

CORPORATION OF THE TOWNSHIP OF ESQUIMALT

DEVELOPMENT PERMIT

NO. DP000065

Owner: Michael Shore

Lands: PID 003-329-127, Lot A, Section 11, Esquimalt District, Plan 22176

Address: 925 Esquimalt Road, Esquimalt, B.C.

Conditions:

1. This Development Permit is issued subject to compliance with all of the bylaws of the Municipality applicable thereto, except as specifically varied or supplemented by this permit, for the purpose of authorizing the form and character of a new hip style roof on an existing building within Development Permit Area No. 1 – Multi-Unit Residential.
2. Approval of this Development Permit is issued in accordance with the architectural drawings prepared by Keay Cecco Architecture Ltd., stamped “Received May 3, 2016”, attached hereto as Schedule ‘A’.
3. The lands shall be developed in accordance with the terms, conditions and provisions of this Permit.
4. The terms, conditions and covenants contained herein shall enure to the benefit of and be binding upon the Owners, their executors, heirs or administrators, successors and assigns as the case may be or their successors to title in the lands.
5. This Development Permit is not a Building Permit.
6. This Permit lapses two (2) years after the date it is issued if the holder of the Permit does not substantially start any construction with respect to which the Permit was issued.
7. For the purposes of this Development Permit, the holder of the Permit shall be the owner(s) of the lands.

APPROVED BY MUNICIPAL COUNCIL RESOLUTION ON THE _____ DAY OF _____, 2016

ISSUED BY THE DIRECTOR OF DEVELOPMENT SERVICES ON THE _____ DAY OF _____, 2016.

Director of Development Services

Corporate Officer
Corporation of the Township
of Esquimalt

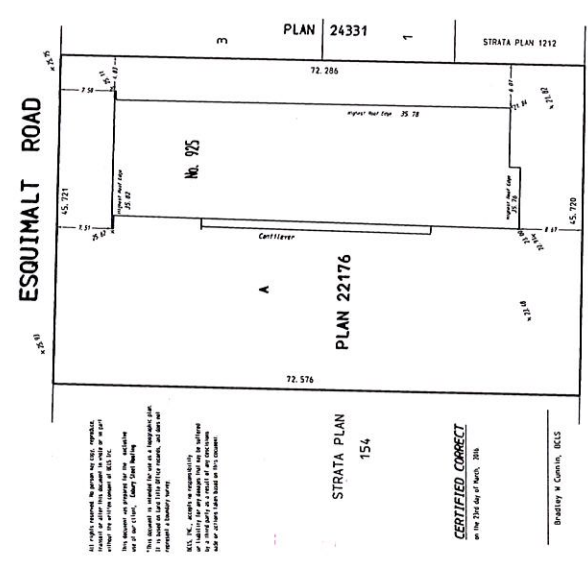
B. C. LAND SURVEYOR'S SITE PLAN OF:
**LOT A, SECTION 11, ESQUIMALT DISTRICT,
PLAN 22176**

FILE # L1300 - 32
MOCK UP DATE
Prepared by: David Lamb, Land Surveyor
101 - 260 Douglas Street
VICTORIA, BC V8R 1P5
PROFESSIONAL REG. NO. 12692
Professional Seal



LEGEND
Shaded areas are indicated on plan of Esquimalt District Survey Number 22176.
Shaded areas are indicated on plan of Esquimalt District Survey Number 22176.
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MUNICIPALITY: Esquimalt
PID No.: 893-375-17
SITE AREA: 3111.9 sq. m (745.0 sq. ft.)
ZONING: RM-4
REMARKS: 36445 s.f.



Boundary & Control, BCES

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This document was prepared by the author in accordance with the Professional Standards and Rules of Practice of the Land Surveyors of British Columbia.
This document is intended for use as a technical drawing and should not be used for any other purpose without the express written consent of the author.
N.B. The author is not responsible for any errors or omissions that may appear in this document.

CERTIFIED CORRECT
on the 25th day of March, 2016.

1 SURVEY Scale: 1:300



3 CONTEXT PHOTOS Scale: 1/4" = 1'-0"

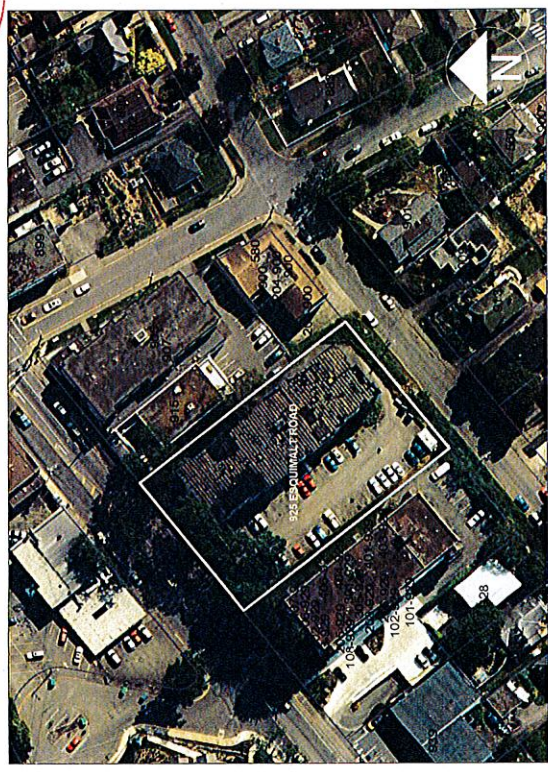
ZONE DATA SHEET

CIVIC ADDRESS: 925 ESQUIMALT ROAD
LEGAL DESCRIPTION: LOT A, SECTION 11, ESQUIMALT DISTRICT, PLAN 22176
ARCHITECT: KEAY CECCO ARCHITECTURE LTD.
ADDRESS: 1124 FORT STREET, VICTORIA, BC (250) 382-3823

FLOOR AREA RATIO: UNCHANGED (ALLOWED 1.0)
LOT COVER: 7.5% UNCHANGED (ALLOWED 7.5%)
SETBACKS: UNCHANGED (ALLOWED 3.0M)
FRONT: 7.5M (ALLOWED 7.5M)
REAR: 5.67M (ALLOWED 7.5M)
SIDE (WEST): 22.1M (ALLOWED 6.0M)

PARKING: UNCHANGED

RECEIVED
MAY 03 2015
**CORP. OF TOWNSHIP
OF ESQUIMALT
DEVELOPMENT SERVICES**



2 CONTEXT SITE PLAN Scale: NTS

KEY ARCHITECTURE LTD.
2500 BAYVIEW AVE. SUITE 200
SCARBORA, ONTARIO M1S 5V2
TEL: (416) 291-0909
WWW.KEYARCHITECTURE.COM

NO.	REVISION	DATE	BY
1	DEVELOPMENT PERMIT SUBMISSION		

COMMENTS:

925 ESQUIMALT ROAD
VICTORIA, BC

PROJECT FILE

SURVEY & CONTEXT PHOTOS

SCALE: AS NOTED
DATE PLOTTED: APRIL 28, 2016
DRAWN BY: JAP

JAN. NO. 1124 - 1510
A 1.0

THIS IS SCHEDULE 'A' OF
DEVELOPMENT PERMIT
NO. D000065

CORPORATE OFFICER

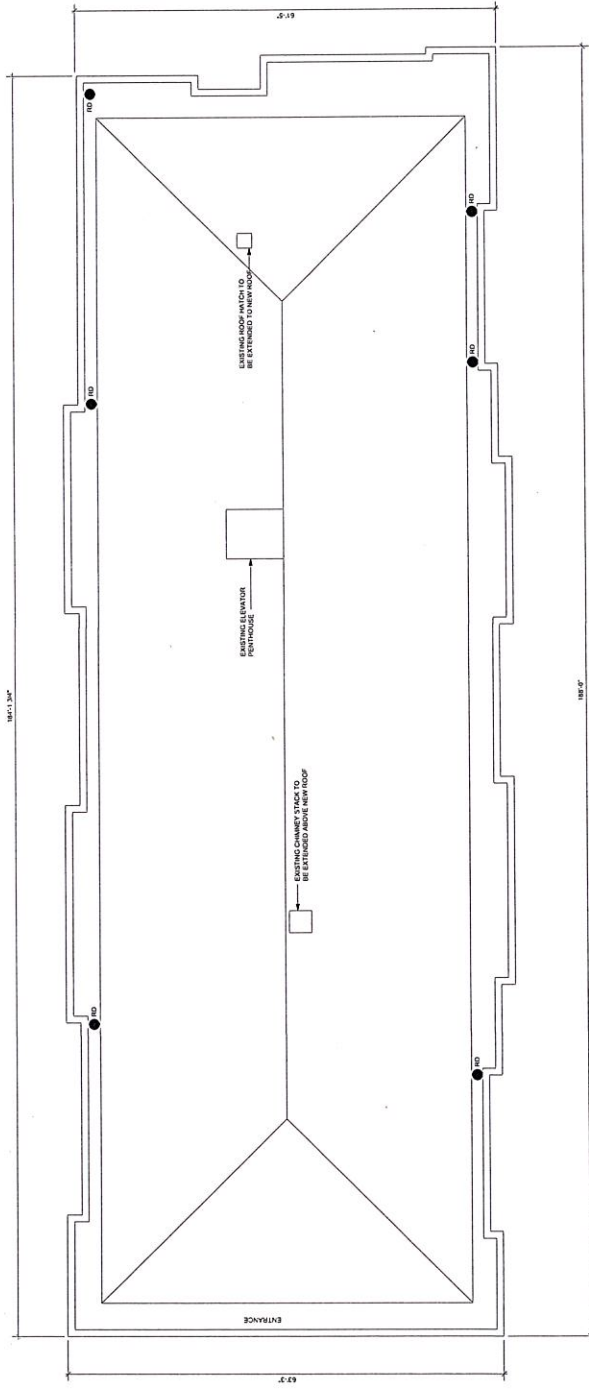
KEYAY CECOO ARCHITECTURE LTD.
1171 HASTINGS STREET WEST, SUITE 200, VICTORIA, BC V8M 4B4
TEL: 250-383-3000 FAX: 250-383-3001
WWW.KEYAYARCHITECTURE.COM

NO.	REVISION	DATE	BY
1.	DEVELOPMENT PERMIT SUBMISSION (MAY 2015)		

RECEIVED
MAY 03 2015
CORE OF TOWNSHIP OF ESQUIMALT DEVELOPMENT SERVICES

925 ESQUIMALT ROAD
VICTORIA, BC

SHEET TITLE	
ROOF PLAN	
DATE	DATE
APPROVED	TYPE - 1010
APRIL 28, 2015	
NAME	NO.
NP	A 2.0



1 ROOF PLAN
Scale: 1/8" = 1'-0"

SCHEDULE 'A' OF
DEVELOPMENT PERMIT
NO. DP000065
CORPORATE OFFICER

KEY CECCO
ARCHITECTURE LTD.

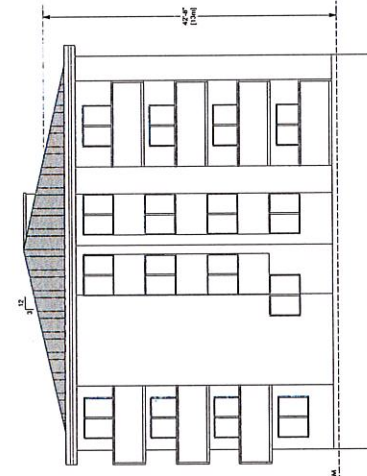
1128 FAN STREET VICTORIA, BC CANADA V8W 1R6
PHONE: (250) 383-7878 FAX: (250) 383-7879
WWW.KEYCECCOARCHITECTURE.COM

NO.	REVISIONS	DATE	BY	COMMENTS
1.	DEVELOPMENT PERMIT SUBMISSION (REV. 1)			

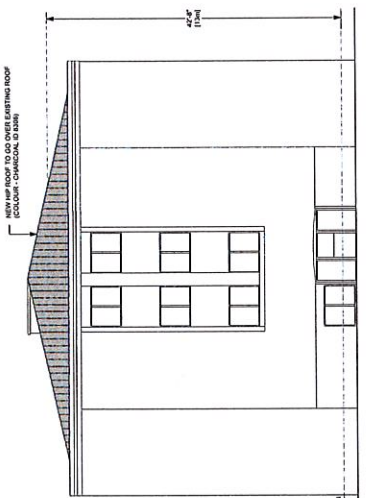
925 ESQUIMALT ROAD
VICTORIA, BC

SHEET TITLE
NORTH & SOUTH
ELEVATIONS

SCALE	AS NOTED	DATE	11/24/2010
DATE FOR	APRIL 29, 2016	PROJECT	A 3.0
DESIGNED BY	NP	DATE	



2 SOUTH ELEVATION
Scale: 1/8" = 1'-0"



1 NORTH ELEVATION
Scale: 1/8" = 1'-0"

SCHEDULE 'A' OF
DEVELOPMENT PERMIT
NO. D000065
CORPORATE OFFICER _____

KEAY CECCO
ARCHITECTURE LTD.

1177 West 151st Street, V1V 1C5 Victoria BC
Phone 250.339.2002 Fax 250.332.0853
www.keaycecco.com

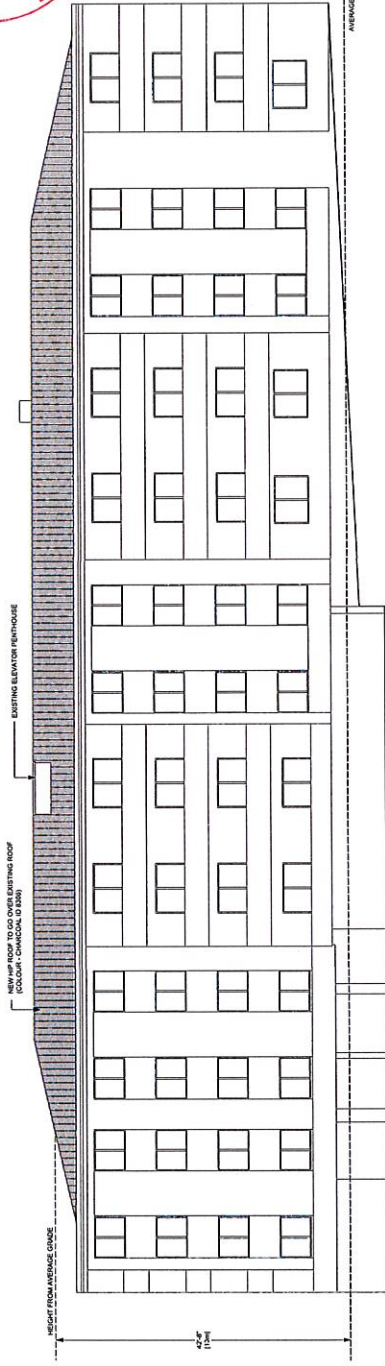
NO.	REVISIONS	DATE	BY
1	DEVELOPMENT PERMIT SUBMISSION PERI		

925 ESQUIMALT ROAD
VICTORIA, BC

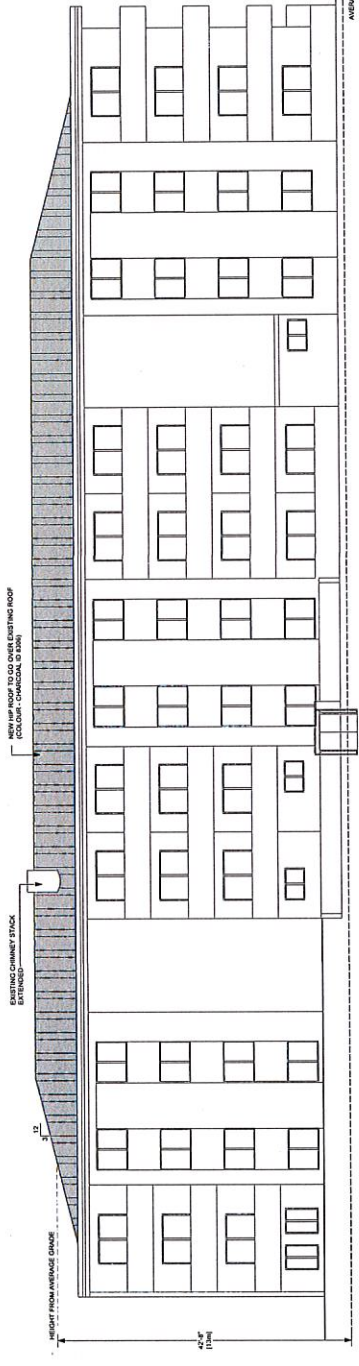
SHEET TITLE

EAST & WEST
ELEVATIONS

SCALE	AS NOTED	JOB NO.	1124 - 1010
DATE PLOTTED	APRIL 29, 2016	DRAWN BY	
CHECKED BY		NO.	A 3.1
DATE			



1 EAST ELEVATION
Scale: 1/8" = 1'-0"



2 WEST ELEVATION
Scale: 1/8" = 1'-0"

SCHEDULE 'A' OF
DEVELOPMENT PERMIT

NO. DP000065

CORPORATE OFFICER