

CORPORATION OF THE TOWNSHIP OF ESQUIMALT

DEVELOPMENT PERMIT

NO. DP000093

Owner: Brandon, David Nelson
Brandon, Barbara Ann
10 Phillion Place

Lands: PID 002-540-169, Lot C, Section 2, Esquimalt District,
Plan 27030

Address: 10 Phillion Place, Esquimalt, B.C.

Conditions:

1. This Development Permit is issued subject to compliance with all of the bylaws of the Municipality applicable thereto, except as specifically varied or supplemented by this permit for the purpose of authorizing the construction of a new Accessory Building within 30 metres of the Gorge Waterway, governed by Development Permit Area No. 4 – Gorge Waterway.
2. Approval of this Development Permit is issued in accordance with the architectural drawings prepared by Villamar Design, stamped "Received July 14, 2017", the landscape plan prepared by Studio One Creative, stamped "Received July 6, 2017", and sited as detailed on the survey plan prepared by JE Anderson & Associates, stamped "Received June 27, 2017", attached hereto as Schedule 'A'.
3. This Development Permit is issued in accordance with the landscaping estimate provided by Studio One Creative, stamped "Received August 17, 2017", attached hereto as Schedule 'B'. Security, in an amount representing 120% of the estimate (120% of \$5686.00= \$6823.20) must be deposited with the Township of Esquimalt before this permit can be issued.
4. The lands shall be developed in accordance with the terms, conditions and provisions of this Permit.
5. The terms, conditions and covenants contained herein shall enure to the benefit of and be binding upon the Owners, their executors, heirs or administrators, successors and assigns as the case may be or their successors to title in the lands.

6. This Development Permit is not a Building Permit.
7. This Permit lapses two (2) years after the date it is issued if the holder of the Permit does not substantially start any construction with respect to which the Permit was issued.
8. For the purposes of this Development Permit, the holder of the Permit shall be the owner(s) of the lands.

APPROVED BY MUNICIPAL COUNCIL RESOLUTION ON THE ____
DAY OF _____, 2017.

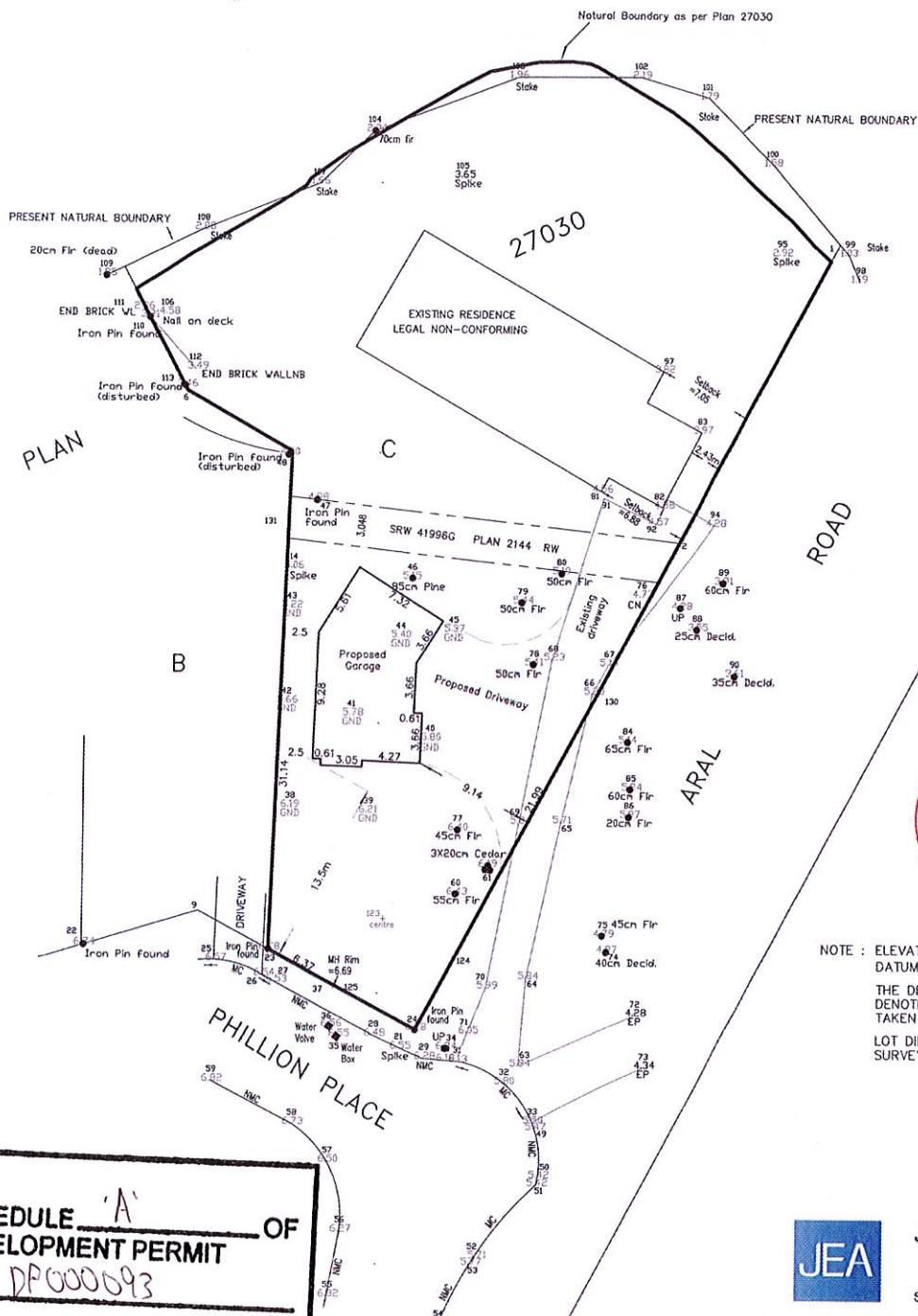
ISSUED BY THE DIRECTOR OF DEVELOPMENT SERVICES THIS ____
DAY OF _____, 2017.

Director of Development Services

Corporate Officer
Corporation of the Township
of Esquimalt



VICTORIA ARM



SCHEDULE 'A'
OF
DEVELOPMENT PERMIT
NO. DP 0000093
CORPORATE OFFICER

Scale 1:250
0 2.5 5 10 15 20 25



**J E ANDERSON &
ASSOCIATES**

SURVEYORS - ENGINEERS

VICTORIA NANAIMO PARKSVILLE
PHONE: 250-727-2214 FAX: 250-727-3395

**Sketch Plan
of Proposed Garage**
10 PHILLION PLACE

Mr. David Brandon

DRAWN BY : DBL/PJW PROJECT SURVEYOR : P.J. Wittstock, BCLS
SCALE : 1 : 250 DATE : June 27, 2017.

LOT C, SECTION 2, ESQUIMALT
DISTRICT, PLAN 27030

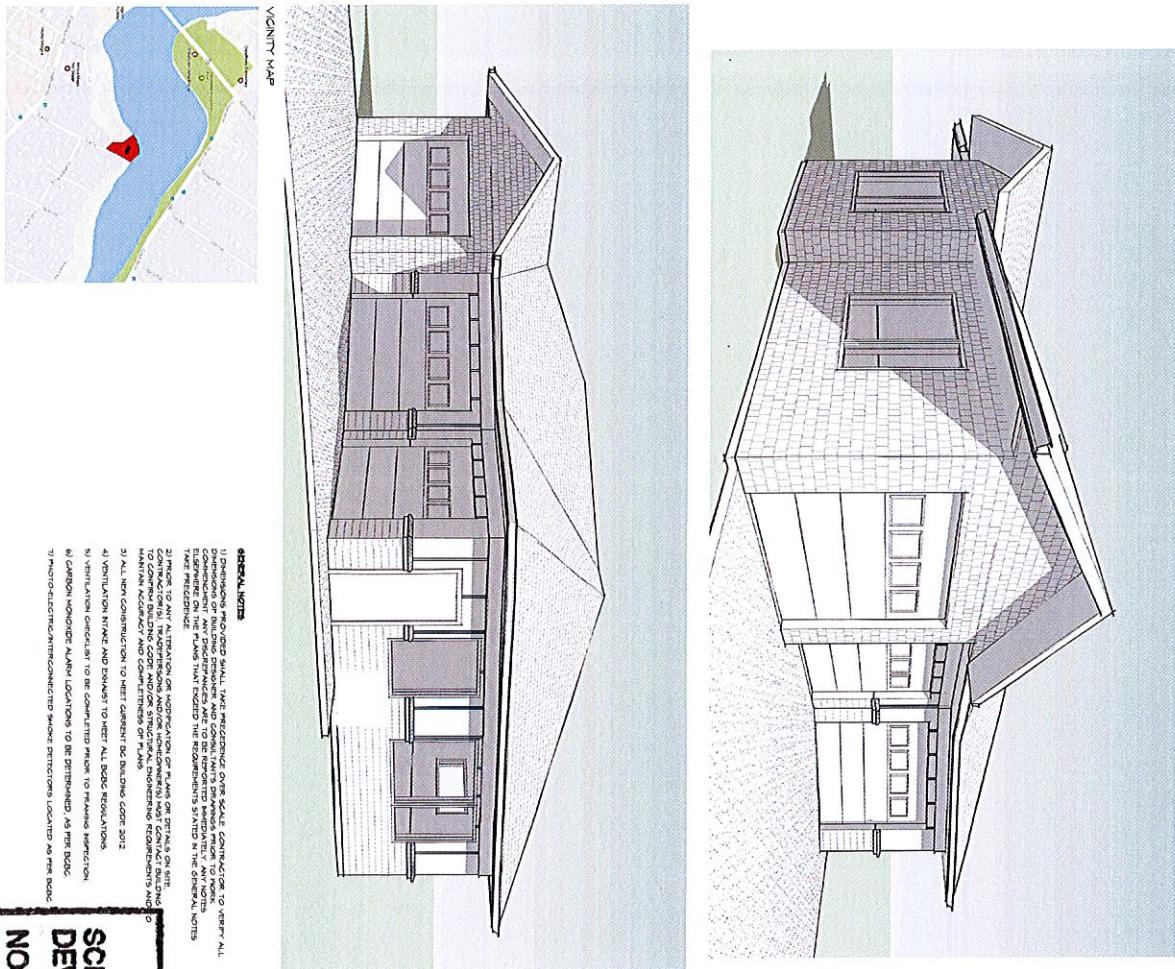
OUR FILE : 27275/30601 REVISION :
Z:\Projects\30601...\30601.dwg (Sketch)



NOTE : ELEVATIONS ARE REFERENCED TO GEODETIC DATUM

THE DECIMAL POINT OF THE ELEVATION DENOTES THE LOCATION OF THE SHOT TAKEN UNLESS NOTED OTHERWISE

LOT DIMENSIONS ARE FROM CURRENT SURVEY AND EXISTING RECORDS



**SCHEDULE A
OF
DEVELOPMENT PERMIT
NO. DR 000003**

GENERAL NOTES
1) PREPARATIONS PROVIDED SHALL TAKE PREFERENCE OVER SCALE CONTRACTOR TO VERIFY AND
ACCURATELY DETERMINE THE EXACT LOCATION AND SIZE OF THE EXISTING TRENCHES AND
TRENCHES ON THE PLANS THAT EXISTED THE REQUIREMENTS STATED IN THE ORIGINAL NOTES
THEREFORE.

| RECEIVED | | FLOOR AREAS | | TRAFFIC | |
|---------------------------|-------|-------------|---------|---------|---------------|
| | | Sq. M | Sq. FT. | Sq. M | Sq. FT. |
| WATER/PISTON | 0 | 0 | 0 | 0 | 0 |
| WATER/PISTON (REAR) | 4.15 | 54.07 | 26.15 | 57.07 | PISTON/PISTON |
| PISTON/PISTON | 1.15 | 14.07 | 2.16 | 37.07 | PISTON/PISTON |
| SOFT/LOT (PEAK) | 1.15 | 14.07 | 2.16 | 37.07 | PISTON/PISTON |
| SOFT/LOT (TAIL) | 2.15 | 28.07 | 3.46 | 62.07 | PISTON/PISTON |
| BUILDING SEPARATION | 2.15 | 28.07 | 15.10 | 42.07 | PISTON/PISTON |
| TOTAL | | | | | |
| Lot Coverage (100% Allow) | 11.46 | | | | |
| Non-Asphalt | 0.11 | | | | |

Dave Brandon

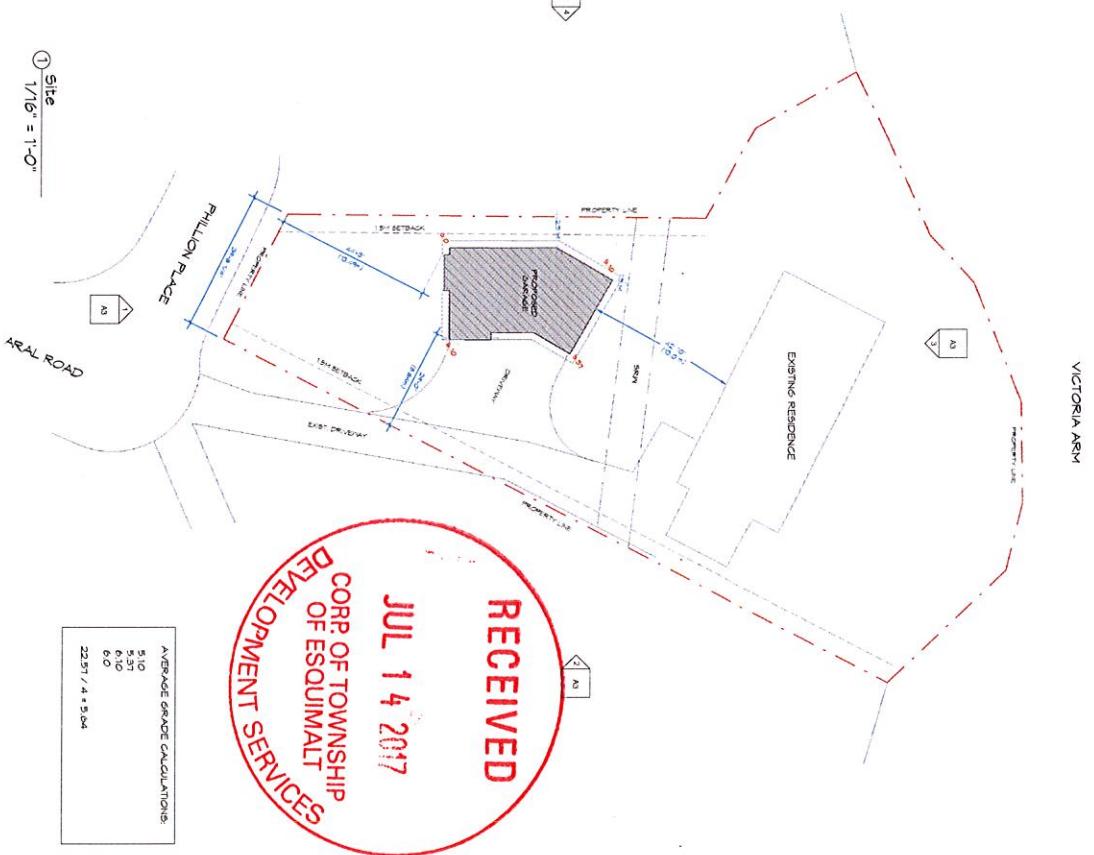
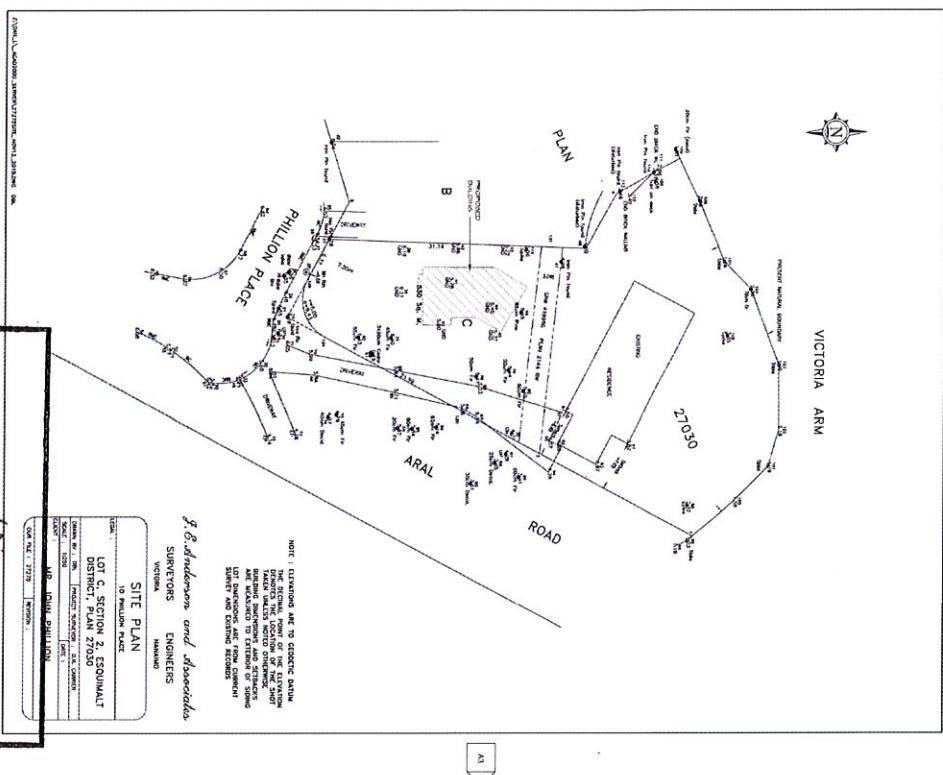
Esquimalt, BC

6825A
VEYANESS ROAD
VICTORIA, BC
V8M 2A7

778-351-4088

Villamar
DESIGN

SCAL.



RECEIVED

JUL 14 2017

Client:
Dave Brandon

10 Phillion Pl.
Esquimalt, BC

6825A
VEYANESS ROAD
VICTORIA, BC
V8M 2A7

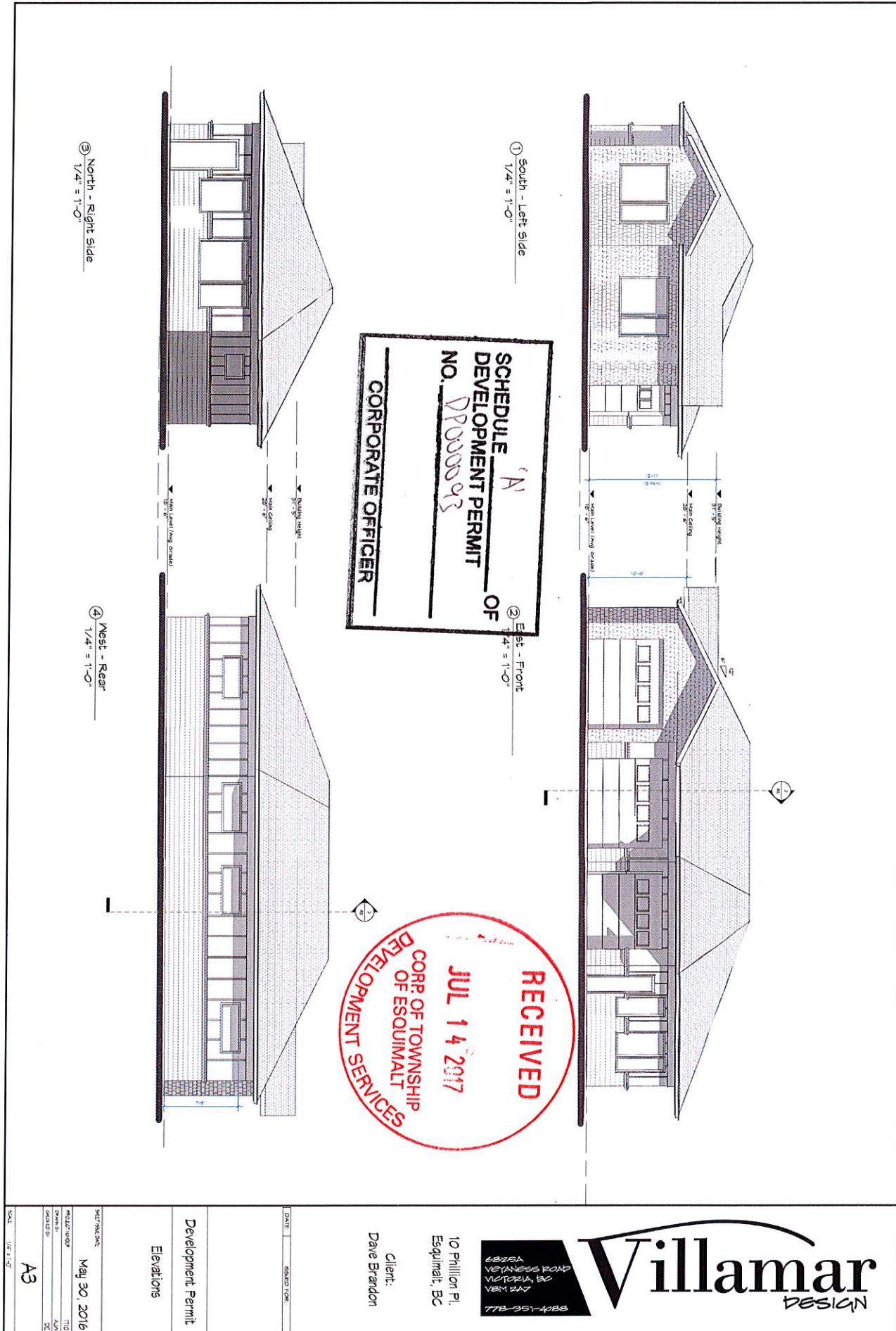
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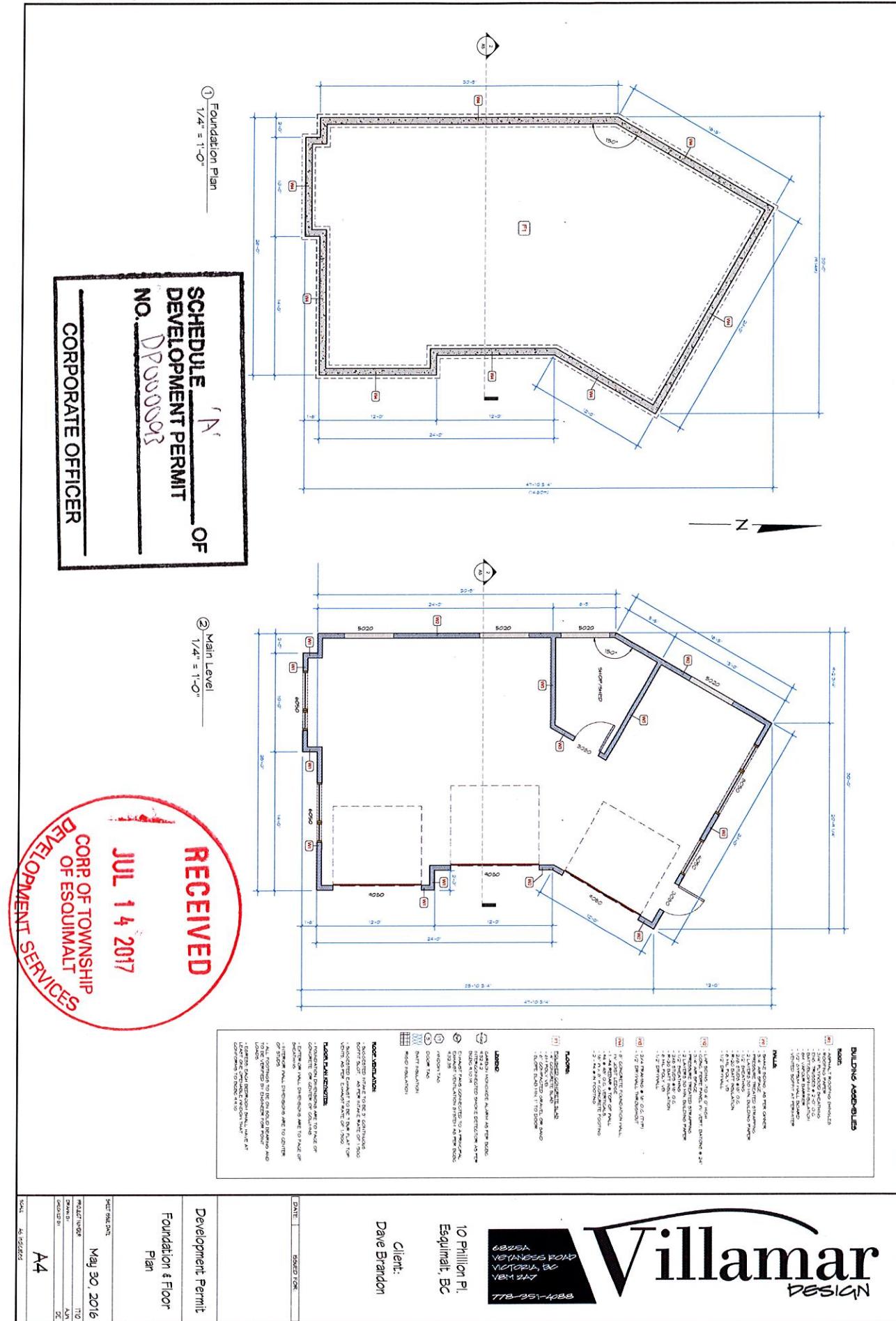
Villamar
DESIGN

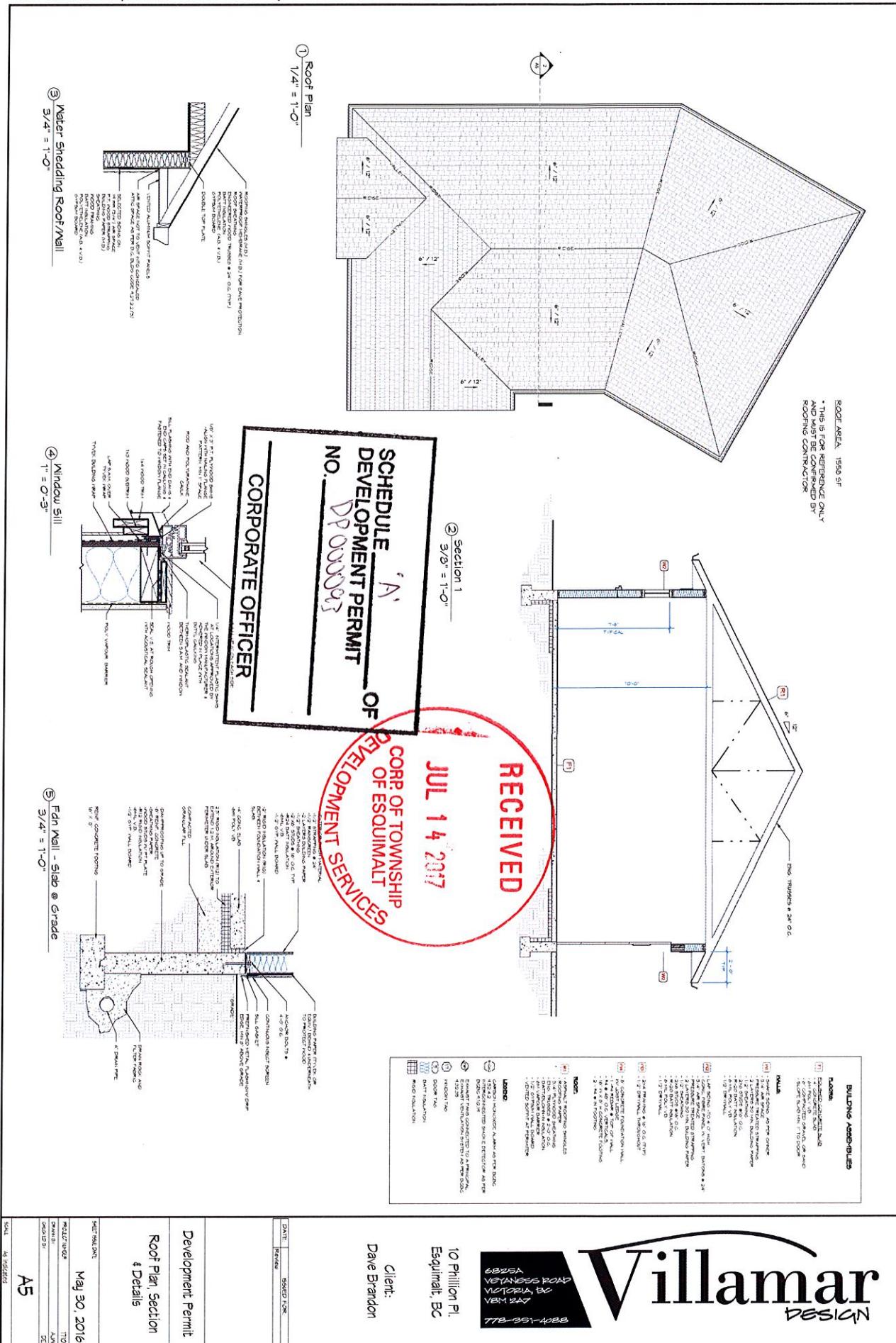
CORPORATE OFFICES

**SCHEDULE A
DEVELOPMENT PERMIT
NO. DP 0000093**

CORPORATE OFFICES







SCHEDULE A OF
DEVELOPMENT PERMIT

NO. DP 000093

CORPORATE OFFICER

A black and white icon consisting of a circle with a diagonal line through it, pointing upwards and to the right. The word "NORTH" is written vertically along the right edge of the circle.

RECEIVED

CORP. OF TOWNSHIP

A circular blue stamp with the text "CORP OF TOWNSHIP OF ESQUIMALT" at the top and "DEVELOPMENT SERVICES" at the bottom. The date "1971" is in the center. The stamp is slightly faded.

SKL.01
05.JULY.2017
1:250
LATEST REVISION:

COPYRIGHT RESERVED. THESE PLANS AND DESIGNS ARE AT ALL TIMES THE PROPERTY OF THE DESIGNER TO BE USED FOR THE PROJECT SHOWN. WRITTEN CONSENT IS REQUIRED FROM THE DESIGNER BEFORE ANY REPRODUCTION

PHONE: 250-851-1000

:: PERSONAL RESIDENCE :: 10 PHILLION PLACE :: SKL.01 :: Waterway Frontage :: landscape layout ::



STUDIO ONE
CREATIVE

4539 VIEWMONT AVENUE
VICTORIA, BC, V8Z 5L3

17 August, 2017

Alex Tang, Planning Technician
Development Services Division
1229 Esquimalt Road
Victoria, BC V9A 3P1
Tel: 250-414-7132

re: 10 PHILLION PL development landscape bonding

Dear Planner,

As requested, please find enclosed landscape estimate documentation for the Proposed Landscape changes for the Township for Mr Dave Brandon's native planting shoreline-landscape rehabilitation project. This cost estimate is based on the Landscape Drawing SKL.01; 05.JULY.2017.

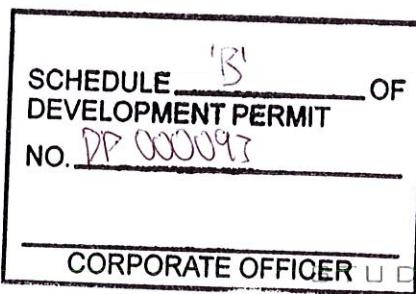
The landscape estimate totals \$5,686.00 (excluding GST) and includes supply and installation of the following components:

1. Basic Excavation /Land Prep
2. Plant material (Trees)
3. Plant material (Shrubs & groundcover)
4. Growing medium
5. Mulch

I trust this letter adequately conveys the information for landscape bonding. If you have any questions or concerns, please contact me at 250-881-0706

Best regards,

Duane Ensing, BFA
Studio One Creative



4539 VIEWMONT AVENUE, VICTORIA, BC, V8Z 5L3

duane@landscapesolutions.ca

1 Order of Magnitude Cost Estimate (supply and install)

Estimate – 17 AUGUST 2017

| SECTION | DESCRIPTION | QUANTITY | UNIT OF MEASURE | UNIT PRICE | COST |
|---------------------------|--|----------|-----------------|--------------------------|----------------|
| A | Site Works | | | | |
| .1) | Site grading [excavation] | 1 | L.S. | \$400.00 | \$400 |
| | | | | Site Works total: | \$400 |
| B | Softscape | | | | |
| .1) | Growing medium (shrub beds) | 46 | sq.m. | \$30.00 | \$1,380 |
| .2) | Garden Mulch | 46 | sq.m. | \$11.00 | \$506 |
| .3) | Trees | 4 | ea. | \$350.00 | \$1,400 |
| .4) | Plantings - deciduous & evergreen shrubs | 40 | sq.m. | \$50.00 | \$2,000 |
| | | | | Softscape total: | \$5,286 |
| | | | | PROJECT TOTAL: | \$5,686 |
| PROJECT SUMMARY | | | | | |
| A. SITE WORKS | | | | | \$400 |
| B. SOFTSCAPE | | | | | \$5,286 |
| CONSTRUCTION PRICE | | | | | \$5,686 |

| | |
|----------------------|--------------------|
| SCHEDULE <u>B</u> OF | DEVELOPMENT PERMIT |
| NO. <u>DP 000093</u> | |
| CORPORATE OFFICER | |

