACCORDANCE WITH BCBC AND LOCAL BYLAWS.

MECHANICAL CONTRACTOR TO PROVIDE MECHANICAL CHECKLIST COMPLETE WITH FAN & DUCT SIZES PRIOR TO FRAMING INSPECTION.

### MISC.

SMOKE/CARBON MONOXIDE ALARMS TO BE PROVIDED ON EVERY FLOOR AND ARE TO BE HARDWIRED AND WITHIN 5m OF EACH BEDROOM IN EVERY SUITE AND INTERCONNECTED TO ALL FLOORS. SMOKE ALARMS TO ALSO BE PROVIDED IN EVERY BEDROOM. ALL SMOKE ALARM LOCATIONS WILL HAVE BOTH PHOTOELECTRIC AND IONIC DETECTION SYSTEMS.

BEDROOM WINDOWS FOR EGRESS SHALL HAVE OPENINGS WITH AREAS NOT LESS THAN 3.8m² WITH NO DIMENSION LESS THAN 15".

IT IS THE RESPONSIBILITY OF THE CONTRACTOR AND/OR OWNER TO CHECK AND VERIFY ALL ASPECTS OF THESE PLANS PRIOR TO START OF CONSTRUCTION OR DEMOLITION.

ADAPT DESIGN DOES NOT ACCEPT RESPONSIBILITY FOR THE FOLLOWING:

-INFORMATION PROVIDED ON EXISTING BUILDINGS OR SITE

-CONFORMITY OF PLANS TO SITE

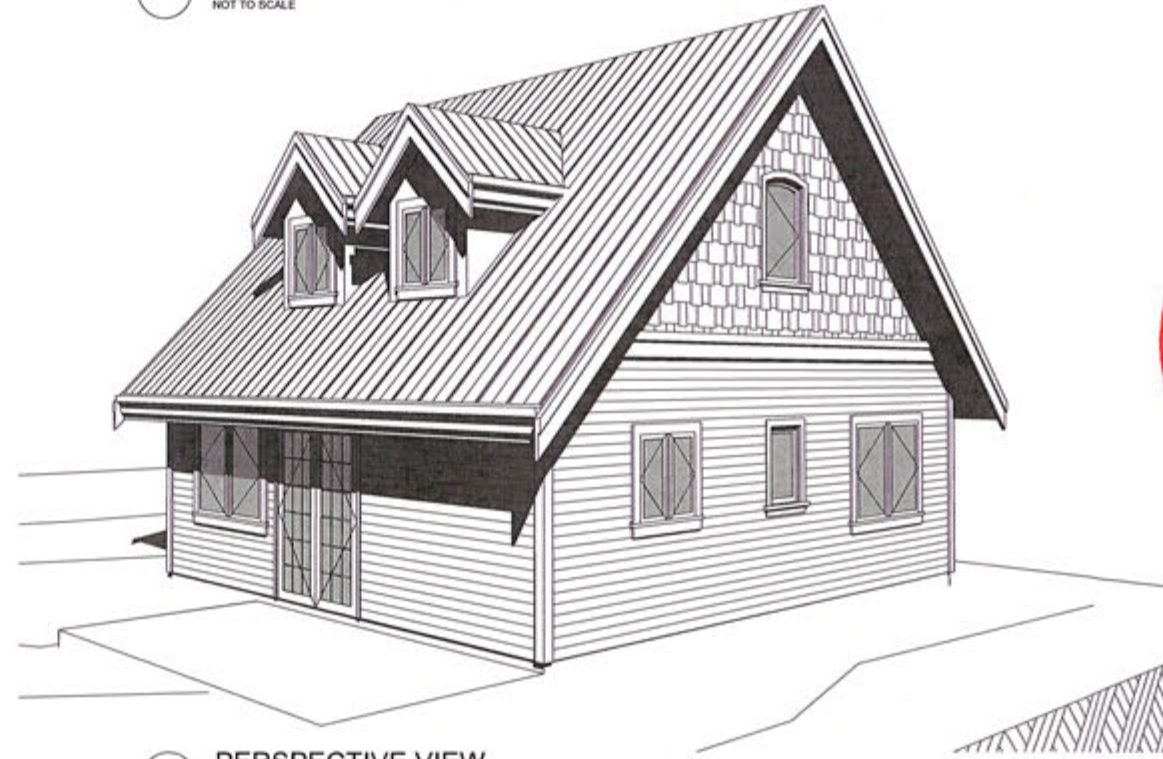
-ERRORS AND/OR OMISSIONS

-ANY HOUSE BUILT FROM THESE PLANS

THESE PLANS REMAIN THE PROPERTY OF ADAPT DESIGN AND CAN BE RECLAIMED AT ANY TIME.



PERSPECTIVE VIEW  
NOT TO SCALE



PERSPECTIVE VIEW  
NOT TO SCALE

### COVER SHEET & GENERAL INFO

A-001	COVER SHEET	<input type="checkbox"/>
A-002	SITE PLAN	<input type="checkbox"/>
A-003	LANDSCAPE PLAN	<input type="checkbox"/>

### PLANS

A-101	PR. FLOOR PLANS	<input type="checkbox"/>
A-102	EX. FLOOR PLANS	<input type="checkbox"/>

### ELEVATIONS

A-201	ELEVATIONS	<input type="checkbox"/>
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### SECTIONS

A-301	CROSS SECTION	<input type="checkbox"/>
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**ADAPT**  
DESIGN

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481 SOUTH  
JOFFRE ST  
GARDEN SUITE

Drawings and Specifications as instruments of service are and shall remain the property of Adapt Design. They are not to be used on extensions of the project, or other projects, except by agreement in writing and appropriate compensation to the Designer.

The General Contractor is responsible for confirming and correcting dimensions at the job site. The Designer will not be responsible for construction means, methods, techniques, sequences, or procedures, or for safety precautions and programs in connection with the project.

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ISSUED FOR  
REZONE

ISSUED:

COVER SHEET

**A-001**

Form 2020-02-04

**PROJECT:**  
**REZONE TO CREATE NEW GARDEN SUITE**



ISSUED FOR REZONE

ISSUED:

LANDSCAPE PLAN

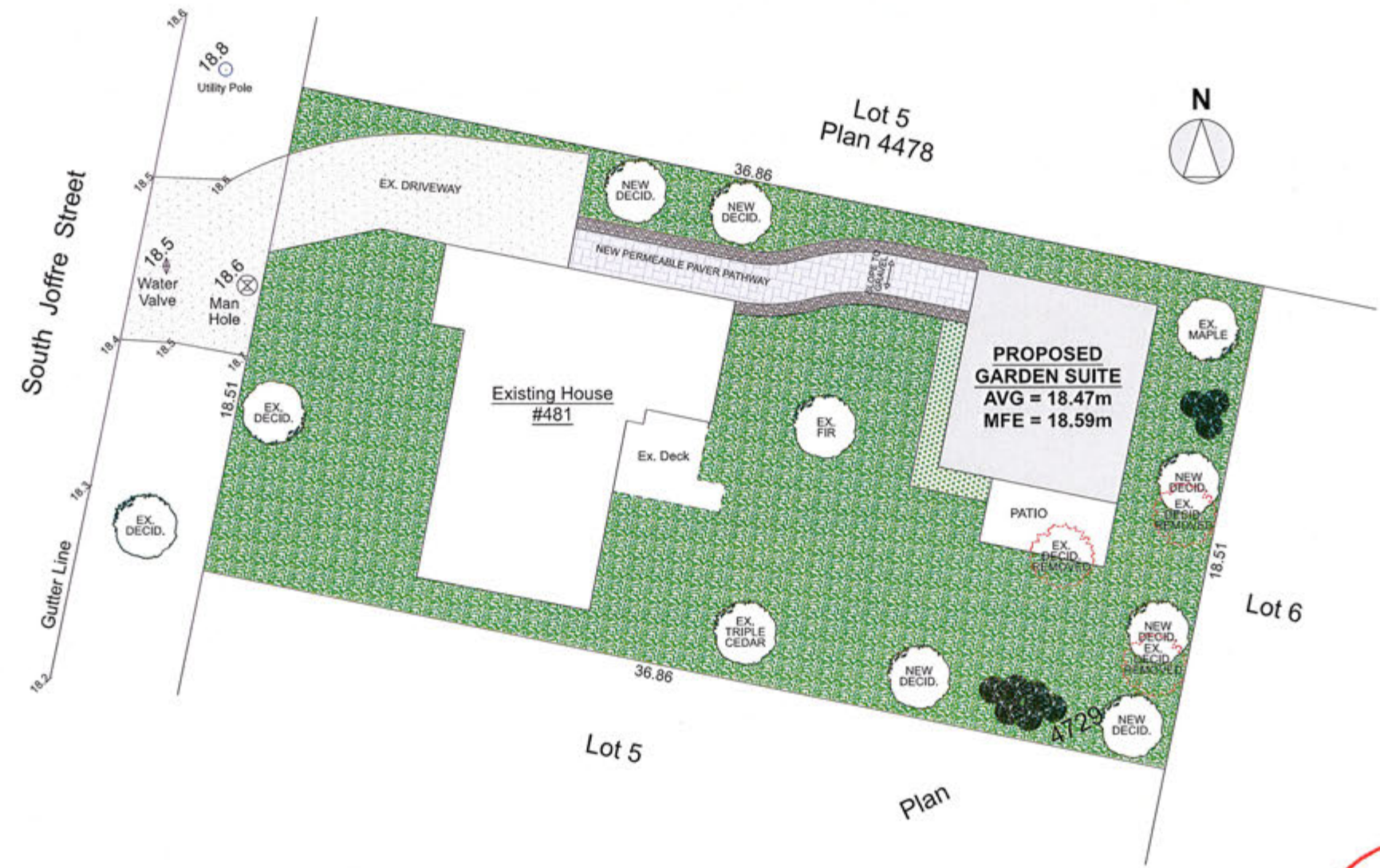
**A-003**

LANDSCAPE LEGEND	
SYMBOL	DESCRIPTION
	ASPHALT
	PERMEABLE PAVERS
	GRAVEL
	HERBACEOUS BORDERS

PLANTING AREA TO CONSIST OF:  
 Trees/tall shrubs  
 Azara Microphylla - Azara  
 Pittosporum Tenuifolium - Kohuhu  
 Medium height shrubs  
 Holodiscus discolor - Ocean spray  
 Ribes sanguineum - Red currant  
 Philadelphus lewisii - Mock orange  
 Mahonia aquifolium - Tall oregon grape  
 Groundcover  
 Polystichum munitum - Sword ferns  
 Arctostaphylos uva ursi - Kinnikinnick  
 Vaccinium ovatum - Evergreen huckleberry

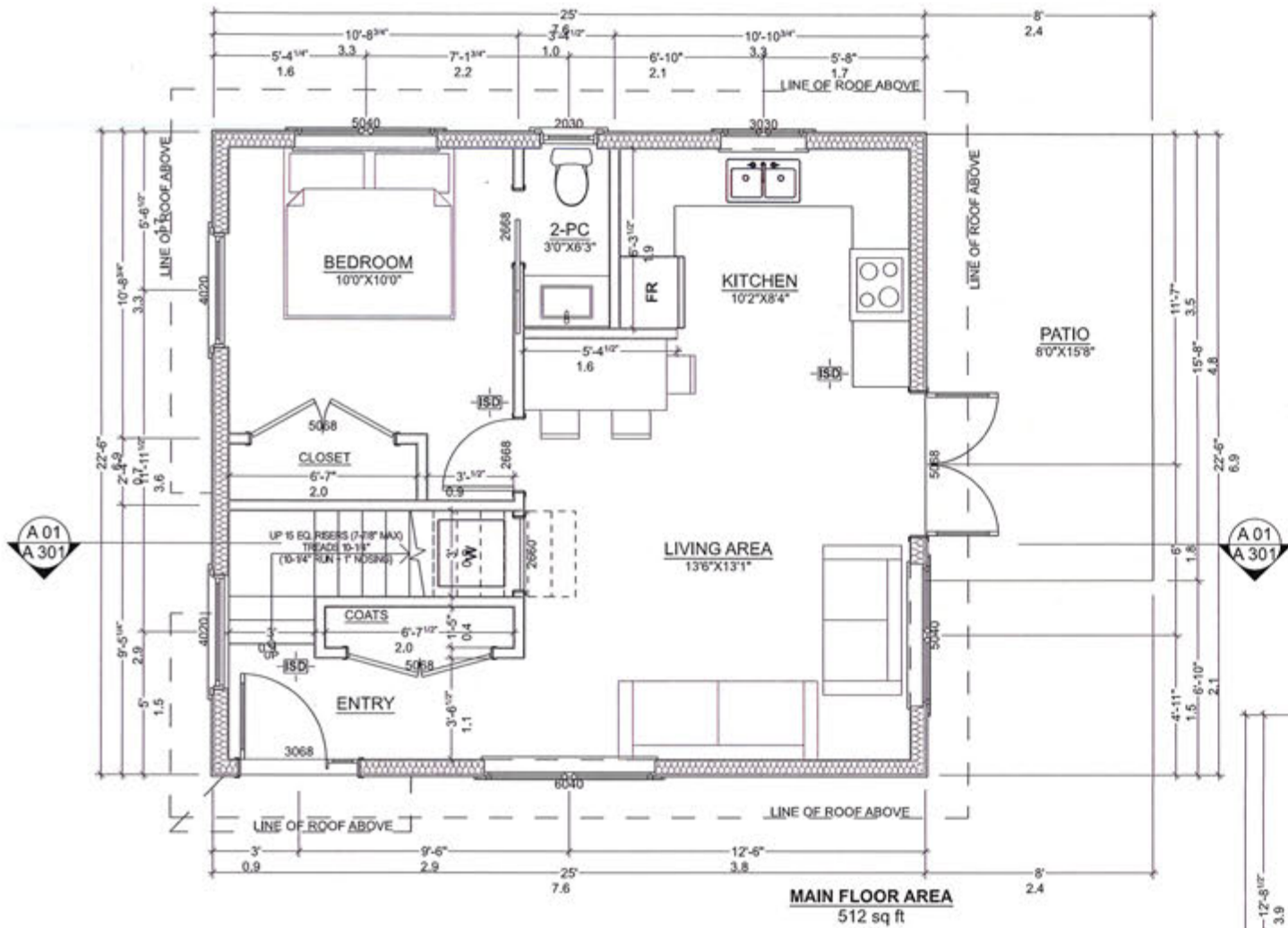
TREE LEGEND	
	EXISTING TREE RETAINED OR PROPOSED NEW TREE
	EXISTING TREE REMOVED
	SHRUBS

SEE ARBORIST REPORT FOR FURTHER INFORMATION INCLUDING TREE PROTECTION FENCING



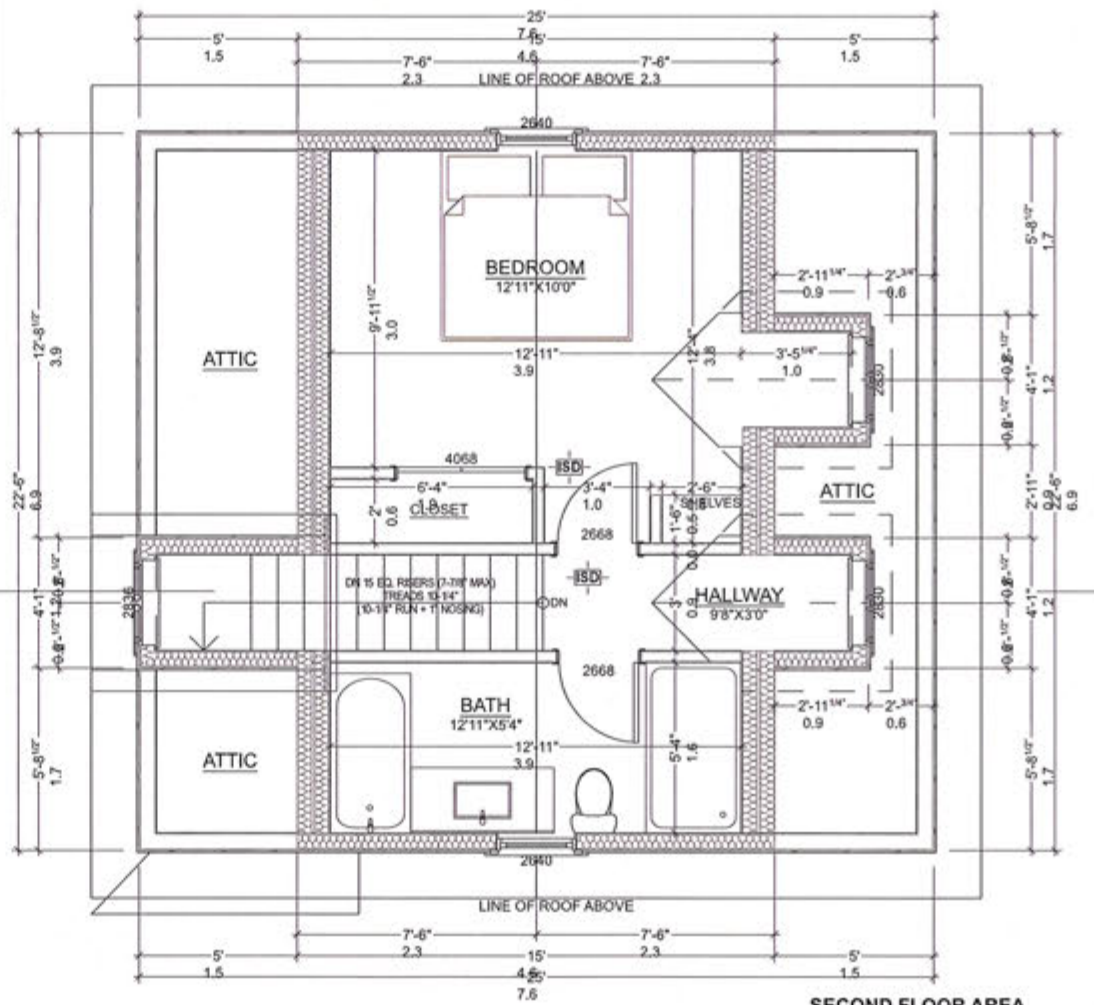
1 LANDSCAPE PLAN  
SCALE: 1:100





1 MAIN FLOOR PLAN  
SCALE 3/8" = 1'-0"

MAIN FLOOR AREA  
512 sq ft



2 SECOND FLOOR PLAN  
SCALE 3/8" = 1'-0"

SECOND FLOOR AREA  
272 sq ft

**PLAN LEGEND**

- 2x4 PARTITION WALL
- 2x6 PARTITION WALL
- 2x6 GARAGE WALL
- 2x6 EXTERIOR WALL
- FOUNDATION WALL
- FOUNDATION AND FROST WALL
- COLUMN
- BEAM
- FLOOR DRAIN
- DIMENSION PLACEMENT
- ROOM SIZES ARE INTERIOR DIMENSIONS WIDTH X DEPTH
- HARDWIRED INTERCONNECTED CO DETECTOR
- HARDWIRED INTERCONNECTED IONIC SMOKE DETECTOR
- HARDWIRED PHOTOELECTRIC SMOKE DETECTOR
- BATH/INK VENTILATION RATE 25 US INTERMITTENT
- KITCHEN FAN VENTILATION RATE 47 US INTERMITTENT
- CONTINUOUS PRINCIPAL EXHAUST FAN VENTILATION RATE 25 PER TS 32.3.4 - 6.33.3.5
- FRESH AIR SUPPLY
- PASSIVE AIR INLET



1500 Shorncliffe Road Victoria BC Canada  
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**481 SOUTH JOFFRE ST GARDEN SUITE**

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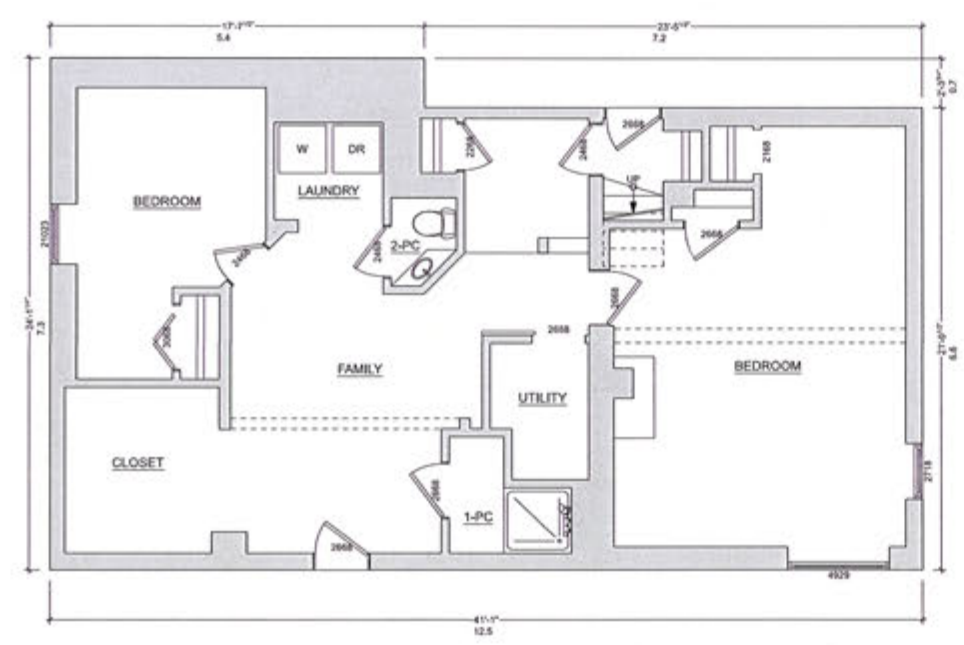


ISSUED FOR REZONE

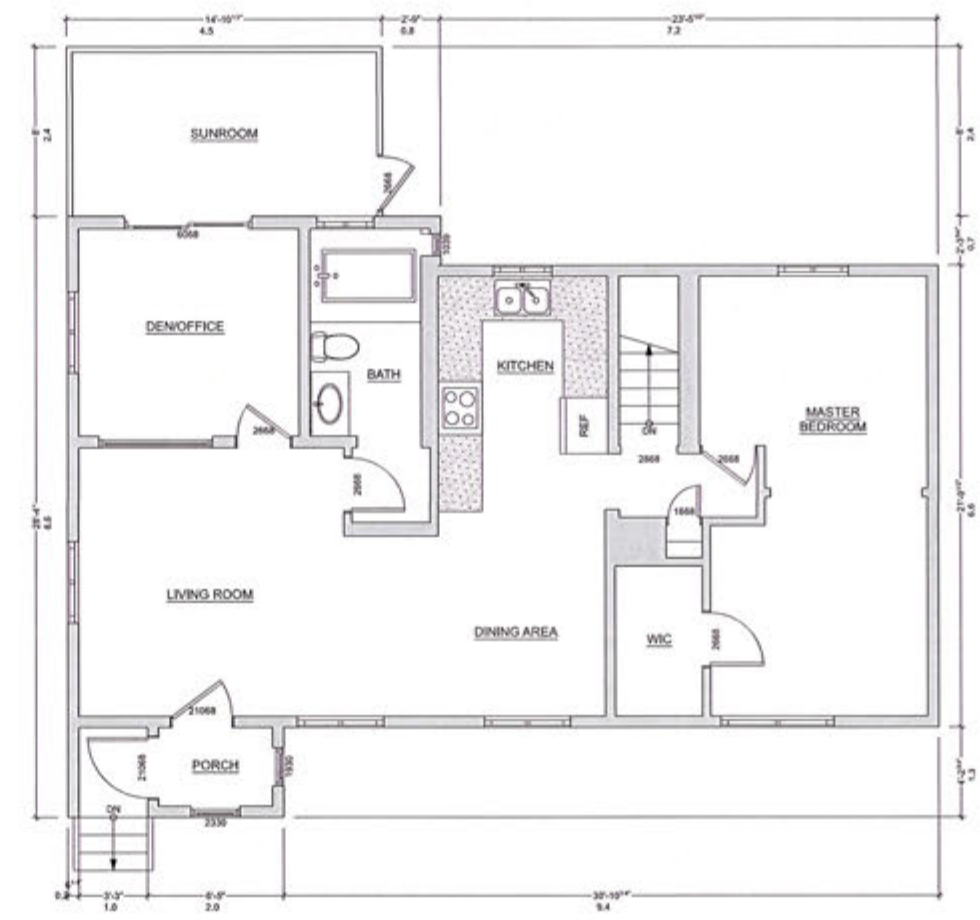
ISSUED:


PR. FLOOR PLANS

**A-101**



**1 LOWER FLOOR PLAN**



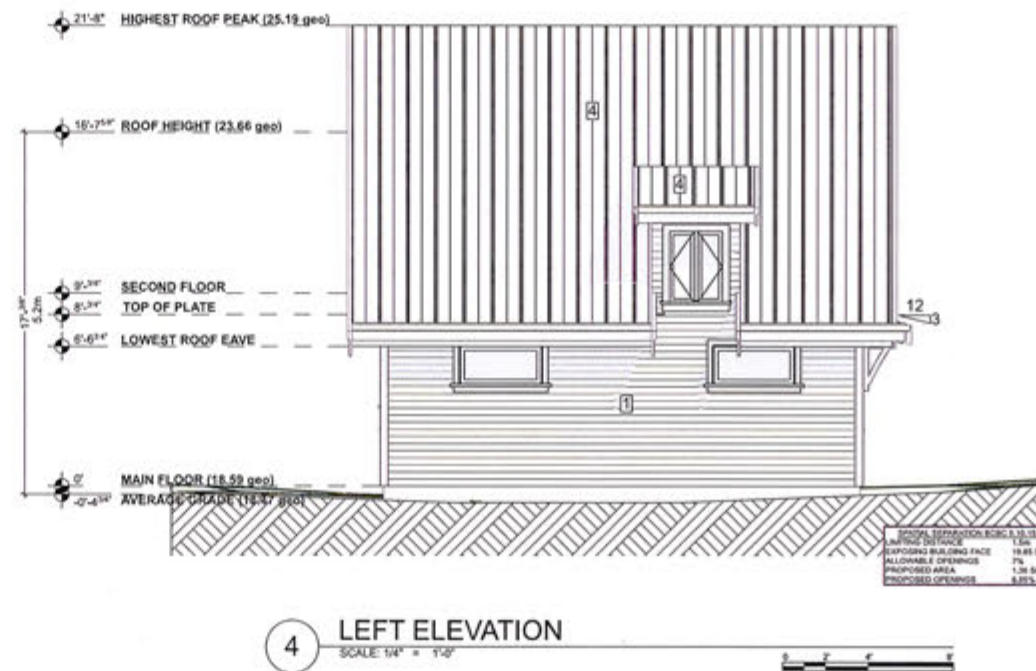
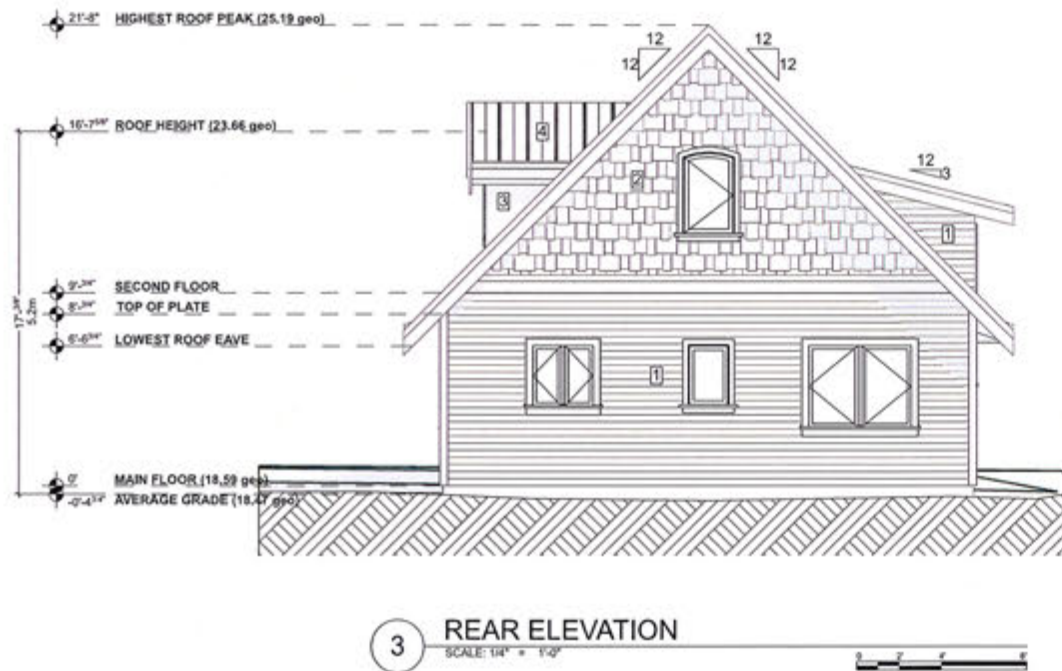
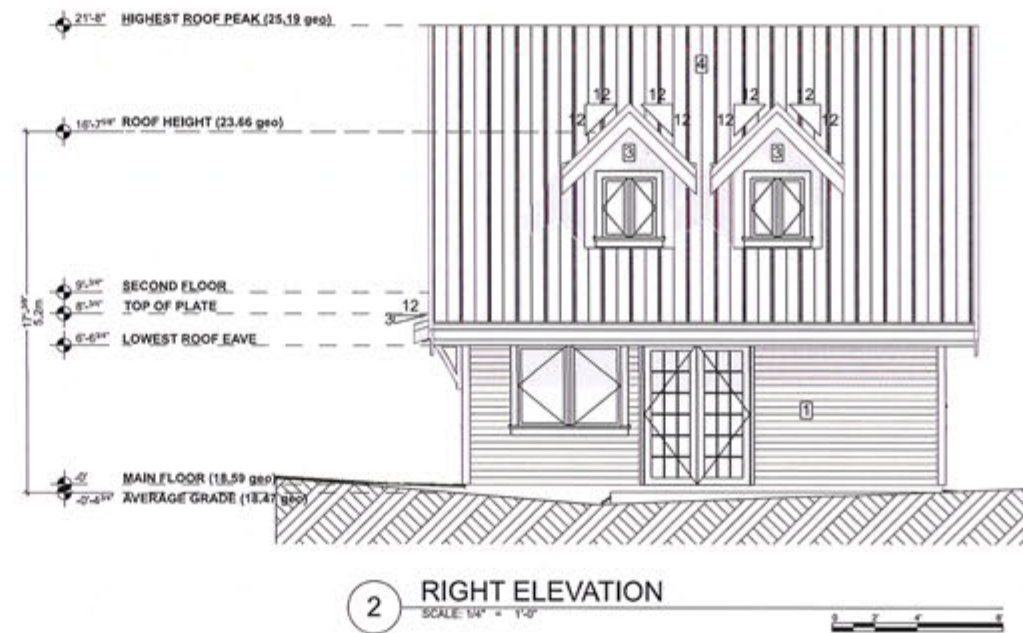
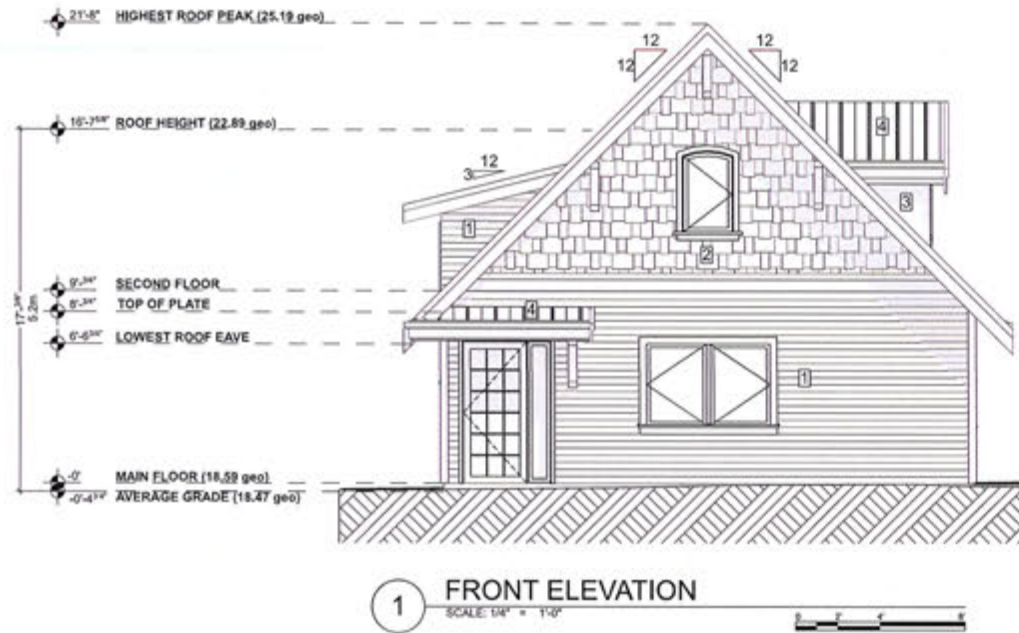
**2 MAIN FLOOR PLAN**



ISSUED FOR REZONE

ISSUED:


EX. FLOOR PLANS



**EXTERIOR CLADDING LEGEND**

- 1 CEMENT BOARD LAP SIDING
- 2 HARDIESHINGLE PAINTED
- 3 STUCCO ACRYLIC FINISH
- 4 STANDING SEAM METAL ROOFING

**ADDITIONAL EXTERIOR FINISHINGS**

OUTLETS: 8" CONTINUOUS ALUMINUM (PROFILING)  
 CORNER ALUMINUM CORNEROUT (PROFILING)  
 SOFFIT: VERTICED ALUMINUM (PROFILING)  
 FASCIA: 2x12 COAR-FACED SYP (PAINTED)  
 BRACKETS: 2x12 COAR-FACED SYP (PAINTED) CW 1/2" SLIPST  
 2x12 COAR-FACED SYP (PAINTED)  
 2x12 COAR-FACED SYP (PAINTED)  
 2x12 COAR-FACED SYP (PAINTED)  
 2x12 COAR-FACED SYP (PAINTED)  
 2x12 COAR-FACED SYP (PAINTED)

NOTE: RECONSTRUCTION SHALL BE AS PER OWNERS DIRECTION AND CONFORM TO BC BUILDING REGULATIONS. CONTRACTOR TO VERIFY ALL R.O.D. FROM TO CHANGING WORKS. PLEASE OVER ALL INTERFERE, TRANSFERENTIAL, DOOR AND WINDOW HEADERS. ALL COLORING AS PER OWNER.

**ADAPT DESIGN**

1500 Shorncliffe Road Victoria BC Canada  
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 www.adaptdesign.ca

**481 SOUTH JOFFRE ST GARDEN SUITE**

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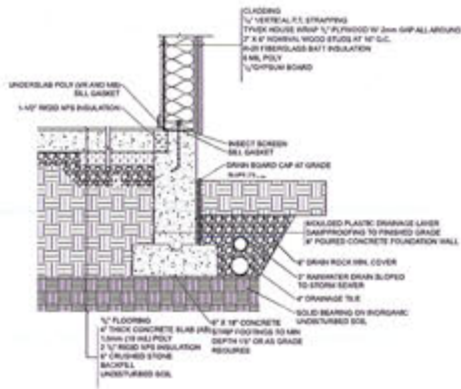
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**FEB 07 2020**

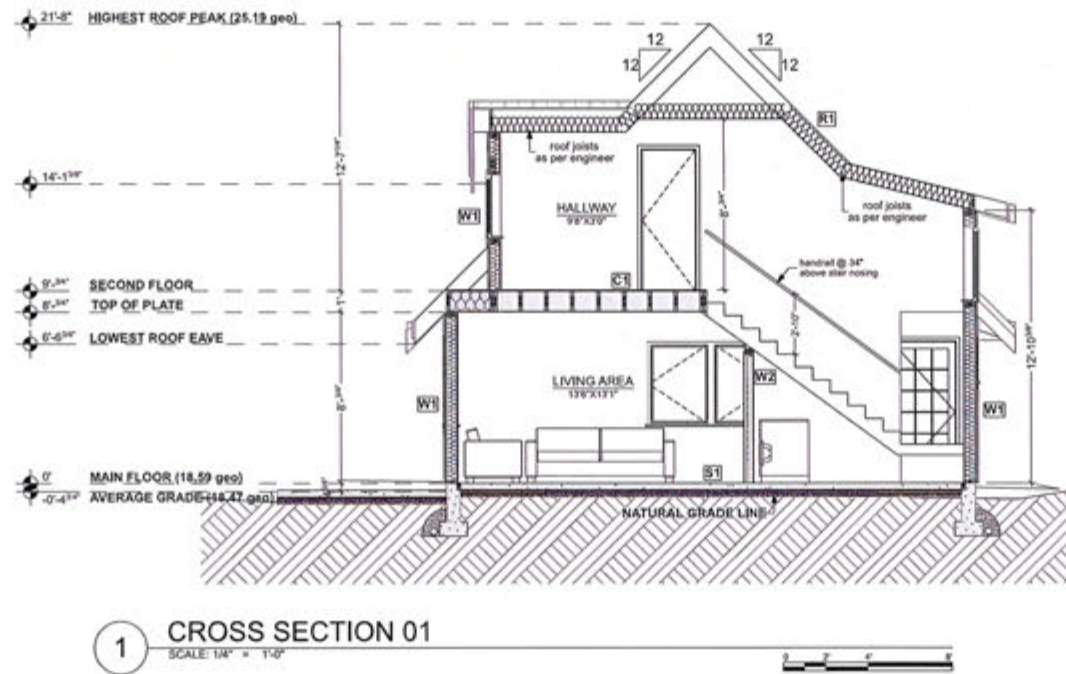
**CORP. OF TOWNSHIP DEVELOPMENT SERVICES**

**ISSUED FOR REZONE**

ISSUED:



SLAB ON GRADE



1 CROSS SECTION 01  
SCALE: 1/4" = 1'-0"

SECTION LEGEND

CEILING TYPES

**C1 - INTERIOR FLOOR**  
FINISHED FLOORING  
1/2" T&G PLYWOOD  
FLOOR JOISTS AS PER ENGINEER  
CROSS BRACING  
1/2" GYPSUM BOARD PAINTED

ROOF TYPES

**R1 - JOIST ROOF**  
STANDING SEAM METAL ROOFING  
12" PLYWOOD CW R CLIPS  
2M CROSS PURLINS  
R28 FG BATT INSULATION  
6 MIL. POLY (A/B/V)  
1/2" GYPSUM BOARD PAINTED  
ROOF VENTED 1:150

SLAB TYPES

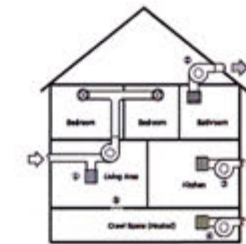
**S1 - FLOOR SLAB**  
4" THICK CONCRETE SLAB  
6 MIL. POLY  
3-1/2" XPS RIGID INSULATION 4' PERIMETER  
2" THERMAL BREAK @ SLAB EDGE  
COMPACTED 1/2" M&S  
UNDISTURBED SOIL

WALL TYPES

**W1 - EXTERIOR WALL**  
CLADDING AS PER ELEVATIONS  
1/2" P.T. STRAPPING FASTENED TO FRAMING  
TYVEK HOUSE WRAP (MB)  
1/2" OSB SHEATHING DRAS PER ENGINEER  
2X6" STUDS @ 16" O.C.  
R-19 (COMPRESSED) BATT INSULATION  
6 MIL. POLY (A/B/V)  
1/2" GYPSUM BOARD PAINTED

**W2 - INTERIOR WALL**

1/2" GYPSUM BOARD PAINTED  
2M STUDS @ 16" O.C.  
R-12 BATT INSULATION (OPTIONAL)  
1/2" GYPSUM BOARD PAINTED



BCBC 9.32 MECHANICAL VENTILATION REQUIREMENTS  
CENTRAL RECIRCULATION VENTILATION SYSTEM  
CRV DRAWS SUPPLY AIR FROM AN EXTERIOR INLET CONNECTED UPSTREAM OF THE FAN  
CRV DRAWS AIR FROM EACH BEDROOM & DELIVERS IT TO A COMMON AREA  
PRINCIPAL EXHAUST FANAS SHOWN ON PLANS  
CONTRACTOR TO SUPPLY BUILDING OFFICIAL WITH MECHANICAL VENTILATION CHECKLIST ON OR PRIOR TO FRAMING INSPECTION

MECHANICAL VENTILATION REQUIREMENTS

BCBC 9.36 PRESCRIPTIVE PATH CLIMATE ZONE 4	
ASSEMBLY DESCRIPTION	EFF. RSI
TRUSS CEILING	6.91 RSI
CATHEDRAL CEILING & FLAT ROOF	4.67 RSI
EXTERIOR WALLS	2.78 RSI
FLOORS OVER GARAGE/UNHEATED SPACE	4.51 RSI
WALL @ GARAGE	2.52 RSI
HEATED CONCRETE SLABS	2.32 RSI
CONCRETE SLABS	1.98 RSI
FOUNDATION WALL BELOW GRADE	1.99 RSI

EXTERIOR WALL EFFECTIVE THERMAL RESISTANCE	
INTERIOR AIR FILM	0.12 RSI
GYPSUM BOARD	0.08 RSI
2X6 STUD	1.19 RSI
7/8" OSB SHEATHING	0.11 RSI
AIR SPACE	0.15 RSI
WOOD SIDING	0.18 RSI
OUTSIDE AIR FILM	0.03 RSI
TOTAL EFF. R VALUE =	1.86 RSI @ 23% WALL AREA
INTERIOR AIR FILM	0.12 RSI
GYPSUM BOARD	0.08 RSI
R28 INSULATION	3.52 RSI
7/8" OSB SHEATHING	0.11 RSI
AIR SPACE	0.15 RSI
WOOD SIDING	0.18 RSI
OUTSIDE AIR FILM	0.03 RSI
TOTAL EFF. R VALUE =	4.19 RSI @ 77% WALL AREA
EFFECTIVE THERMAL RESISTANCE =	3.27 RSI
REQUIRED EFFECTIVE THERMAL RESISTANCE =	2.78 RSI

VAULTED CEILING EFFECTIVE THERMAL RESISTANCE	
INTERIOR AIR FILM	0.11 RSI
GYPSUM BOARD	0.08 RSI
2X10 RAFTERS	2.0 RSI
EXTERIOR AIR FILM	0.03 RSI
TOTAL EFF. R VALUE =	2.22 RSI @ 13% CEILING
INTERIOR AIR FILM	0.11 RSI
GYPSUM BOARD	0.08 RSI
R20 BATT INSULATION	3.52 RSI
R12 BATT INSULATION	2.11 RSI
OUTSIDE AIR FILM	0.03 RSI
TOTAL EFF. R VALUE =	5.85 RSI @ 87% CEILING
EFF. THERMAL RESISTANCE =	4.82 RSI
REQUIRED EFF. THERMAL RESISTANCE =	4.67 RSI

TRUSS ROOF EFFECTIVE THERMAL RESISTANCE	
INTERIOR AIR FILM	0.11 RSI
GYPSUM BOARD	0.08 RSI
3-1/2" BOTTOM CHORD	0.76 RSI
OUTSIDE AIR FILM	0.03 RSI
TOTAL EFF. R VALUE @ 11% =	0.99 RSI
INTERIOR AIR FILM	0.11 RSI
GYPSUM BOARD	0.08 RSI
3-1/2" BLOWN INSULATION	1.67 RSI
OUTSIDE AIR FILM	0.03 RSI
TOTAL EFF. R VALUE @ 89% =	1.89 RSI
EFFECTIVE THERMAL INSULATION @ CAVITY =	1.71 RSI
12" BLOWN FG ABOVE FRAMING =	5.63 RSI
TOTAL EFF. THERMAL RESISTANCE =	7.34 RSI
REQUIRED EFF. THERMAL RESISTANCE =	6.91 RSI

FLOOR OVER UNHEATED SPACE EFFECTIVE THERMAL RESISTANCE	
INTERIOR AIR FILM	0.11 RSI
FLOORING	0.12 RSI
1/2" SHEATHING	0.16 RSI
2X10 JOISTS	2.8 RSI
EXTERIOR AIR FILM	0.03 RSI
WOOD SOFFIT	0.12 RSI
TOTAL EFF. R VALUE =	2.54 RSI @ 13% FLOOR AREA
INTERIOR AIR FILM	0.11 RSI
FLOORING	0.12 RSI
1/2" SHEATHING	0.16 RSI
R28 BATT INSULATION	4.93 RSI
EXTERIOR AIR FILM	0.03 RSI
WOOD SOFFIT	0.12 RSI
TOTAL EFF. R VALUE =	5.47 RSI @ 87% FLOOR AREA
EFF. THERMAL RESISTANCE =	4.23 RSI
REQUIRED EFF. THERMAL RESISTANCE =	4.67 RSI

FLOORS OVER GARAGE EFFECTIVE THERMAL RESISTANCE	
INTERIOR AIR FILM	0.16 RSI
WOOD FLOORING	0.12 RSI
SUB FLOOR	0.16 RSI
R28 INSULATION	4.93 RSI
GYPSUM BOARD	0.08 RSI
INTERIOR AIR FILM	0.11 RSI
TOTAL EFF. R VALUE =	5.56 RSI @ 87%
INTERIOR AIR FILM	0.16 RSI
WOOD FLOORING	0.12 RSI
SUB FLOOR	0.16 RSI
2X10 FLOOR JOISTS	1.99 RSI
GYPSUM BOARD	0.08 RSI
INTERIOR AIR FILM	0.03 RSI
TOTAL EFF. R VALUE =	2.46 RSI @ 13%
EFF. THERMAL RESISTANCE =	4.77 RSI
REQUIRED EFF. THERMAL RESISTANCE =	4.51 RSI

EXTERIOR WALL EFFECTIVE THERMAL RESISTANCE	
INTERIOR AIR FILM	0.12 RSI
GYPSUM BOARD	0.08 RSI
2X6 STUD	1.19 RSI
7/8" OSB SHEATHING	0.11 RSI
AIR SPACE	0.15 RSI
WOOD SIDING	0.18 RSI
OUTSIDE AIR FILM	0.03 RSI
TOTAL EFF. R VALUE =	1.86 RSI @ 23% WALL AREA
INTERIOR AIR FILM	0.12 RSI
GYPSUM BOARD	0.08 RSI
R28 INSULATION	3.52 RSI
7/8" OSB SHEATHING	0.11 RSI
AIR SPACE	0.15 RSI
WOOD SIDING	0.18 RSI
OUTSIDE AIR FILM	0.03 RSI
TOTAL EFF. R VALUE =	4.19 RSI @ 77% WALL AREA
EFFECTIVE THERMAL RESISTANCE =	3.27 RSI
REQUIRED EFFECTIVE THERMAL RESISTANCE =	2.78 RSI

WALL @ GARAGE EFFECTIVE THERMAL RESISTANCE	
INTERIOR AIR FILM	0.12 RSI
GYPSUM BOARD	0.08 RSI
POLYETHYLENE	N/A
2X6 STUD	1.19 RSI
GYPSUM BOARD	0.08 RSI
INTERIOR AIR FILM	0.12 RSI
TOTAL EFF. R VALUE =	1.59 RSI @ 23% WALL AREA
INTERIOR AIR FILM	0.12 RSI
GYPSUM BOARD	0.08 RSI
POLYETHYLENE	N/A
R28 INSULATION	3.52 RSI
GYPSUM BOARD	0.08 RSI
INTERIOR AIR FILM	0.12 RSI
TOTAL EFF. R VALUE =	3.82 RSI @ 77% WALL AREA
EFFECTIVE THERMAL RESISTANCE =	2.83 RSI
REQUIRED EFFECTIVE THERMAL RESISTANCE =	2.82 RSI

BASEMENT SLAB ABOVE FROST LINE EFFECTIVE THERMAL RESISTANCE	
INTERIOR AIR FILM (FLOOR)	0.16 RSI
CONCRETE SLAB	0.04 RSI
RADIANT IN FLOOR HEATING	N/A
2-1/2" XPS	2.15 RSI
EFF. THERMAL INSULATION =	2.35 RSI (R13.3)
REQUIRED EFF. THERMAL INSULATION =	1.96 RSI (R13.2)
BASEMENT HEATED FLOOR EFFECTIVE THERMAL RESISTANCE	
INTERIOR AIR FILM (FLOOR)	0.16 RSI
CONCRETE SLAB	0.04 RSI
RADIANT IN FLOOR HEATING	N/A
2-1/2" XPS	2.15 RSI
EFF. THERMAL RESISTANCE =	2.35 RSI
REQUIRED EFF. THERMAL RESISTANCE =	2.32 RSI

THERMAL BREAK BETWEEN SLAB AND FOUNDATION WALL EFFECTIVE INSULATION	
1-1/2" XPS	1.33 RSI
50% REQUIRED HEATED CONCRETE SLAB 2.35 RSI X	
50% = 1.18 RSI REQUIRED	
EFF. THERMAL INSULATION =	1.32 RSI
REQUIRED EFF. THERMAL INSULATION =	1.18 RSI
CRAWLSPACE FOUNDATION WALLS EFFECTIVE INSULATION	
INTERIOR AIR FILM (FLOOR)	0.16 RSI
R12 FOIL BACK INSULATION	0.04 RSI
8" THICK CONCRETE WALL	2.11 RSI
EFF. THERMAL RESISTANCE =	2.31 RSI
REQUIRED EFF. THERMAL RESISTANCE =	1.99 RSI

FOUNDATION WALL BELOW GRADE INTERIOR FURRING WALL	
200mm CONCRETE	0.08 RSI
1/2" AIR SPACE	0.16 RSI
2X4 @ 24" OC FRAMING (13%)	0.76 RSI
R12 FG BATT (87%)	2.11 RSI
1/2" GYPSUM BOARD	0.08 RSI
INTERIOR AIR FILM	0.12 RSI
ACTUAL EFF. THERMAL INSULATION =	2.22 RSI
REQUIRED EFF. THERMAL INSULATION MIN. =	1.99 RSI
FOUNDATION WALL BELOW GRADE EXTERIOR INSULATION	
200mm CONCRETE	0.08 RSI
R12 FOIL BACK INSULATION	2.15 RSI
INTERIOR AIR FILM	0.12 RSI
ACTUAL EFF. THERMAL RESISTANCE =	2.35 RSI
REQUIRED EFF. THERMAL RESISTANCE MIN. =	1.99 RSI



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GARDEN SUITE

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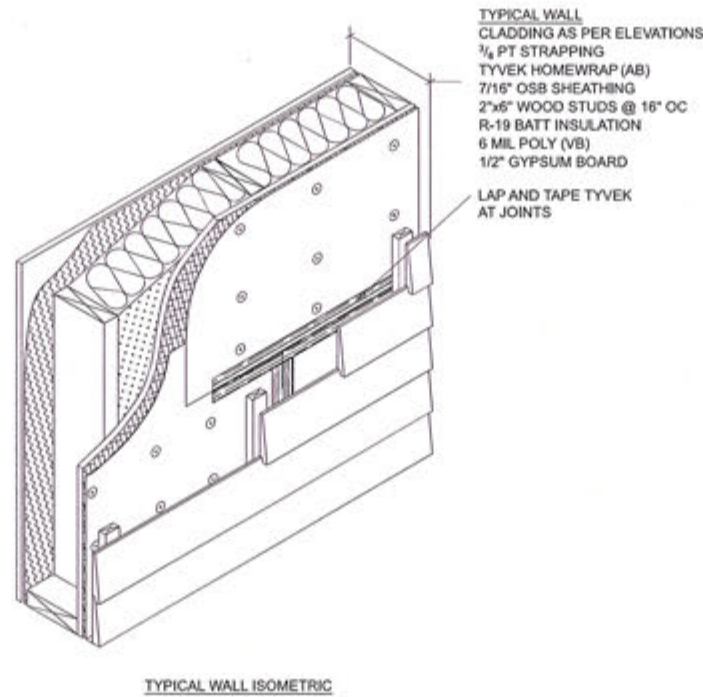
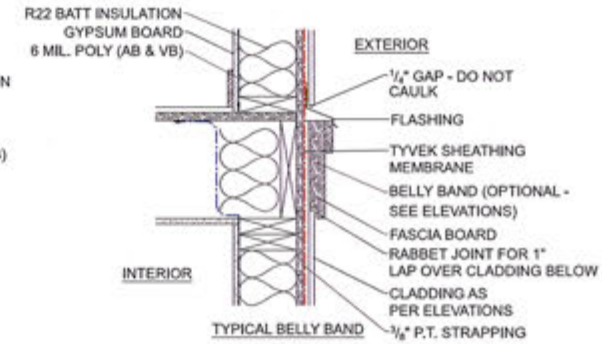
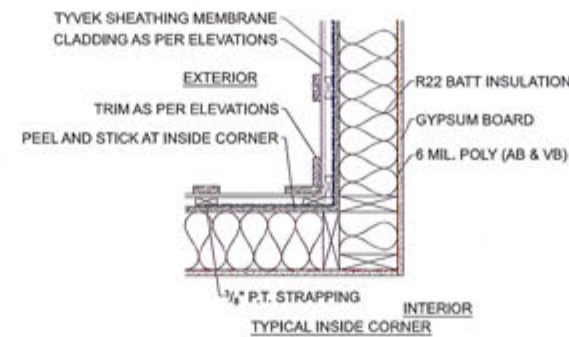
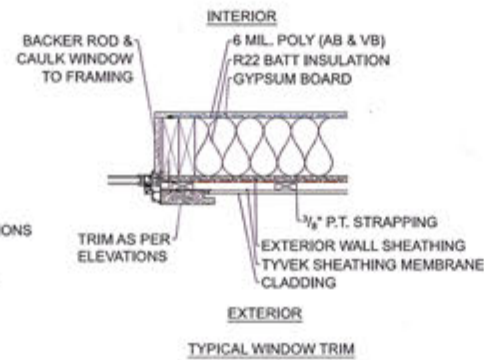
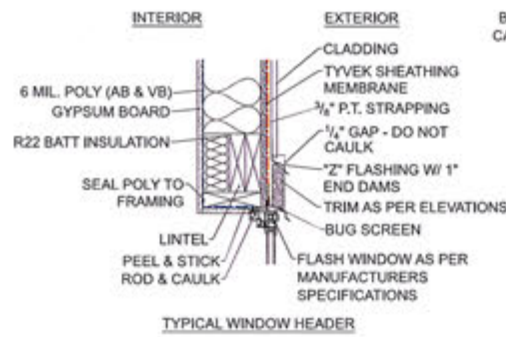
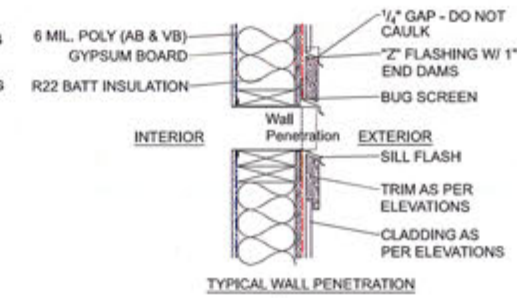
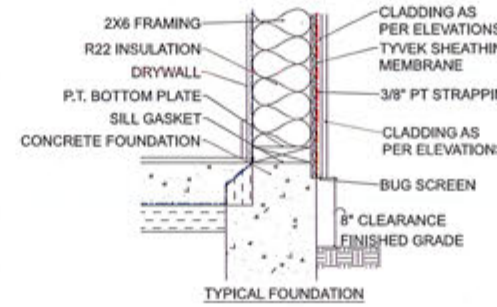
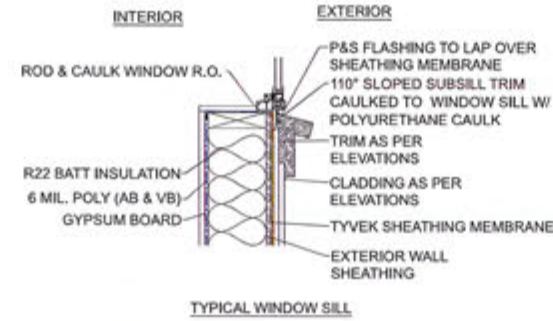
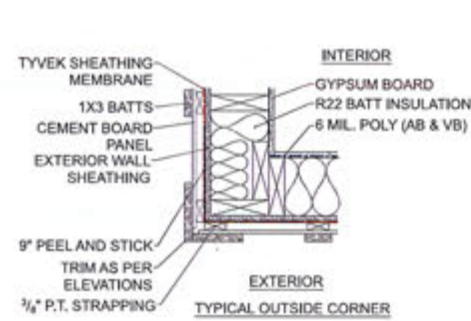
CROSS SECTION

A-301



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**TYPICAL CLADDING DETAILS**



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