

CORPORATION OF THE TOWNSHIP OF ESQUIMALT

DEVELOPMENT PERMIT

NO. DP000093

Owner: Brandon, David Nelson
Brandon, Barbara Ann
10 Phillion Place

Lands: PID 002-540-169, Lot C, Section 2, Esquimalt District,
Plan 27030

Address: 10 Phillion Place, Esquimalt, B.C.

Conditions:

1. This Development Permit is issued subject to compliance with all of the bylaws of the Municipality applicable thereto, except as specifically varied or supplemented by this permit for the purpose of authorizing the construction of a new Accessory Building within 30 metres of the Gorge Waterway, governed by Development Permit Area No. 4 – Gorge Waterway.
2. Approval of this Development Permit is issued in accordance with the architectural drawings prepared by Villamar Design, stamped "Received July 14, 2017", the landscape plan prepared by Studio One Creative, stamped "Received July 6, 2017", and sited as detailed on the survey plan prepared by JE Anderson & Associates, stamped "Received June 27, 2017", attached hereto as Schedule 'A'.
3. This Development Permit is issued in accordance with the landscaping estimate provided by Studio One Creative, stamped "Received August 17, 2017", attached hereto as Schedule 'B'. Security, in an amount representing 120% of the estimate (120% of \$5686.00= \$6823.20) must be deposited with the Township of Esquimalt before this permit can be issued.
4. The lands shall be developed in accordance with the terms, conditions and provisions of this Permit.
5. The terms, conditions and covenants contained herein shall enure to the benefit of and be binding upon the Owners, their executors, heirs or administrators, successors and assigns as the case may be or their successors to title in the lands.

6. This Development Permit is not a Building Permit.
7. This Permit lapses two (2) years after the date it is issued if the holder of the Permit does not substantially start any construction with respect to which the Permit was issued.
8. For the purposes of this Development Permit, the holder of the Permit shall be the owner(s) of the lands.

APPROVED BY MUNICIPAL COUNCIL RESOLUTION ON THE ____
DAY OF _____, 2017.

ISSUED BY THE DIRECTOR OF DEVELOPMENT SERVICES THIS ____
DAY OF _____, 2017.

Director of Development Services

Corporate Officer
Corporation of the Township
of Esquimalt



VICTORIA ARM

Natural Boundary as per Plan 27030

PRESENT NATURAL BOUNDARY

27030

EXISTING RESIDENCE
LEGAL NON-CONFORMING

PRESENT NATURAL BOUNDARY

PLAN

B

C

ROAD

ARAL

PHILLION PLACE

RECEIVED

JUN 27 2017

CORP OF TOWNSHIP
OF ESQUIMALT
DEVELOPMENT SERVICES

NOTE : ELEVATIONS ARE REFERENCED TO GEODETIC DATUM

THE DECIMAL POINT OF THE ELEVATION
DENOTES THE LOCATION OF THE SHOT
TAKEN UNLESS NOTED OTHERWISE

LOT DIMENSIONS ARE FROM CURRENT
SURVEY AND EXISTING RECORDS

SCHEDULE 'A' OF
DEVELOPMENT PERMIT
NO. DP000093
CORPORATE OFFICER

Scale 1:250



J E ANDERSON &
ASSOCIATES

SURVEYORS - ENGINEERS

VICTORIA

NANAIMO

PARKSVILLE

PHONE: 250-727-2214

FAX: 250-727-3355

Sketch Plan
of Proposed Garage

10 PHILLION PLACE

Mr. David Brandon

DRAWN BY : DBL/PJW PROJECT SURVEYOR : P.J. Wittstock, BCLS

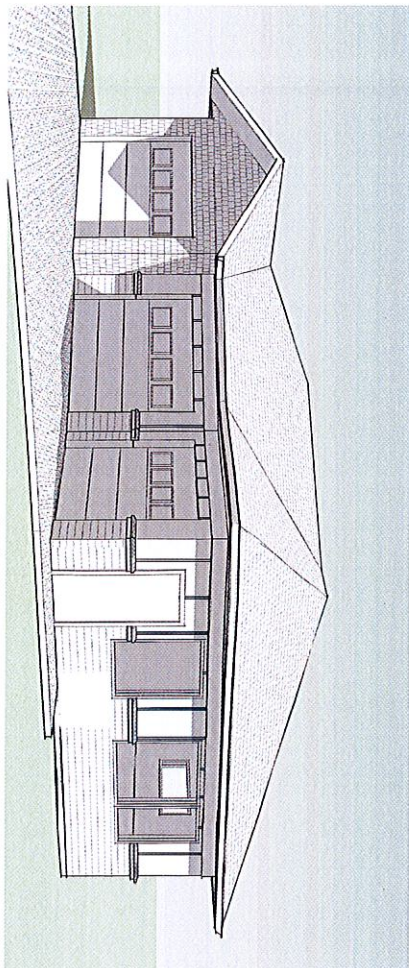
SCALE : 1 : 250

DATE : June 27, 2017.

LOT C, SECTION 2, ESQUIMALT
DISTRICT, PLAN 27030

OUR FILE : 27275/30601 REVISION :

Z:_Projects\30601...\30601.dwg (Sketch)



1) DIMENSIONS PROVIDED SHALL TAKE PRECEDENCE OVER SCALE. CONTRACTOR TO VERIFY ALL DIMENSIONS OF BUILDING DESIGNER, AND CONSULTANT'S DRAWINGS PRIOR TO WORK. CONTRACTOR, ANY DISCREPANCIES ARE TO BE REPORTED IMMEDIATELY. ANY NOTES ELSEWHERE ON THE PLANS THAT EXCEED THE REQUIREMENTS STATED IN THE GENERAL NOTES TAKE PRECEDENCE.

3. ALL NEW CONSTRUCTION TO MEET CURRENT BOB BUILDING CODE 2012
4. VENTILATION INTAKE AND EXHAUST TO MEET ALL BOB CODE REGULATIONS
5. VENTILATION CHECKLIST TO BE COMPLETED PRIOR TO FINISH INSPECTION
6. CARBON MONOXIDE ALARM LOCATIONS TO BE DETERMINED, AS PER BOB CODE
7. PHOTO-ELECTRIC/INTERCONNECTED SMOKE DETECTORS LOCATED AS PER BOB CODE

[illegible]

	FIELD		ENCLOSURE	
	M	FL	M	FL
POINT	0	0	13.5	44.3*
WATERPOINT (Rear)	4.5	5.0*	26.5	87.0*
SLOT (Rear)	1.5	5.0*	2.5	8.3*
SLOT (Front)	1.5	5.0*	0.04	29.0*
BUILDING SEPARATION	2.5	8.3*	19.0	42.10*

	DOOR-TO-DOOR	DOORING	PROCESSED
SALE	56.1	56.1	56.1
Dwelling Satisfaction	226	2406	..
Garage	47.0
TOTAL	..	324.1	346.0
Less Coverage 30% Allow.	11 %	16 %	..
Door-to-door ratio	0.11	0.16	..

RECEIVED

JUL 14 1947

CORP. OF TOWNSHIP
OF ESQUIMALT

OF ESQUIMALT

1. CALIBRATION REPORT NUMBER AND POC BODC
 4322-4
 2. INSTRUMENT USED AND DETECTOR AS POC
 BODC 410
 3. EXAMINEE NAME AND CONTACT INFORMATION
 EXAMINEE: VERNALIA, JENNIFER
 432-35
 4. FREQUENCY TAO
 DODOM TAO
 5. DATA POLLUTION
 NO DATA POLLUTION
 6. MOD. POLLUTION

PROJECT TEAM

SURVEYOR

J.E. Anderson et al.

WILLIAM GIBSON

W

Shelley, P. B. 1997. *Marine Fishes of the Western North Atlantic*. FAO Species Catalogue, Vol. 4. Rome, Italy: FAO.

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THE UNIVERSITY OF CHICAGO

SCHEDULE OF DEVELOPMENT PERMIT
NO. DP000093

CORPORATE OFFICER

6825A
VEYANESS ROAD
VICTORIA, BC
V8M 2A7
778-351-4088

Villamar
DESIGN

10 Phillion Pl.
Esquimalt, BC

Client:
Dave Brandon

DATE	ISSUED FOR:
Review	

Development Permit

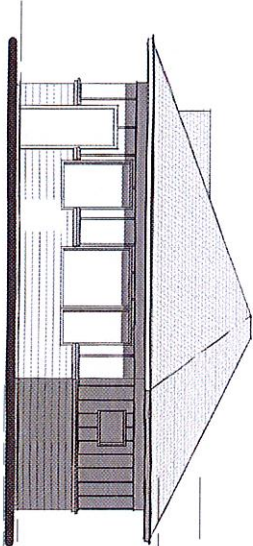
Cover

May 30, 2016

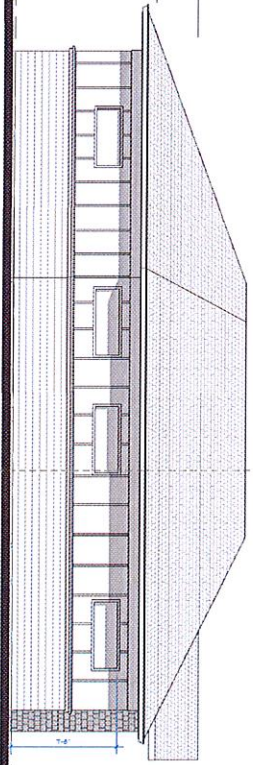
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0.1 ± 5%	7005
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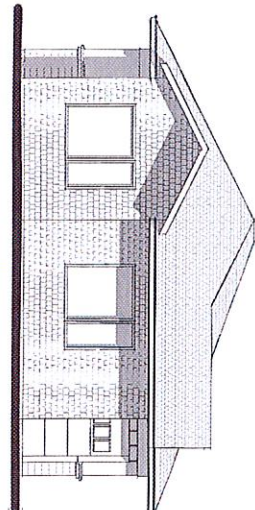
③ North - Right Side
1/4" = 1'-0"



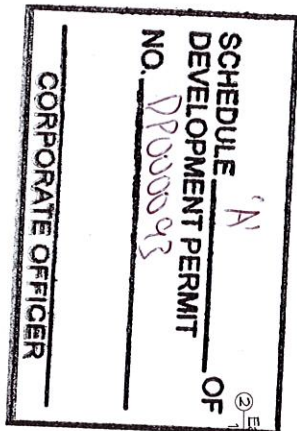
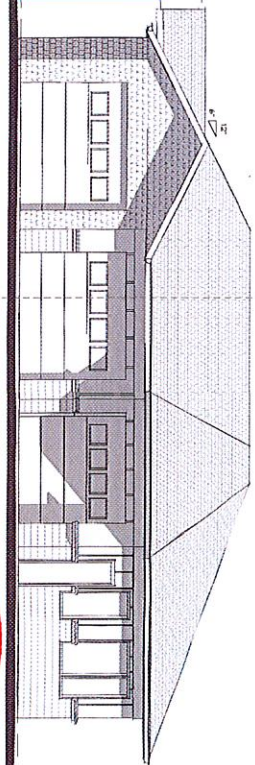
④ West - Rear
1/4" = 1'-0"



① South - Left Side
1/4" = 1'-0"



② East - Front
1/4" = 1'-0"



DATE	2016.07.10
SCALE	1/4" = 1'-0"
PROJECT	10 Phillion Pl.
CLIENT	Esquimalt, BC
DESIGNER	Dave Brandon
CHECKED BY	
DATE	
PROJECT	10 Phillion Pl.
CLIENT	Esquimalt, BC
DESIGNER	Dave Brandon
CHECKED BY	
DATE	

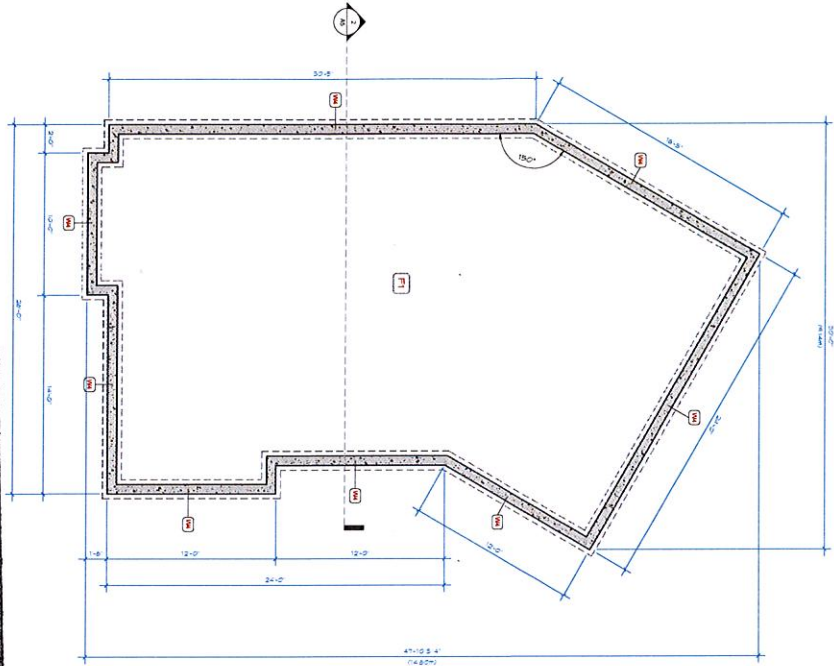
Development Permit
Elevations

Client:
Dave Brandon

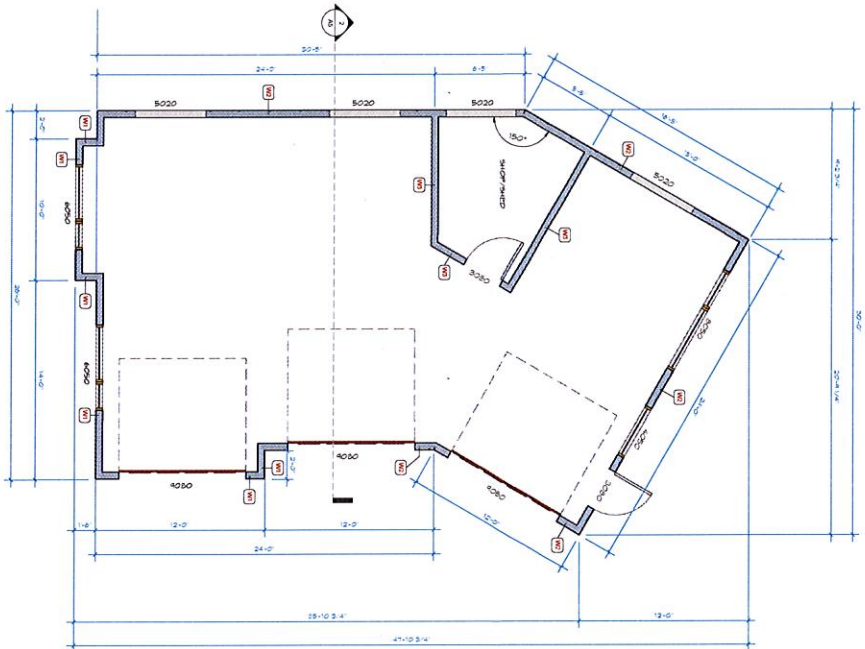
10 Phillion Pl.
Esquimalt, BC

6825A
VETANESS ROAD
VICTORIA, BC
V8M 2A7
778-951-4088

Villamar
DESIGN



① Foundation Plan
1/4" = 1'-0"



② Main Level
1/4" = 1'-0"

SCHEDULE 'A'
DEVELOPMENT PERMIT
NO. DP000003
CORPORATE OFFICER



- BUILDING MATERIALS**
- 1. ALL MATERIALS SHALL BE OF THE BEST QUALITY AVAILABLE.
 - 2. ALL MATERIALS SHALL BE OF THE BEST QUALITY AVAILABLE.
 - 3. ALL MATERIALS SHALL BE OF THE BEST QUALITY AVAILABLE.
 - 4. ALL MATERIALS SHALL BE OF THE BEST QUALITY AVAILABLE.
 - 5. ALL MATERIALS SHALL BE OF THE BEST QUALITY AVAILABLE.
 - 6. ALL MATERIALS SHALL BE OF THE BEST QUALITY AVAILABLE.
 - 7. ALL MATERIALS SHALL BE OF THE BEST QUALITY AVAILABLE.
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 - 9. ALL MATERIALS SHALL BE OF THE BEST QUALITY AVAILABLE.
 - 10. ALL MATERIALS SHALL BE OF THE BEST QUALITY AVAILABLE.
- NOTES**
- 1. ALL MATERIALS SHALL BE OF THE BEST QUALITY AVAILABLE.
 - 2. ALL MATERIALS SHALL BE OF THE BEST QUALITY AVAILABLE.
 - 3. ALL MATERIALS SHALL BE OF THE BEST QUALITY AVAILABLE.
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 - 9. ALL MATERIALS SHALL BE OF THE BEST QUALITY AVAILABLE.
 - 10. ALL MATERIALS SHALL BE OF THE BEST QUALITY AVAILABLE.
- LEGEND**
- 1. ALL MATERIALS SHALL BE OF THE BEST QUALITY AVAILABLE.
 - 2. ALL MATERIALS SHALL BE OF THE BEST QUALITY AVAILABLE.
 - 3. ALL MATERIALS SHALL BE OF THE BEST QUALITY AVAILABLE.
 - 4. ALL MATERIALS SHALL BE OF THE BEST QUALITY AVAILABLE.
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 - 9. ALL MATERIALS SHALL BE OF THE BEST QUALITY AVAILABLE.
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 - 9. ALL MATERIALS SHALL BE OF THE BEST QUALITY AVAILABLE.
 - 10. ALL MATERIALS SHALL BE OF THE BEST QUALITY AVAILABLE.

Client:
Dave Brandon

10 Phillion Pl.
Esquimalt, BC

68255
VILLAMAR ROAD
VICTORIA, BC
V8M 2A7
778-951-4088

Development Permit
Foundation & Floor
Plan

DATE: 05/30/2016

DESIGNED BY: [Name]

CHECKED BY: [Name]

SCALE: AS SHOWN

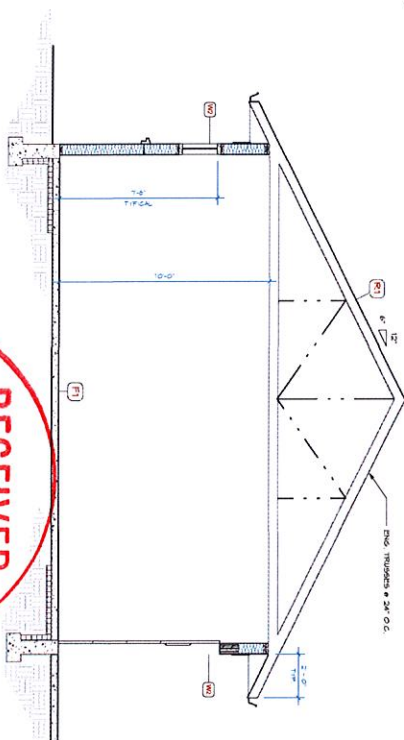
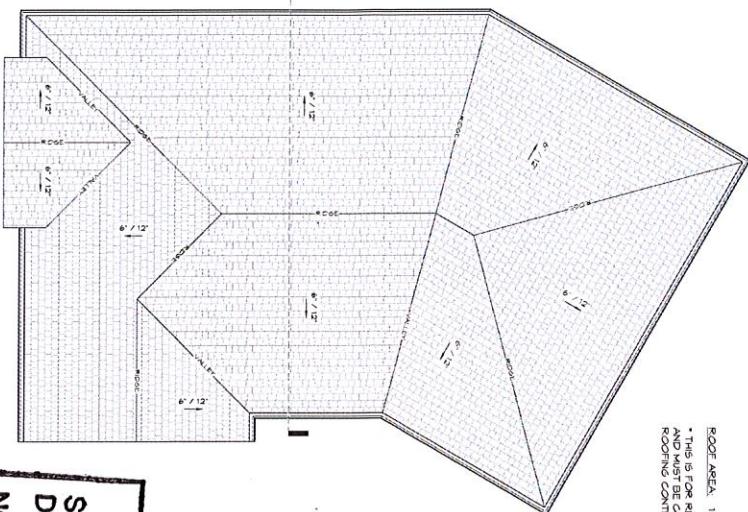
May 30, 2016

PROJECT NO: [Number]

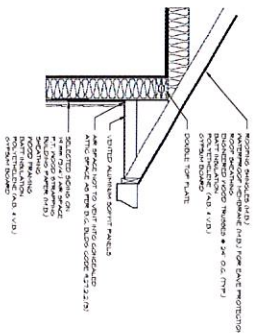
DATE: [Date]

SCALE: [Scale]

A4



① Roof Plan
1/4" = 1'-0"

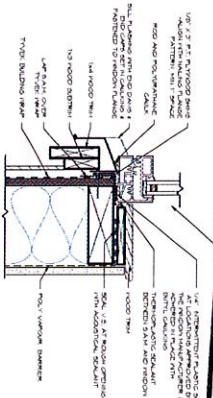


③ Water Shedding Roof/Maill
3/4" = 1'-0"

② Section 1
3/8" = 1'-0"

SCHEDULE A OF
DEVELOPMENT PERMIT
NO. DP0000093

CORPORATE OFFICER




④ Window sill
1" = 0'-3"

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JUL 14 2017

CORP. OF TOWNSHIP
 OF ESQUIMALT
 DEVELOPMENT SERVICES

⑤ Fdn Wall - Slab @ Grade
3/4" = 1'-0"

- 17  **DOCTOR**
 For many, the doctor is the most important person in their life. But what if the doctor is also the most important person in your life? In this episode, we explore the role of the doctor in our lives and how we can make the most of it.
- 18  **POOLS**
 Pools are a great way to stay cool and relaxed during the summer months. But what if you're not a fan of pools? In this episode, we explore the benefits of pools and how we can make the most of them.
- 19  **DOGS**
 Dogs are a great way to stay active and healthy. But what if you're not a fan of dogs? In this episode, we explore the benefits of dogs and how we can make the most of them.
- 20  **DOGS**
 Dogs are a great way to stay active and healthy. But what if you're not a fan of dogs? In this episode, we explore the benefits of dogs and how we can make the most of them.
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- 34  **DOGS**
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10 Phillion Pl.
Esquimalt, BC

6825A
VEYANESS ROAD
VICTORIA, BC
V8M 2A7
778-351-1288

Villamar
DESIGN

Development Permit
Roof Plan, Section
& Details

May 30, 2016

58	59	60
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AS indicated	
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General Notes

Contractor shall provide and install all materials and labor for the construction of the building and shall be responsible for obtaining all necessary permits and approvals from the appropriate authorities. The contractor shall be responsible for the design and construction of the building and shall be responsible for the safety of the building and the safety of the construction workers. The contractor shall be responsible for the quality of the construction and shall be responsible for the completion of the building within the specified time frame. The contractor shall be responsible for the maintenance of the building and shall be responsible for the repair of any damage to the building. The contractor shall be responsible for the removal of any debris from the building and shall be responsible for the cleanup of the construction site. The contractor shall be responsible for the payment of all taxes and fees associated with the construction of the building. The contractor shall be responsible for the payment of all insurance premiums for the construction of the building. The contractor shall be responsible for the payment of all other costs associated with the construction of the building.

Demolition

Demolition shall be performed in accordance with the following requirements: 1. All existing structures shall be demolished in a controlled manner to prevent damage to adjacent structures and the environment. 2. All debris shall be removed from the site and disposed of in a designated area. 3. All hazardous materials shall be identified and removed in accordance with applicable regulations. 4. The demolition shall be completed within the specified time frame. 5. The contractor shall be responsible for the safety of the demolition workers and the safety of the surrounding community. 6. The contractor shall be responsible for the quality of the demolition and shall be responsible for the completion of the demolition within the specified time frame. 7. The contractor shall be responsible for the maintenance of the demolition site and shall be responsible for the repair of any damage to the site. 8. The contractor shall be responsible for the removal of any debris from the site and shall be responsible for the cleanup of the demolition site. 9. The contractor shall be responsible for the payment of all taxes and fees associated with the demolition. 10. The contractor shall be responsible for the payment of all insurance premiums for the demolition. 11. The contractor shall be responsible for the payment of all other costs associated with the demolition.

Structural Design

Structural design shall be performed in accordance with the following requirements: 1. The structural design shall be based on the applicable building code and the applicable local ordinances. 2. The structural design shall be performed by a licensed professional engineer. 3. The structural design shall be completed within the specified time frame. 4. The contractor shall be responsible for the safety of the structural design and shall be responsible for the completion of the structural design within the specified time frame. 5. The contractor shall be responsible for the maintenance of the structural design and shall be responsible for the repair of any damage to the structural design. 6. The contractor shall be responsible for the removal of any debris from the structural design and shall be responsible for the cleanup of the structural design. 7. The contractor shall be responsible for the payment of all taxes and fees associated with the structural design. 8. The contractor shall be responsible for the payment of all insurance premiums for the structural design. 9. The contractor shall be responsible for the payment of all other costs associated with the structural design.

Concrete

Concrete shall be placed and finished in accordance with the following requirements: 1. The concrete shall be placed in a controlled manner to prevent damage to adjacent structures and the environment. 2. The concrete shall be finished in a smooth and even manner. 3. The concrete shall be cured in accordance with the applicable building code and the applicable local ordinances. 4. The concrete shall be completed within the specified time frame. 5. The contractor shall be responsible for the safety of the concrete workers and the safety of the surrounding community. 6. The contractor shall be responsible for the quality of the concrete and shall be responsible for the completion of the concrete within the specified time frame. 7. The contractor shall be responsible for the maintenance of the concrete and shall be responsible for the repair of any damage to the concrete. 8. The contractor shall be responsible for the removal of any debris from the concrete and shall be responsible for the cleanup of the concrete. 9. The contractor shall be responsible for the payment of all taxes and fees associated with the concrete. 10. The contractor shall be responsible for the payment of all insurance premiums for the concrete. 11. The contractor shall be responsible for the payment of all other costs associated with the concrete.

Rough Carpentry

Rough carpentry shall be performed in accordance with the following requirements: 1. The rough carpentry shall be based on the applicable building code and the applicable local ordinances. 2. The rough carpentry shall be performed by a licensed professional carpenter. 3. The rough carpentry shall be completed within the specified time frame. 4. The contractor shall be responsible for the safety of the rough carpentry workers and the safety of the surrounding community. 5. The contractor shall be responsible for the quality of the rough carpentry and shall be responsible for the completion of the rough carpentry within the specified time frame. 6. The contractor shall be responsible for the maintenance of the rough carpentry and shall be responsible for the repair of any damage to the rough carpentry. 7. The contractor shall be responsible for the removal of any debris from the rough carpentry and shall be responsible for the cleanup of the rough carpentry. 8. The contractor shall be responsible for the payment of all taxes and fees associated with the rough carpentry. 9. The contractor shall be responsible for the payment of all insurance premiums for the rough carpentry. 10. The contractor shall be responsible for the payment of all other costs associated with the rough carpentry.

Fire Safety

Fire safety shall be performed in accordance with the following requirements: 1. The fire safety shall be based on the applicable building code and the applicable local ordinances. 2. The fire safety shall be performed by a licensed professional fire safety engineer. 3. The fire safety shall be completed within the specified time frame. 4. The contractor shall be responsible for the safety of the fire safety workers and the safety of the surrounding community. 5. The contractor shall be responsible for the quality of the fire safety and shall be responsible for the completion of the fire safety within the specified time frame. 6. The contractor shall be responsible for the maintenance of the fire safety and shall be responsible for the repair of any damage to the fire safety. 7. The contractor shall be responsible for the removal of any debris from the fire safety and shall be responsible for the cleanup of the fire safety. 8. The contractor shall be responsible for the payment of all taxes and fees associated with the fire safety. 9. The contractor shall be responsible for the payment of all insurance premiums for the fire safety. 10. The contractor shall be responsible for the payment of all other costs associated with the fire safety.

Doors, Windows, & Skylights

Doors, windows, and skylights shall be installed in accordance with the following requirements: 1. The doors, windows, and skylights shall be installed in a controlled manner to prevent damage to adjacent structures and the environment. 2. The doors, windows, and skylights shall be installed in a smooth and even manner. 3. The doors, windows, and skylights shall be completed within the specified time frame. 4. The contractor shall be responsible for the safety of the doors, windows, and skylights workers and the safety of the surrounding community. 5. The contractor shall be responsible for the quality of the doors, windows, and skylights and shall be responsible for the completion of the doors, windows, and skylights within the specified time frame. 6. The contractor shall be responsible for the maintenance of the doors, windows, and skylights and shall be responsible for the repair of any damage to the doors, windows, and skylights. 7. The contractor shall be responsible for the removal of any debris from the doors, windows, and skylights and shall be responsible for the cleanup of the doors, windows, and skylights. 8. The contractor shall be responsible for the payment of all taxes and fees associated with the doors, windows, and skylights. 9. The contractor shall be responsible for the payment of all insurance premiums for the doors, windows, and skylights. 10. The contractor shall be responsible for the payment of all other costs associated with the doors, windows, and skylights.

Stairs & Handrails

Stairs and handrails shall be installed in accordance with the following requirements: 1. The stairs and handrails shall be installed in a controlled manner to prevent damage to adjacent structures and the environment. 2. The stairs and handrails shall be installed in a smooth and even manner. 3. The stairs and handrails shall be completed within the specified time frame. 4. The contractor shall be responsible for the safety of the stairs and handrails workers and the safety of the surrounding community. 5. The contractor shall be responsible for the quality of the stairs and handrails and shall be responsible for the completion of the stairs and handrails within the specified time frame. 6. The contractor shall be responsible for the maintenance of the stairs and handrails and shall be responsible for the repair of any damage to the stairs and handrails. 7. The contractor shall be responsible for the removal of any debris from the stairs and handrails and shall be responsible for the cleanup of the stairs and handrails. 8. The contractor shall be responsible for the payment of all taxes and fees associated with the stairs and handrails. 9. The contractor shall be responsible for the payment of all insurance premiums for the stairs and handrails. 10. The contractor shall be responsible for the payment of all other costs associated with the stairs and handrails.

Crawlspaces

Crawlspaces shall be installed in accordance with the following requirements: 1. The crawlspaces shall be installed in a controlled manner to prevent damage to adjacent structures and the environment. 2. The crawlspaces shall be installed in a smooth and even manner. 3. The crawlspaces shall be completed within the specified time frame. 4. The contractor shall be responsible for the safety of the crawlspace workers and the safety of the surrounding community. 5. The contractor shall be responsible for the quality of the crawlspaces and shall be responsible for the completion of the crawlspaces within the specified time frame. 6. The contractor shall be responsible for the maintenance of the crawlspaces and shall be responsible for the repair of any damage to the crawlspaces. 7. The contractor shall be responsible for the removal of any debris from the crawlspaces and shall be responsible for the cleanup of the crawlspaces. 8. The contractor shall be responsible for the payment of all taxes and fees associated with the crawlspaces. 9. The contractor shall be responsible for the payment of all insurance premiums for the crawlspaces. 10. The contractor shall be responsible for the payment of all other costs associated with the crawlspaces.

Insulation and Vapour Barrier

Insulation and vapour barrier shall be installed in accordance with the following requirements: 1. The insulation and vapour barrier shall be installed in a controlled manner to prevent damage to adjacent structures and the environment. 2. The insulation and vapour barrier shall be installed in a smooth and even manner. 3. The insulation and vapour barrier shall be completed within the specified time frame. 4. The contractor shall be responsible for the safety of the insulation and vapour barrier workers and the safety of the surrounding community. 5. The contractor shall be responsible for the quality of the insulation and vapour barrier and shall be responsible for the completion of the insulation and vapour barrier within the specified time frame. 6. The contractor shall be responsible for the maintenance of the insulation and vapour barrier and shall be responsible for the repair of any damage to the insulation and vapour barrier. 7. The contractor shall be responsible for the removal of any debris from the insulation and vapour barrier and shall be responsible for the cleanup of the insulation and vapour barrier. 8. The contractor shall be responsible for the payment of all taxes and fees associated with the insulation and vapour barrier. 9. The contractor shall be responsible for the payment of all insurance premiums for the insulation and vapour barrier. 10. The contractor shall be responsible for the payment of all other costs associated with the insulation and vapour barrier.

Mechanical & Ventilation

Mechanical and ventilation shall be installed in accordance with the following requirements: 1. The mechanical and ventilation shall be installed in a controlled manner to prevent damage to adjacent structures and the environment. 2. The mechanical and ventilation shall be installed in a smooth and even manner. 3. The mechanical and ventilation shall be completed within the specified time frame. 4. The contractor shall be responsible for the safety of the mechanical and ventilation workers and the safety of the surrounding community. 5. The contractor shall be responsible for the quality of the mechanical and ventilation and shall be responsible for the completion of the mechanical and ventilation within the specified time frame. 6. The contractor shall be responsible for the maintenance of the mechanical and ventilation and shall be responsible for the repair of any damage to the mechanical and ventilation. 7. The contractor shall be responsible for the removal of any debris from the mechanical and ventilation and shall be responsible for the cleanup of the mechanical and ventilation. 8. The contractor shall be responsible for the payment of all taxes and fees associated with the mechanical and ventilation. 9. The contractor shall be responsible for the payment of all insurance premiums for the mechanical and ventilation. 10. The contractor shall be responsible for the payment of all other costs associated with the mechanical and ventilation.

Electrical Panel

Electrical panel shall be installed in accordance with the following requirements: 1. The electrical panel shall be installed in a controlled manner to prevent damage to adjacent structures and the environment. 2. The electrical panel shall be installed in a smooth and even manner. 3. The electrical panel shall be completed within the specified time frame. 4. The contractor shall be responsible for the safety of the electrical panel workers and the safety of the surrounding community. 5. The contractor shall be responsible for the quality of the electrical panel and shall be responsible for the completion of the electrical panel within the specified time frame. 6. The contractor shall be responsible for the maintenance of the electrical panel and shall be responsible for the repair of any damage to the electrical panel. 7. The contractor shall be responsible for the removal of any debris from the electrical panel and shall be responsible for the cleanup of the electrical panel. 8. The contractor shall be responsible for the payment of all taxes and fees associated with the electrical panel. 9. The contractor shall be responsible for the payment of all insurance premiums for the electrical panel. 10. The contractor shall be responsible for the payment of all other costs associated with the electrical panel.

Secondary Suites

Secondary suites shall be installed in accordance with the following requirements: 1. The secondary suites shall be installed in a controlled manner to prevent damage to adjacent structures and the environment. 2. The secondary suites shall be installed in a smooth and even manner. 3. The secondary suites shall be completed within the specified time frame. 4. The contractor shall be responsible for the safety of the secondary suites workers and the safety of the surrounding community. 5. The contractor shall be responsible for the quality of the secondary suites and shall be responsible for the completion of the secondary suites within the specified time frame. 6. The contractor shall be responsible for the maintenance of the secondary suites and shall be responsible for the repair of any damage to the secondary suites. 7. The contractor shall be responsible for the removal of any debris from the secondary suites and shall be responsible for the cleanup of the secondary suites. 8. The contractor shall be responsible for the payment of all taxes and fees associated with the secondary suites. 9. The contractor shall be responsible for the payment of all insurance premiums for the secondary suites. 10. The contractor shall be responsible for the payment of all other costs associated with the secondary suites.

SCHEDULE 'A'
DEVELOPMENT PERMIT
NO. DP0000042

CORPORATE OFFICER



EFFECTIVE R-VALUE FOR EXTERNAL WALLS ABOVE GRADE	
Exterior Air Film	0.03
8" Solid Concrete	0.05
1 1/2" Rigid Insulation	0.15
Interior Air Film	0.17
Building Paper	0.11
2x6 Stud @ 16" O.C.	2.36
R-20 Batt Insulation	0.08
6 MIL Poly V.B.	0.01
1 1/2" Gypsum Board	0.05
Interior Air Film	0.17
Current Film Siding	0.02
Wood Lap Siding	0.14
Shingle Siding	0.08
Values from Table A-4.36.2, 4.41D	

EFFECTIVE R-VALUE FOR FOUNDATION WALLS	
Damp proofing	0
8" Solid Concrete	0.11
1 1/2" Rigid Insulation	0.15
Values from Table A-4.36.2, 4.41D	

EFFECTIVE R-VALUE FOR UNHEATED PL. CORR ABOVE Frost Line	
Interior Air Film	0.11
2" Portland Cement Concrete	0.11
2" EPS Insulation	0.03
Exterior Air Film	0.03
Values from Table A-4.36.2, 4.41D	

NOTES CALCULATIONS	
Building and site data	
Foundation and wall data	
Roof and ceiling data	
Window and door data	
Interior air film	
Exterior air film	
Values from Table A-4.36.2, 4.41D	

Client:
10 Phillion Pl.
Esquimalt, BC
Dave Brandon



Development Permit	Notes & RSI
Notes & RSI	
DATE: 12.1.17	
DESIGNED BY: A6	
CHECKED BY: JC	
DATE: May 30, 2016	
DESIGNED BY: TJC	
CHECKED BY: JC	

CORPORATE OFFICER



RECEIVED

JUL 06 2017

**CORP. OF TOWNSHIP
OF ESQUIMALT
DEVELOPMENT SERVICES**



STUDIO
ONE
CREATIVE

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PERSONAL RESIDENCE :: 10 PHILLION PLACE :: SKL01 :: Waterway Frontage :: landscape layout ::



STUDIO ONE
CREATIVE

4539 VIEWMONT AVENUE
VICTORIA, BC, V8Z 5L3

17 August, 2017

Alex Tang, Planning Technician
Development Services Division
1229 Esquimalt Road
Victoria, BC V9A 3P1
Tel: 250-414-7132

re: 10 PHILLION PL development landscape bonding

Dear Planner,

As requested, please find enclosed landscape estimate documentation for the Proposed Landscape changes for the Township for Mr Dave Brandon's native planting shoreline-landscape rehabilitation project. This cost estimate is based on the Landscape Drawing SKL.01; 05.JULY.2017.

The landscape estimate totals \$5,686.00 (excluding GST) and includes supply and installation of the following components:

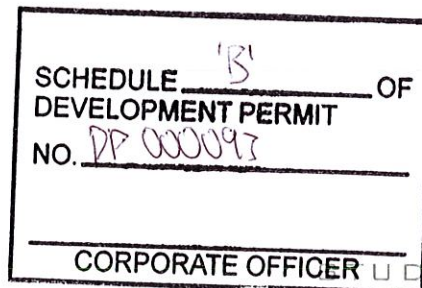
1. Basic Excavation /Land Prep
2. Plant material (Trees)
3. Plant material (Shrubs & groundcover)
4. Growing medium
5. Mulch

I trust this letter adequately conveys the information for landscape bonding. If you have any questions or concerns, please contact me at 250-881-0706

Best regards,

Duane Ensing

Duane Ensing, BFA
Studio One Creative



STUDIO ONE CREATIVE
4539 VIEWMONT AVENUE, VICTORIA, BC, V8Z 5L3
duane@landscapesolutions.ca

1 Order of Magnitude Cost Estimate (supply and install)

Estimate – 17 AUGUST 2017

SECTION	DESCRIPTION	QUANTITY	UNIT OF MEASURE	UNIT PRICE	COST
A	<u>Site Works</u>				
.1)	Site grading [excavation]	1	L.S.	\$400.00	\$400
	Site Works total:				\$400
B	<u>Softscape</u>				
.1)	Growing medium (shrub beds)	46	sq.m.	\$30.00	\$1,380
.2)	Garden Mulch	46	sq.m.	\$11.00	\$506
.3)	Trees	4	ea.	\$350.00	\$1,400
.4)	Plantings - deciduous & evergreen shrubs	40	sq.m.	\$50.00	\$2,000
	Softscape total:				\$5,286
	PROJECT TOTAL:				\$5,686
PROJECT SUMMARY					
	A. SITE WORKS				\$400
	B. SOFTSCAPE				\$5,286
	CONSTRUCTION PRICE				\$5,686

SCHEDULE <u>B</u> OF DEVELOPMENT PERMIT NO. <u>PP000093</u> _____ CORPORATE OFFICER

