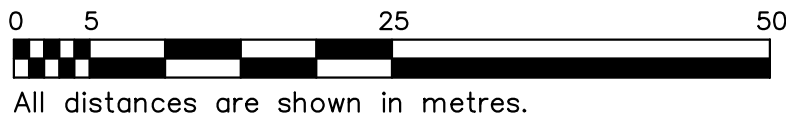


Reference Plan of
Lot 4, Section 11,
Esquimalt District, Plan 4994

BCGS 92B.043
Pursuant to Section 100(1)(a) of the Land Title Act



The intended plot size of this plan
is 560mm in width by 432mm in height
(C size) when plotted at a scale of 1:500.

LEGEND

Integrated Survey Area No. 38, Township of Esquimalt,
NAD83(CSRS)3.0.0.BC.1.CRD.

Grid bearings are derived from geodetic control
monuments 84H0197 and 84H0221 and are
referred to the central meridian of UTM Zone 10.

The UTM coordinates and estimated absolute
accuracy achieved are derived from the MASCOT
published coordinates and standard deviations for the
geodetic control monuments 84H0197 and 84H0221.

This plan shows horizontal ground-level distances unless
otherwise specified. To compute grid distances, multiply
ground level distances by the average combined factor
of 0.9996094 which has been derived from geodetic
control monuments 84H0197 and 84H0221.

- | Found | Set | Denotes |
|-------|-----|--------------------|
| ● | ○ | Standard Iron Post |
| ■ | □ | Standard Lead Plug |
| ▲ | | Control Monument |
| ⊙ | | Non Standard Post |

This plan shows one or more witness posts
which are not set on the true corner(s).

84H0197
Datum: NAD83(CSRS)3.0.0.BC.1.CRD
UTM Zone 10 coordinates
UTM Northing 5,364,402.043
UTM Easting 469,577.665
Absolute accuracy 0.015

84H0221
Datum: NAD83(CSRS)3.0.0.BC.1.CRD
UTM Zone 10 coordinates
UTM Northing 5,364,301.881
UTM Easting 469,474.592
Absolute accuracy 0.015

Strata Plan
VIS6739

2
Plan 12985

Rem 10

9
Block 4
Plan 83

A
Plan 26802

Strata Plan
355

Old Esquimalt Road

4
Plan 4994
Posting Plan EPP147397

941.3 m2

B
Plan 33369

Posting
Plan 624

Strata Plan
829

1
Plan 4994

Lane

1
Plan 5993

SECTION
11

2
Plan 5993

3
Plan 5993

1
Plan 4903

1
Plan 16646

2
Plan 16646

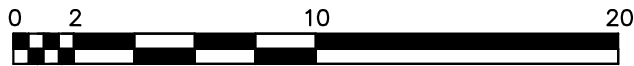
A
Plan 17133

This plan lies within the Capital Regional District.

The field survey represented by this plan was
completed on the 2nd day of March, 2026.
Scott T. Pearce, BCLS 951

Strata Plan of
Lot 1, Section 11,
Esquimalt District, Plan EPP151595

BCGS 92B.043



All distances are shown in metres.

The intended plot size of this plan
is 432mm in width by 280mm in height
(B size) when plotted at a scale of 1:250.

LEGEND

Integrated Survey Area No. 38, Township of Esquimalt,
NAD83(CSRS)3.0.0.BC.1.CRD.

Grid bearings are derived from geodetic control
monuments 84H0197 and 84H0221 and are
referred to the central meridian of UTM Zone 10.

The UTM coordinates and estimated absolute
accuracy achieved are derived from the MASCOT
published coordinates and standard deviations for the
geodetic control monuments 84H0197 and 84H0221.

This plan shows horizontal ground-level distances unless
otherwise specified. To compute grid distances, multiply
ground level distances by the average combined factor
of 0.9996094 which has been derived from geodetic
control monuments 84H0197 and 84H0221.

Found	Denotes
●	Standard Iron Post
■	Standard Lead Plug
⊙	Control Monument

This plan shows one or more witness posts
which are not set on the true corner(s).

Offsets to property lines are perpendicular thereto and
are measured to exterior face of building foundation walls.

All angles deflect by multiples of 90 degrees
unless otherwise indicated.

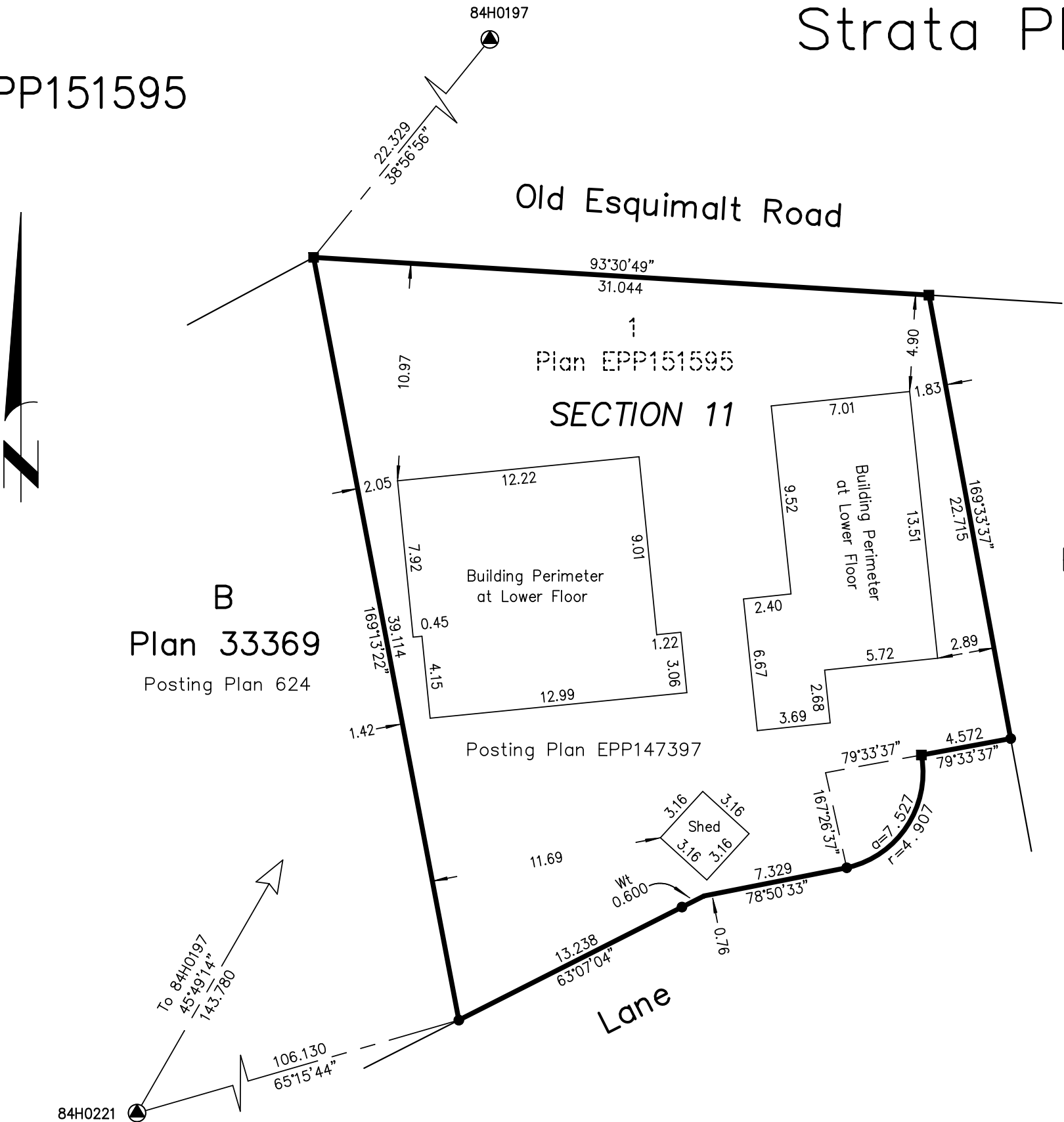
Civic Address:

Strata Lot A: 1219 Old Esquimalt Road
Strata Lot B: 1217 Old Esquimalt Road

File	14319-19
Drawing	4319 Strata
V.I. POWELL & ASSOCIATES Land Surveying 250-2950 Douglas Street Victoria, BC V8T 4N4 Phone: (250) 382-8855	

Datum: NAD83(CSRS)3.0.0.BC.1.CRD UTM Zone 10 coordinates			
Point	UTM Northing	UTM Easting	Absolute Accuracy
84H0197	5,364,402.043	469,577.665	0.015
84H0221	5,364,301.881	469,474.592	0.015

Sheet 1 of 5 Sheets
Strata Plan EPS12244



Plan 1
4903

The buildings included within this Strata
Plan have been previously occupied,
as to buildings containing Strata Lot A
and
The building included within this Strata
Plan has not been previously occupied,
as to building containing Strata Lot B

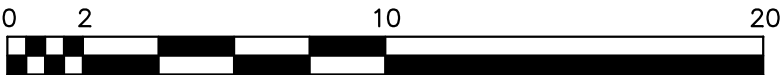
This plan lies within the Capital Regional
District and the Township of Esquimalt.

The field survey represented by this plan was
completed on the 2nd day of March, 2026.
Scott T. Pearce, BCLS 951

The buildings shown hereon are within the
the external boundaries of the land that
is the subject of this Strata Plan.

Lower Floor

Strata Plan EPS12244



All distances are shown in metres.

The intended plot size of this plan is 432mm in width by 280mm in height (B size) when plotted at a scale of 1:200.

LEGEND

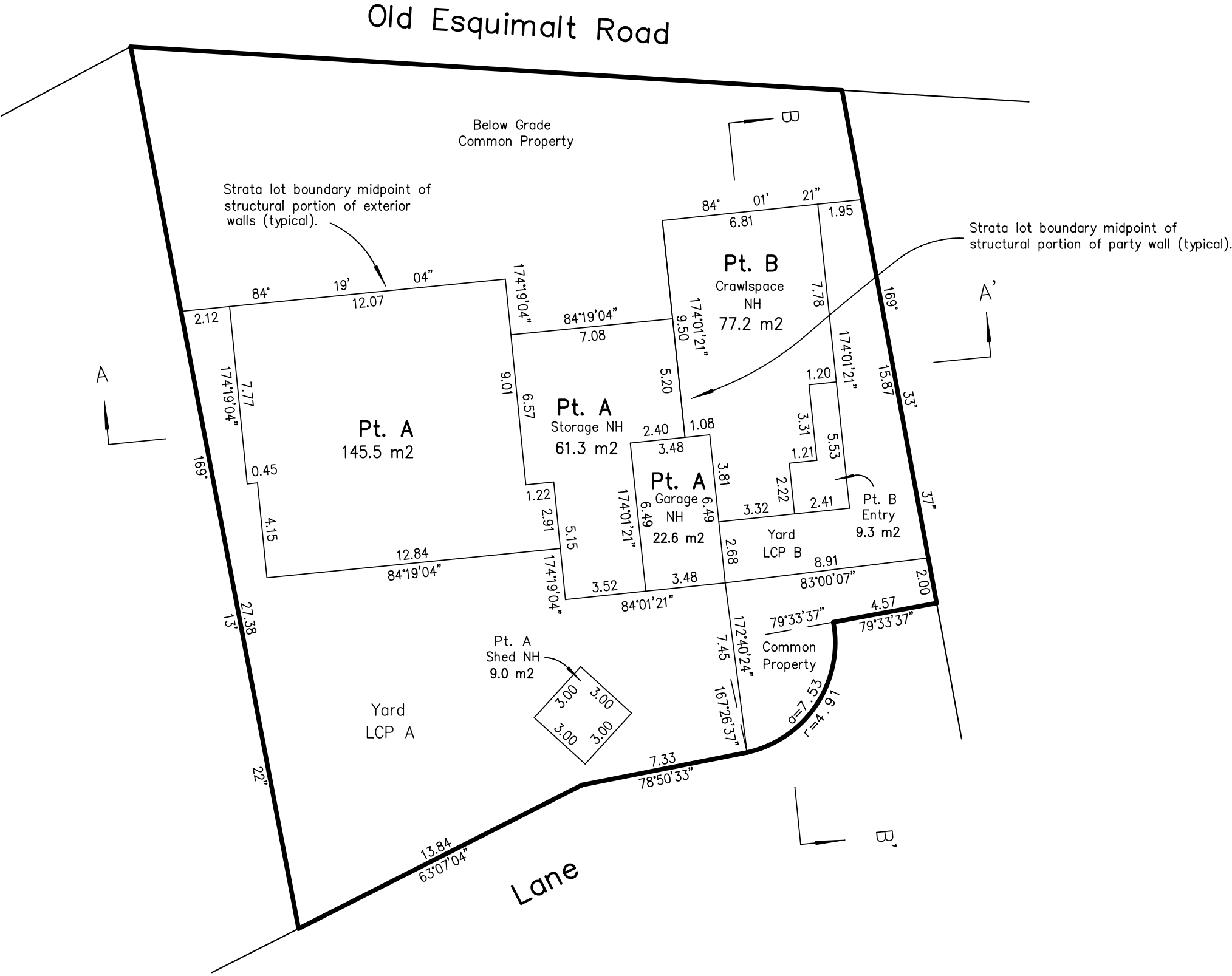
- Pt. - denotes Part Strata Lot
- LCP - denotes Limited Common Property
- NH - denotes Non Habitable

All angles deflect by multiples of 90 degrees unless otherwise indicated.

This sheet shows strata lot boundary dimensions to the midpoint of the structural portion of exterior walls and the midpoint between structural portions of party walls between strata lots.

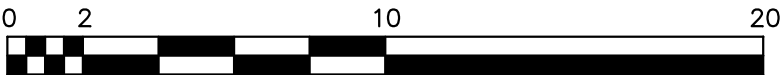
Cross Section arrows on this plan point in the direction of view.

Areas of Limited Common Property (yards) do not have a designated upper vertical extent.



Main Floor

Strata Plan EPS12244



All distances are shown in metres.

The intended plot size of this plan is 432mm in width by 280mm in height (B size) when plotted at a scale of 1:200.

LEGEND

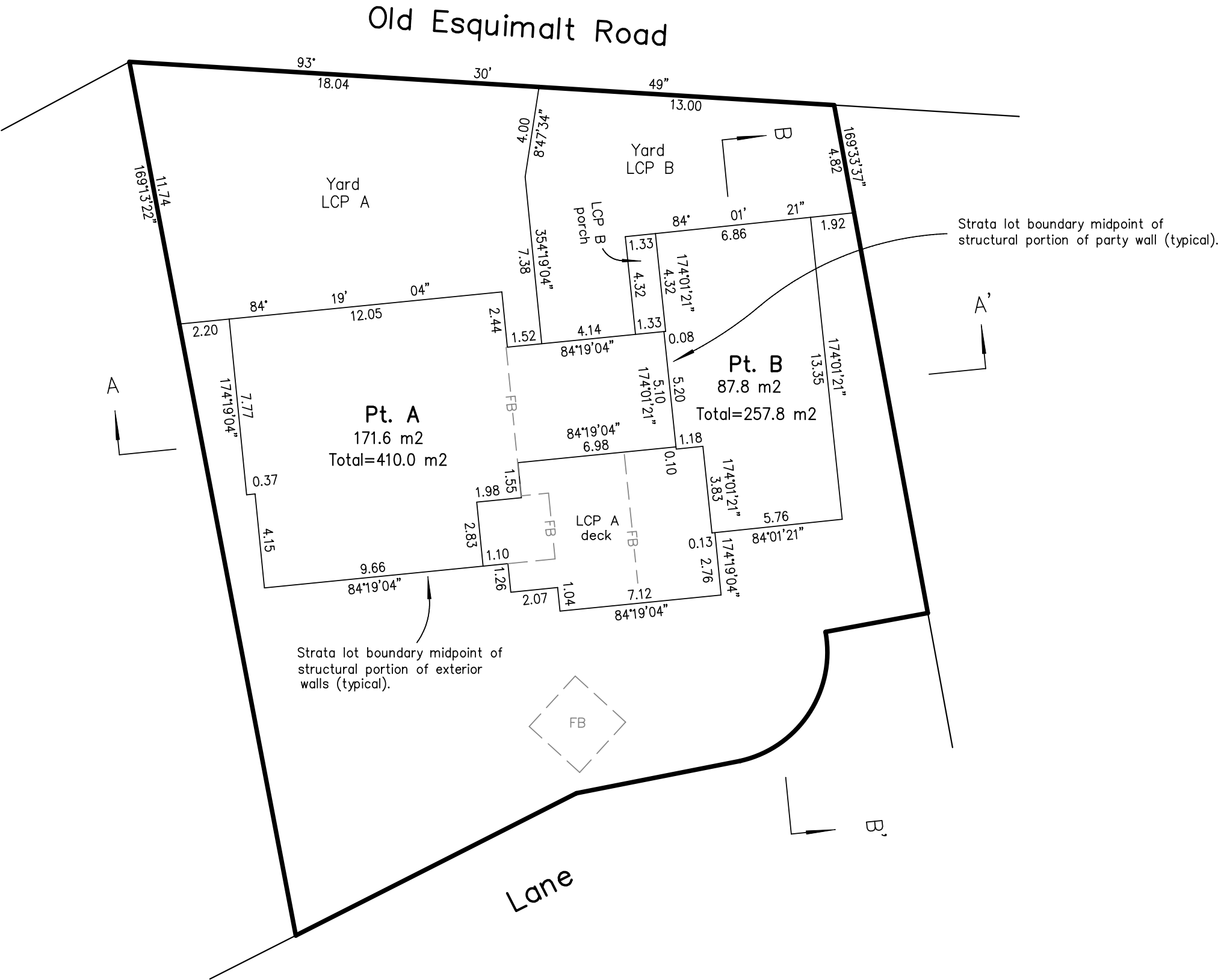
- Pt. - denotes Part Strata Lot
- LCP - denotes Limited Common Property
- FB - denotes Perimeter of Floor Below

All angles deflect by multiples of 90 degrees unless otherwise indicated.

This sheet shows strata lot boundary dimensions to the midpoint of the structural portion of exterior walls and the midpoint between structural portions of party walls between strata lots.

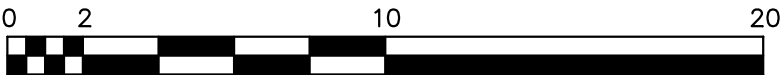
Cross Section arrows on this plan point in the direction of view.

Areas of Limited Common Property (yards, deck and porch) do not have a designated upper vertical extent.



Upper Floor

Strata Plan EPS12244



All distances are shown in metres.

The intended plot size of this plan is 432mm in width by 280mm in height (B size) when plotted at a scale of 1:200.

LEGEND

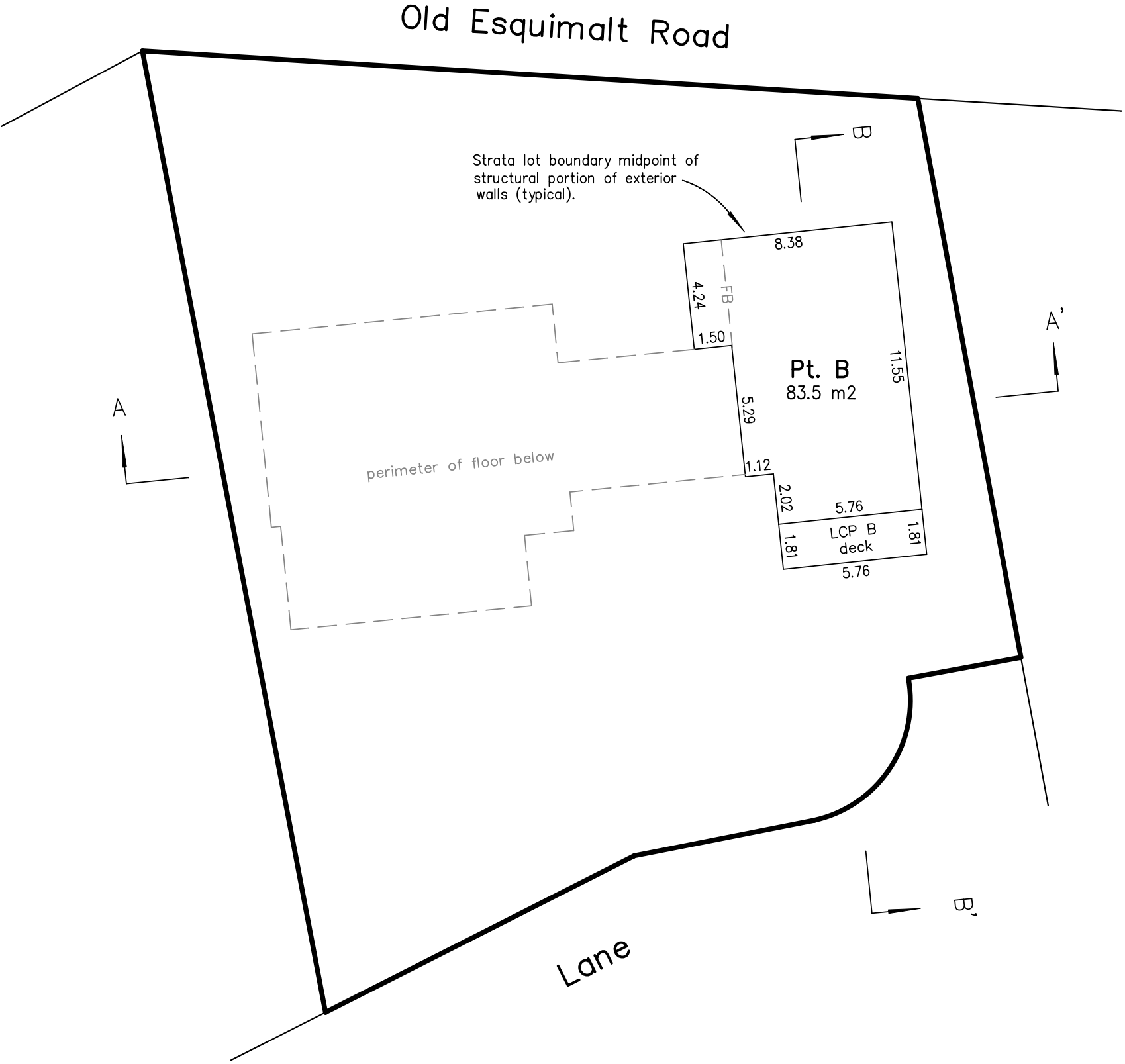
- Pt. - denotes Part Strata Lot
- LCP - denotes Limited Common Property
- FB - denotes Perimeter of Floor Below

All angles deflect by multiples of 90 degrees unless otherwise indicated.

This sheet shows strata lot boundary dimensions to the midpoint of the structural portion of exterior walls and the midpoint between structural portions of party walls between strata lots.

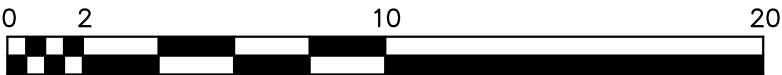
Cross Section arrows on this plan point in the direction of view.

Areas of Limited Common Property (deck) do not have a designated upper vertical extent.



Cross Sections

Strata Plan EPS12244



All distances are shown in metres.

The intended plot size of this plan is 432mm in width by 280mm in height (B size) when plotted at a scale of 1:200.

LEGEND

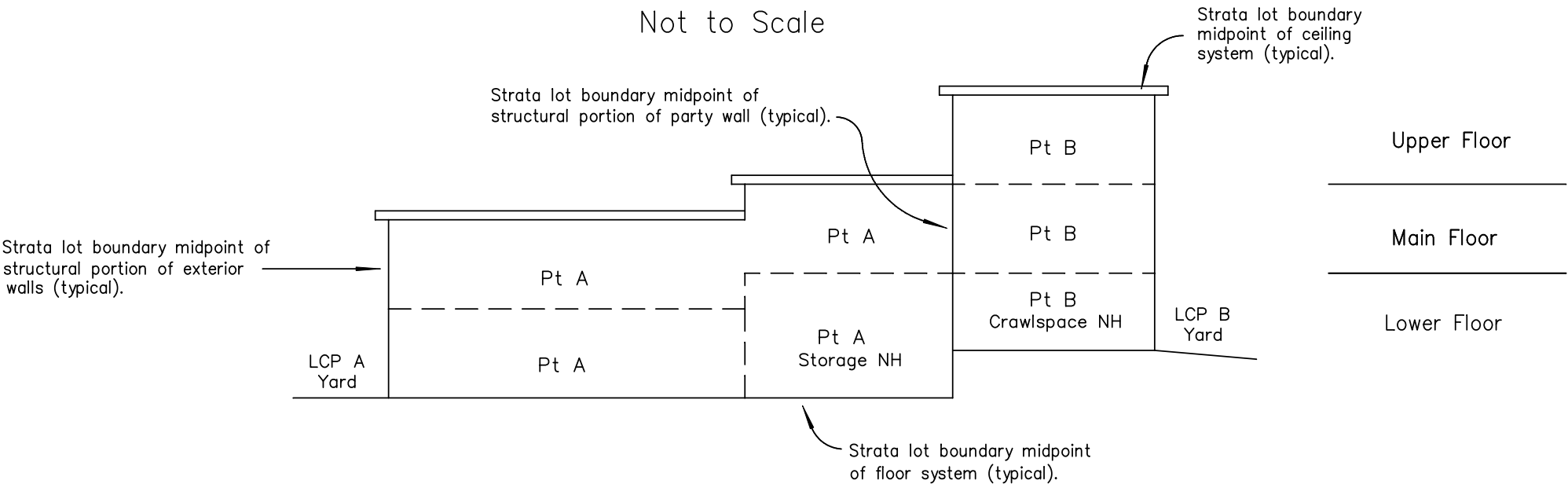
- Pt. – denotes Part Strata Lot
- LCP – denotes Limited Common Property
- NH – denotes Non Habitable

This sheet shows strata lot boundary dimensions to the midpoint of the structural portion of exterior walls and the midpoint between structural portions of party walls between strata lots.

Areas of Limited Common Property (yards, and deck) do not have a designated upper vertical extent.

Cross Section A – A'

Not to Scale



Cross Section B – B'

Not to Scale

