

Esquimalt Village Cohousing



Council Meeting

The Site

The site was chosen for its location close to shopping, recreation parks and the waterfront.

It is also cited in the OCP for six storey residential use at 2.0 FSR.



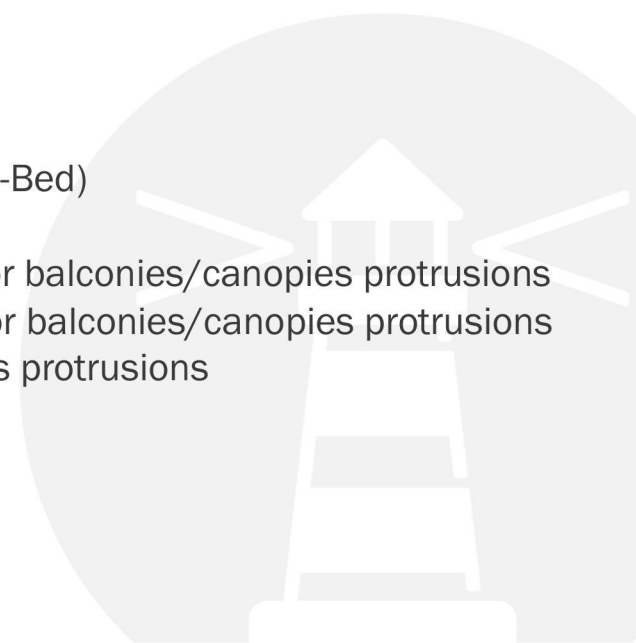
The Stats

	Current	Proposed
Lot Size:	15797 sf	14343 sf (NET)
Zoning:	RD-1	CD
OCP Land Use Designation:	Low Density Res.	Medium Density Res
Land Use:	Two family Residential	Multiple Family Res. (6-storey Apartment, 2.0 FSR)

Surrounding Land Uses:	North:	Multiple Family Res. (3-storey Apartment)
	South:	Shopping Centre
	East:	Multiple Family Res. (4-storey Apartment)
	West:	Multiple Family Res. (4-storey Apartment)

Project Statistics

• FSR:	2.0
• Height:	6 Storeys
• Units	34 Units (seven 1-Bed, twenty-two 2-Bed, five x 3-Bed)
• Setbacks:	
• Esquimalt Rd:	3.5m (+ 2.5m RWD = 6m) with 1.1m allowance for balconies/canopies protrusions
• Fernhill Rd.:	3.8m (+ 1m RWD = 4.8m) with 1.2m allowance for balconies/canopies protrusions
• North:	3.8m with 0.4m allowance for balconies/canopies protrusions
• East:	3.3m
• Site Coverage:	60%
• Usable open Space:	7.8% of site (with 1.4% being covered)



Esquimalt Village Cohousing



Esquimalt Village Cohousing

Esquimalt Village Cohousing is a new neighbourhood rooted in connection, collaboration, and belonging – designed by the people who will call it home.

This is a self financed, not-for-profit, multigenerational development, intended to support residents socially, financially and sustainably.

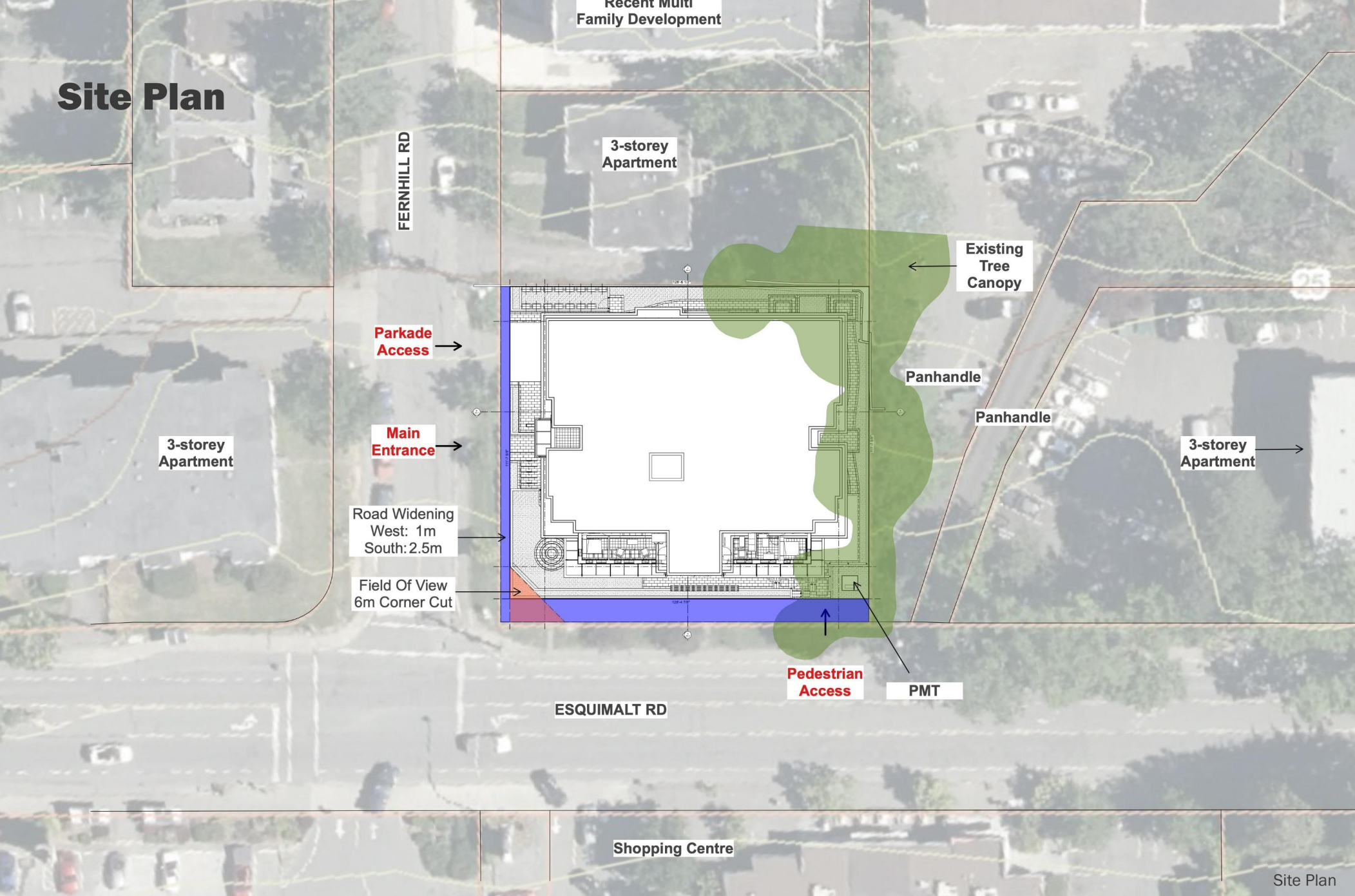


Cohousing Group (Photo: Rick Robinson)



Workshop Photos

Site Plan



Little Mountain Cohousing

Completed 2021 in Vancouver, BC



Exterior View



Exterior Common Spaces



Interior Common Spaces

The Project

This is a 6-story building on parkade with 34 residential units.

The ground level facilities are the cornerstone of the cohousing community and the connection to Esquimalt's greater community. The chosen massing allows southern exposure and views from most of the unit balconies. The design creates multiple pockets of outdoor space for variety of uses.

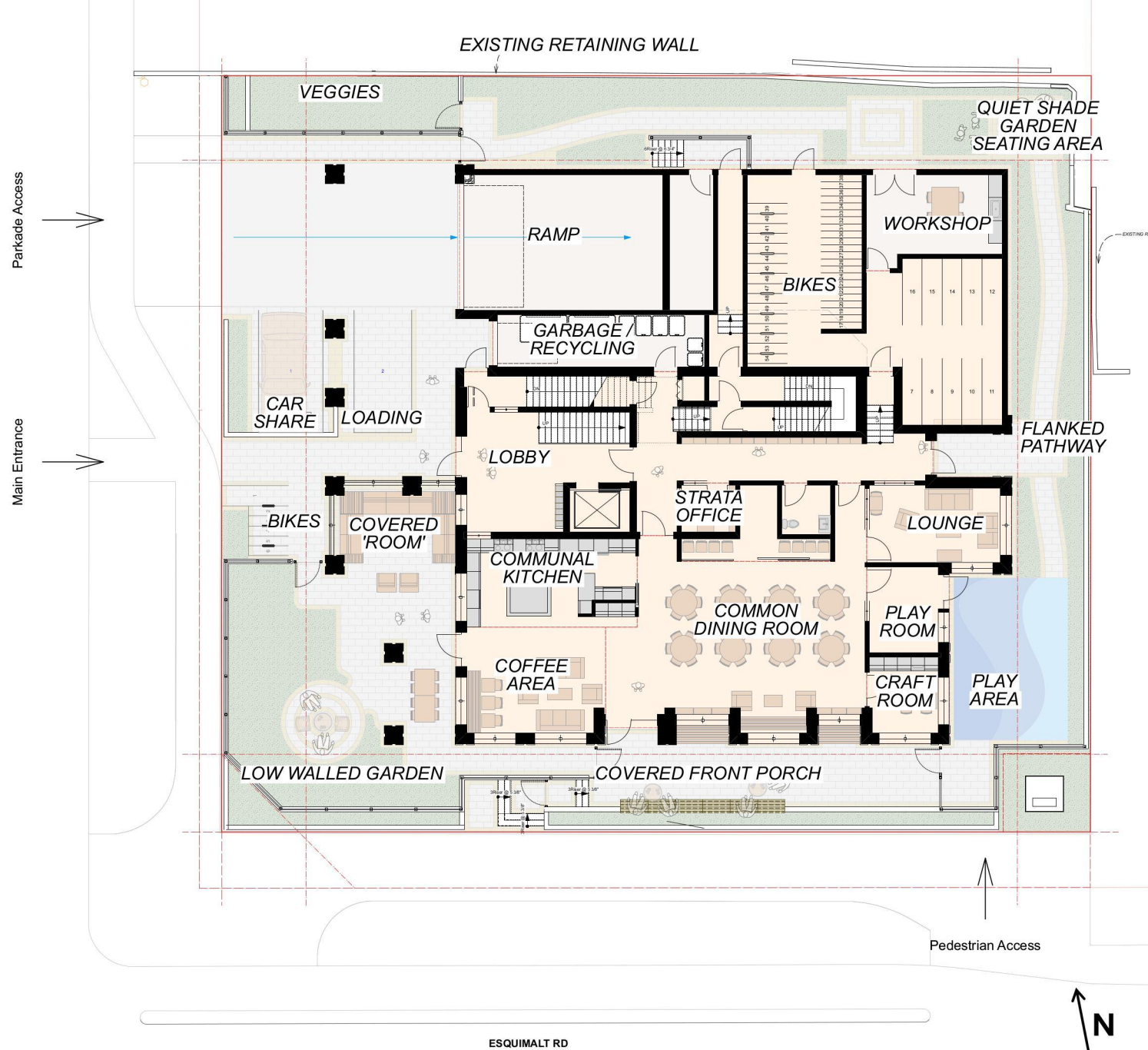
Level 6 is stepped back to reduce the scale along Esquimalt Road & provide a southern outdoor common space to enjoy the distant water view.



Streetview Esquimalt Rd.

Main Floor

The ground floor is reserved for the common house. Its shared spaces are designed to encourage interaction within the group and by invitation to the neighbourhood beyond. Shared meals are central to cohousing with a large communal kitchen with easy access to a smaller daily coffee space, the covered outdoor room and the larger community multi-purpose hall. Other facilities include a workshop, TV lounge, children's playroom crafts room and bike storage. A covered "Front Porch" is provided along Esquimalt Rd. about 3' above the street to reach out to the neighbourhood.

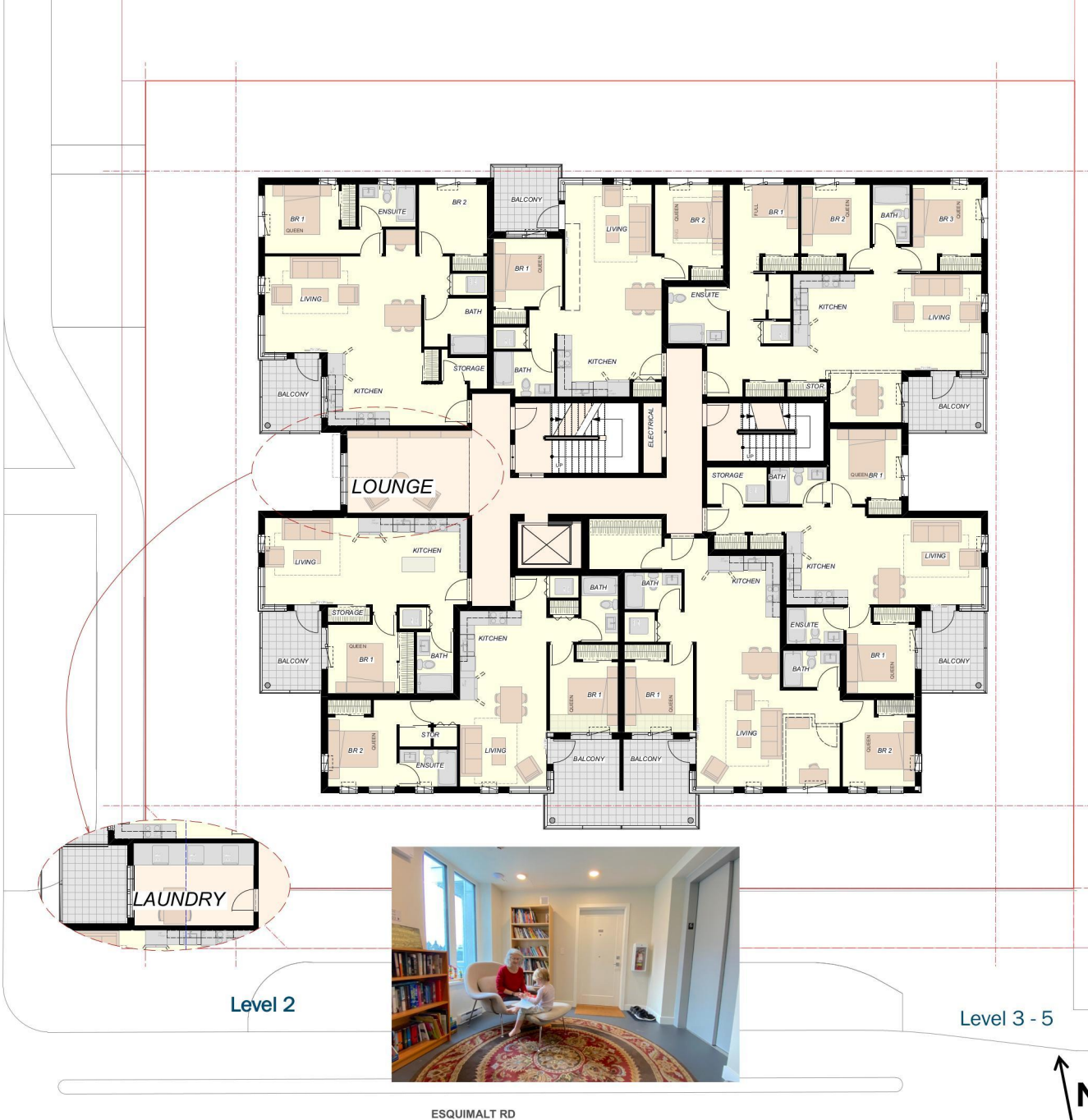


Level 3 - 5

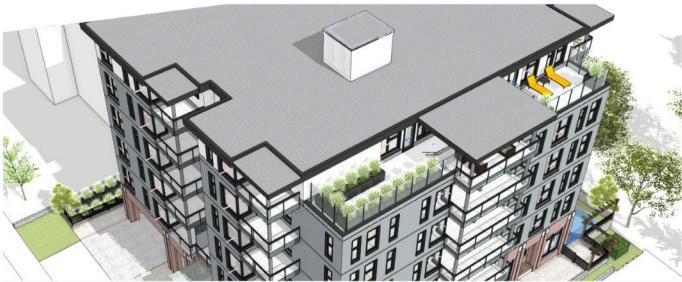
The typical floor plan features 7 suites, a one bedroom, five two bedroom and one three bedroom to support, individuals, families and co-living arrangements. The main stair has been widened beyond minimum to encourage daily exercise and visits between floors.

The stair and the elevator open into a communal area curated by each floor to be a library, or kids play, yoga nook, or workspace.

Level 2 – 5 are stacked to simplify the massing, improve thermal performance and reduce construction cost. The unit mix supports long-term living and neighbourhood stability.



Level 6



ESQUIMALT RD



Building Design



Streetview Fernhill Rd.



Streetview Corner Fernhill Rd. + Esquimalt Rd.

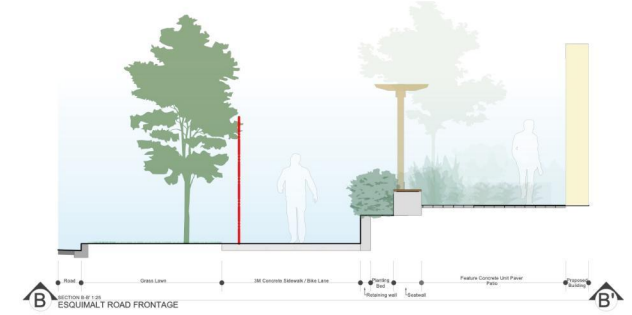
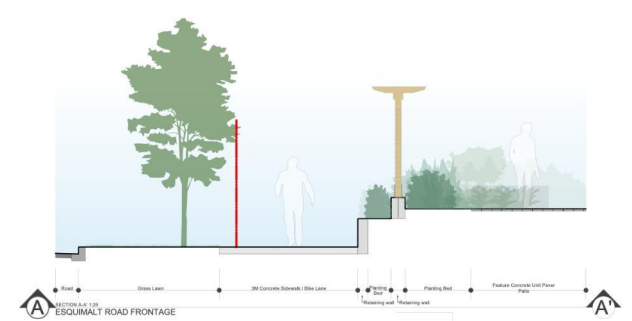
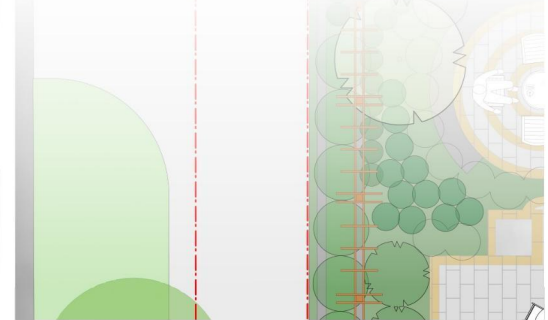


Streetview Esquimalt Rd.



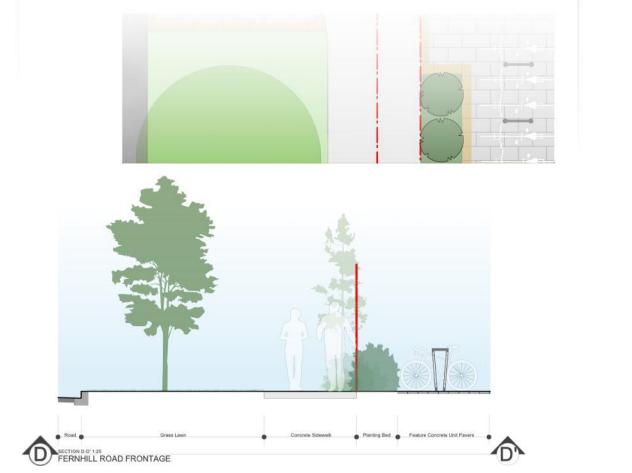
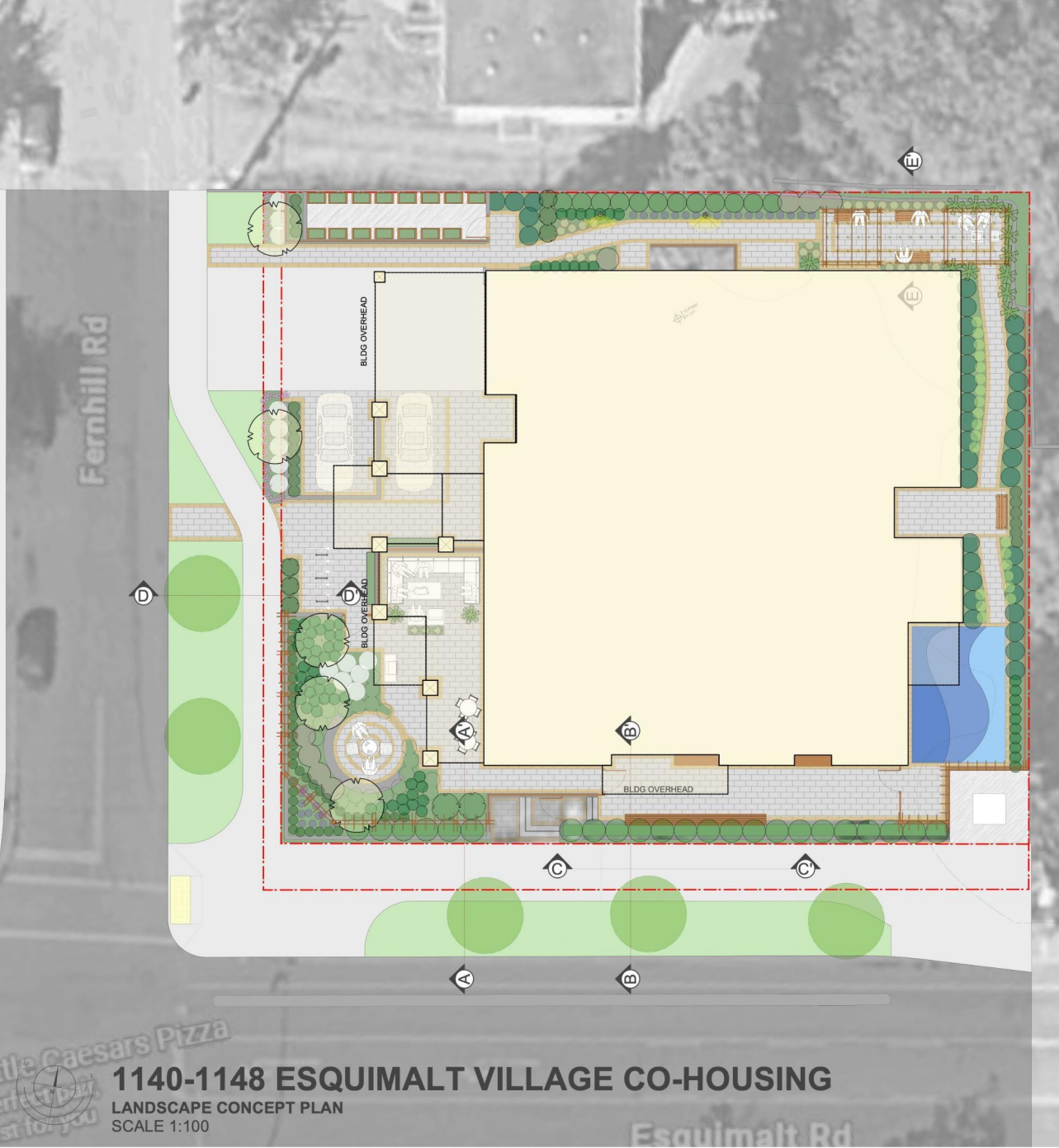
Streetview Esquimalt Rd.

Landscape Architecture

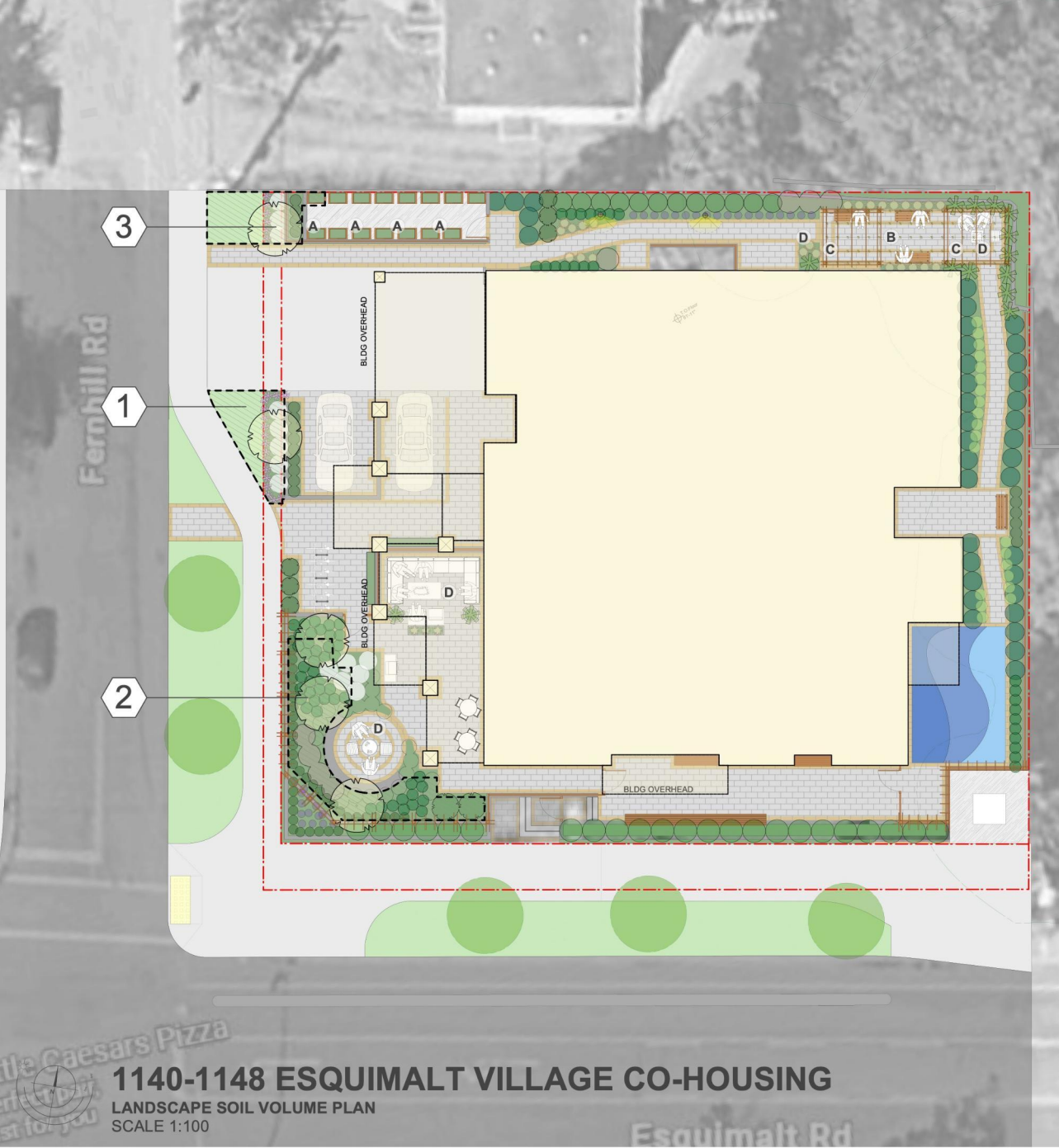


Caesars Pizza
Perfect pair,
best for you

1140-1148 ESQUIMALT VILLAGE CO-HOUSING
LANDSCAPE CONCEPT PLAN
SCALE 1:100



1140-1148 ESQUIMALT VILLAGE CO-HOUSING
 LANDSCAPE CONCEPT PLAN
 SCALE 1:100



MATERIALS LEGEND

	Proposed Tree		Proposed bike ring (2 spaces ea.)		Property Line
	Existing Tree		Proposed Bench		Cross Section Reference Line
	Concrete		Proposed Planter		Retaining Wall - By Others
	Concrete Unit Pavers		Light Bollard		Concrete Stairs - By Others
	Planting beds		String Lights		Soil Volume area Tag
	SOD		Proposed Trellis		Soil Volume area
	Poured In Place Rubber Surface		Natural stone		Open Landscape Space
					Tactile Indicator

Recommended Nursery Stock

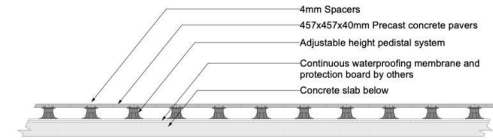
	Trees TOTAL: 5	Botanical Name <i>Amelanchier alnifolia</i>	Common Name Saskatoon Serviceberry
	Large Shrubs TOTAL: 43	Botanical Name <i>Cornus stolonifera</i> <i>Rhododendron macrophyllum</i> <i>Taxus x media 'Hicksii'</i> <i>Vaccinium ovatum</i>	Common Name Redtwig Dogwood Pacific Rhododendron Hicks Yew Evergreen Huckleberry
	Medium Shrubs TOTAL: 63	Botanical Name <i>Cistus x hybridus</i> <i>Hydrangea macrophylla</i> 'Lanarth White' <i>Vaccinium corymbosum</i>	Common Name White Rockrose Lanarth White Hydrangea Draper Blueberry
	Small Shrubs TOTAL: 137	Botanical Name <i>Azalea 'Snowbird'</i> <i>Gaultheria shallon</i> <i>Lavandula officinalis</i> <i>Mahonia nervosa</i>	Common Name Snowbird Azalea Salal English Lavender Low Oregon Grape
	Perennials, Annuals and Ferns TOTAL: 86	Botanical Name <i>Deschampsia cespitosa</i> <i>Echinacea purpurea</i> 'Magnus' <i>Fragaria chiloensis</i> <i>Polystichum munitum</i> <i>Stipa tenuissima</i>	Common Name Tufted Hair Grass Purple Coneflower Coastal Strawberry Sword Fern Mexican Feather Grass
	Groundcovers TOTAL: 39	Botanical Name <i>Arctostaphylos uva ursi</i> 'Vancouver Jade'	Common Name Vancouver Jade Kinnickinnick

1. All work to be completed to current CSLA Landscape Standards
2. All soft landscape to be irrigated with an automatic irrigation system

Soil Volume Chart

Soil Table				Replacement Tree Proposed			Soil Volume Required (M3)			
Planting Area ID	Area (M2)	Soil Volume multiplier*	A Estimated Soil Volume	#Small	#Medium	#Large	Small	Medium	Large	Total
Onsite										
1	14.5	1	14.5	1			8	0	0	8
2	32.6	1	32.6	3			24		0	24
3	14.3	1	14.3	1			8	0	0	8





Texada slab paver - By Belgard



SIZE: 457 x 457 x 40mm



Natural

- Concrete pavers on pedestal notes:
1. This detail to be read in conjunction with landscape specifications and belgard pedestal installation details.
 2. DO NOT compact pavers on pedestals.
 3. Pavers on pedestals to be installed with 4mm spacers between each unit paver.
 4. Paver installation must be completed in accordance with landscape specifications and belgard standard details.
 5. See landscape Layout plan for proposed colour and pattern layouts
 6. Pavers to be installed level

7
D1 Concrete unit pavers on pedestal standard detail
1:50

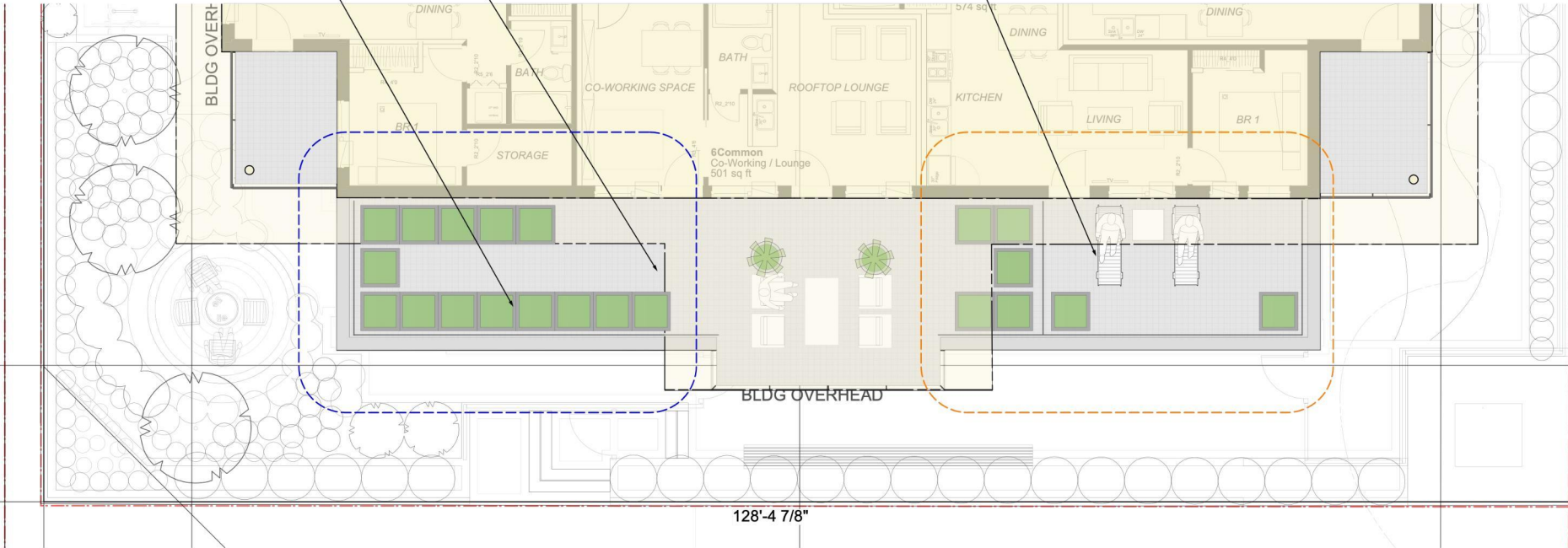
Concrete pavers on pedestal system
(Typical for rooftop patios)

Rooftop community vegetable garden planter

Private Patio

MATERIALS LEGEND

- Concrete Unit Pavers On Pedestals
- Planting beds
- Property Line
- Aluminum Planter



1140-1148 ESQUIMALT VILLAGE CO-HOUSING

ROOFTOP AMENITY AREA PLAN

SCALE 1:50

Conclusion

Esquimalt Village Cohousing is a self-financed, non-profit, multigenerational community — designed from the ground up by the people who will live in it. It supports residents socially, financially, and environmentally, and brings a proven model of community-centred living to the heart of Esquimalt's evolving town centre.

The project is consistent with the OCP, meets the intent of the four applicable Development Permit Areas, and has been developed in close collaboration with Development Services.



The Group



View from Corner of Esquimalt Rd and Fernhill Rd



Aerial View Common House