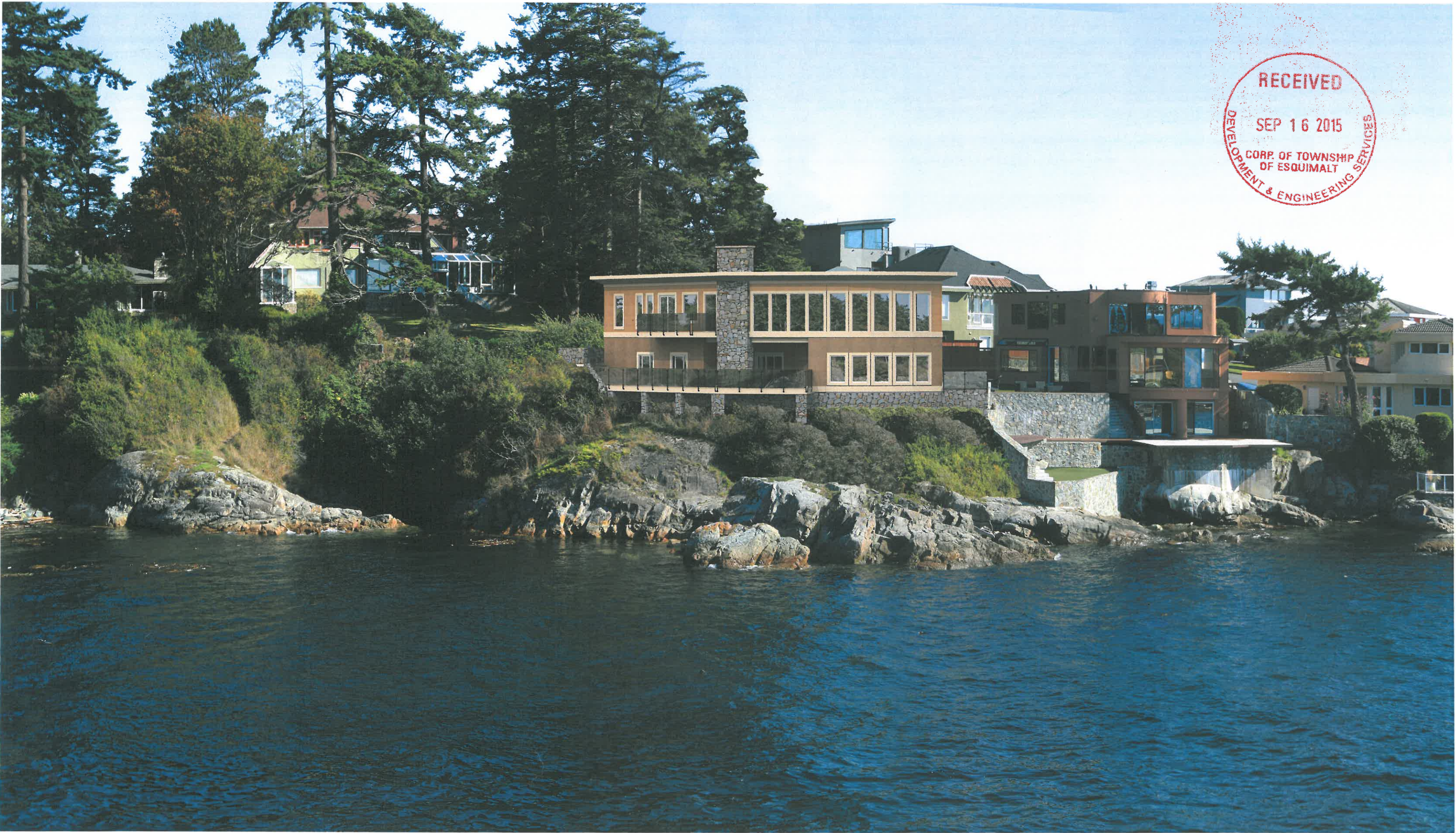


RECEIVED
SEP 16 2015
CORP. OF TOWNSHIP
OF ESQUIMALT
DEVELOPMENT & ENGINEERING SERVICES





Left street pan

new siamesed
driveway
to proposed
dwelling

existing 322 Plaskett Place



EXISTING 322 PLASKETT PL. RES.

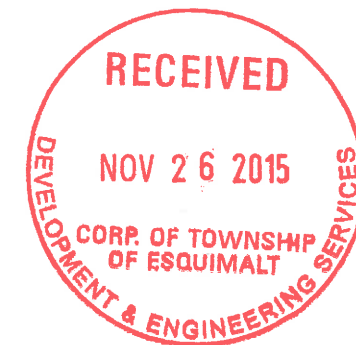


Right street pan

PLASKETT PLACE STREETSCAPE

revised to show raised home at end of new driveway
and altered new driveway alignment

NEW HODSON RESIDENCE PROPOSAL



STUCCO COLOURS

Imasco Taupe 25 light (trim colour)

Imasco Harvest Gold 46 dark

Imasco Suede 830 dark

structural glass guard with
prefinished metal framing

Stone masonry to blend
with native stone

garage door:
metal with glass panels

front door:
wood with glass panels

COLOUR BOARD

Stucco colours subject to current availability

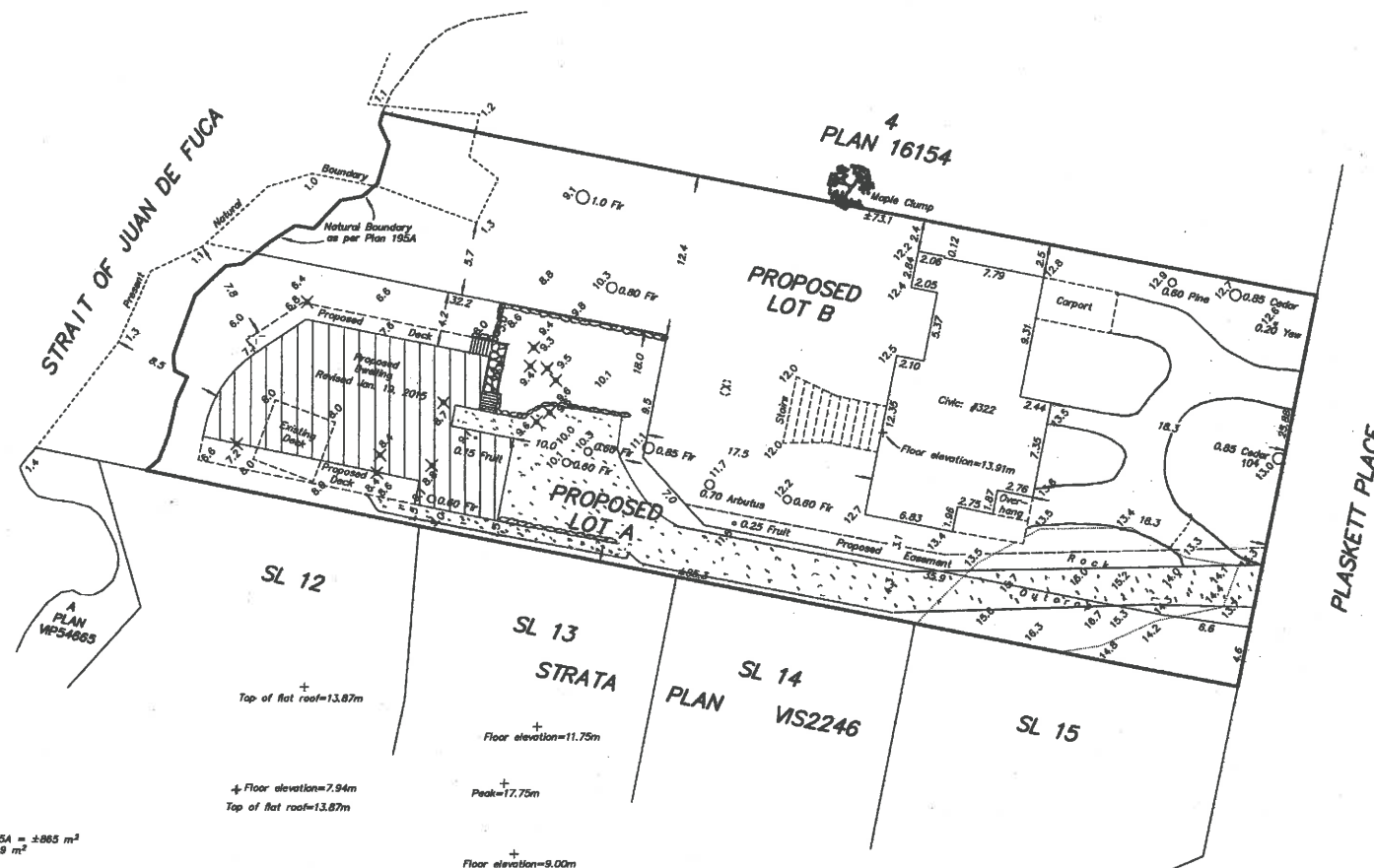
Note: This illustration shows the general form and character of the building. Minor changes to the building may occur during design development and building permit drawing preparation as it relates to windows and some detail design elements.

NEW HODSON RESIDENCE PROPOSAL

SCALE=1:250 All distances are in metres

LEGEND

- Field survey completed April 18, 2012.



NOTE:
Present Natural Boundary subject
to approval prior to reliance.

Proposed Lot A:
Total approximate area to Natural Boundary as per Plan 195A = $\pm 885 \text{ m}^2$
Total approximate area to Present Natural Boundary = $\pm 969 \text{ m}^2$
Proposed access strip area = 183 m^2

Processed Lot B:
Approximate area to Natural Boundary as per Plan 195A = $\pm 1581 \text{ m}^2$
Approximate area to Present Natural Boundary = $\pm 1568 \text{ m}^2$

File: 6-LUNT-SD3
Date: July 30, 2014
Island Land Surveying Ltd.
1-15 Cadillac Avenue
Victoria, B.C. V8Z 1T3
Tel 250.475.1515 Fax 250.475.1516
www.islandsurveying.ca

CORP. OF TOWNSHIP
OF ESQUIMALT

CIVIC ADDRESS	322 PLASKETT PLACE
ZONING	RS-3
TOTAL LOT AREA	2629.00 sq.m.
ALLOWABLE LOT COVERAGE	
30%	788.70 sq.m.
EXISTING/ PROPOSED LOT COVERAGE	
9.81%	258.08 sq.m.
ALLOWABLE F.A.R.	
35%	920.15 sq.m.
EXISTING F.A.R.	
9.77%	256.96 sq.m.
PROPOSED F.A.R.	
19.93%	524.06 sq.m.
ALLOWABLE HEIGHT	7.30 m
PROPOSED HEIGHT	
EXISTING	8.07 m
PROPOSED	6.93 m

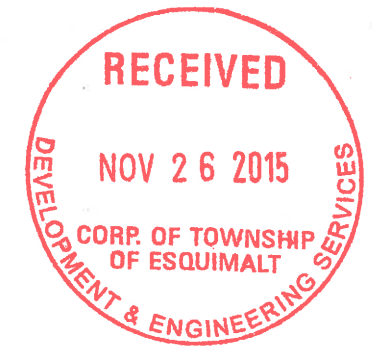
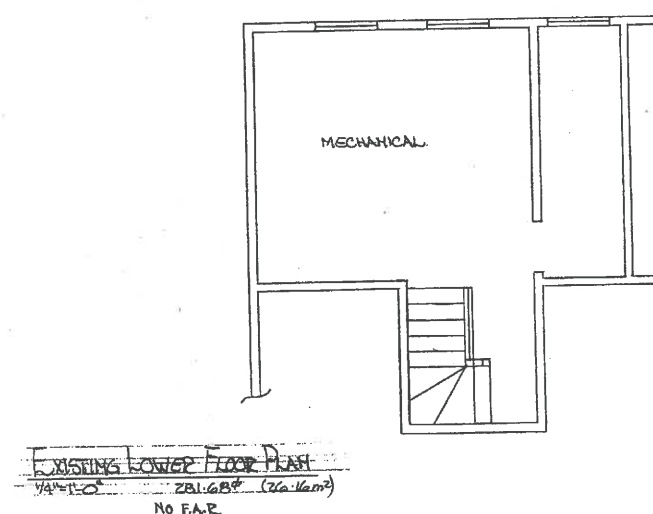
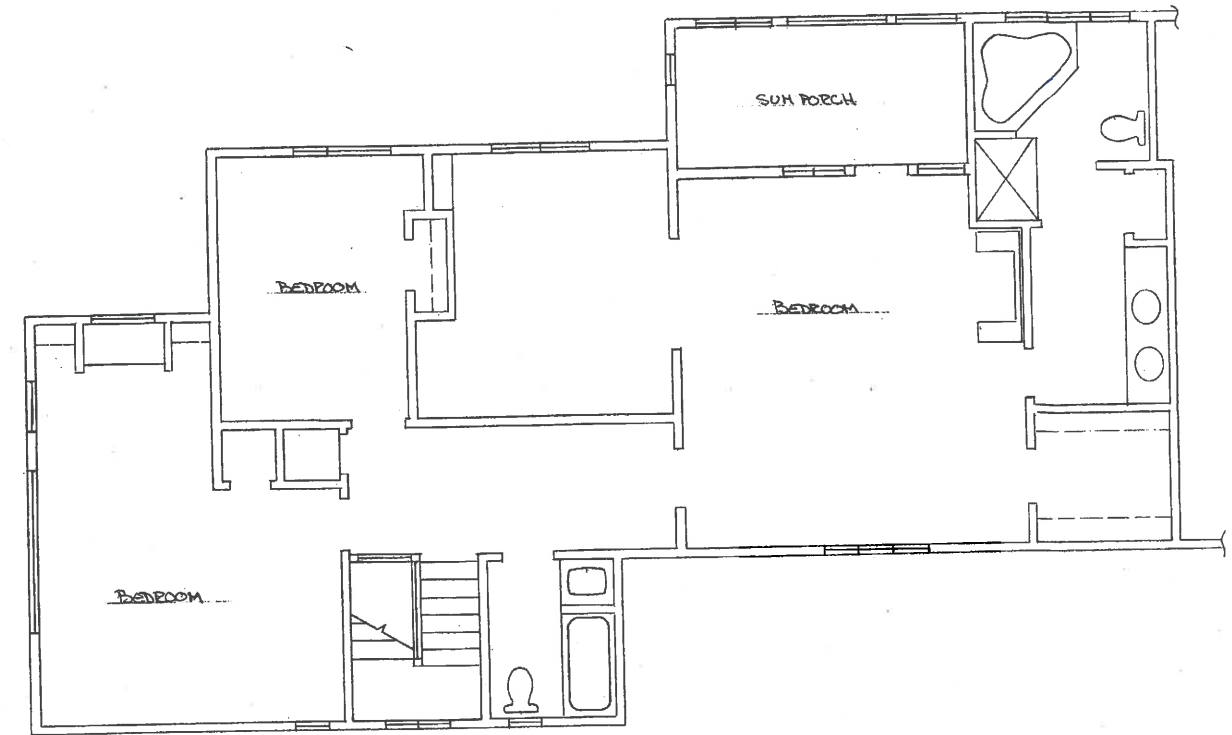
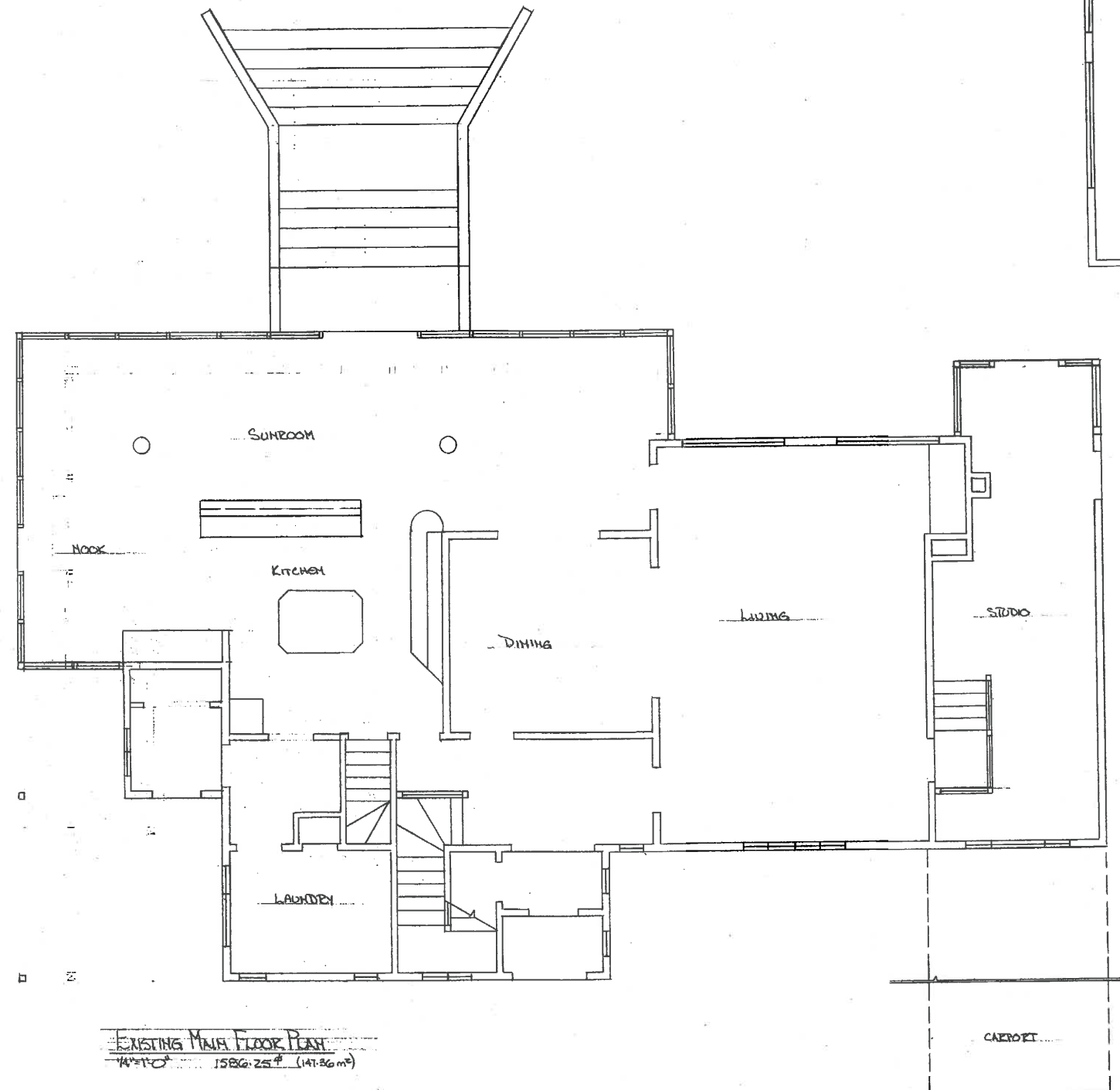
MAIN FLOOR	11.89 m
LOWER FLOOR	8.80 m
GARAGE	11.69 m
AVERAGE GRADE	8.40 m

	<u>LOT A</u>		<u>LOT B</u>
TOTAL LOT AREA	1048.00 sq.m.		1581.00 sq.m.
LOT COVERAGE 23.03%	241.39 sq.m.	16.32%	258.08 sq.m.

MR. HODSON



MESA DESIGN GROUP INC 2850 Lakehurst Drive, Victoria, BC		DESIGN CONSULTANTS 250-382-2893	
DATE:		DESIGNED BY: DL	
SCALE: AS SHOWN		DRAWN BY: DL	
DRAWING No: 9672-SP			

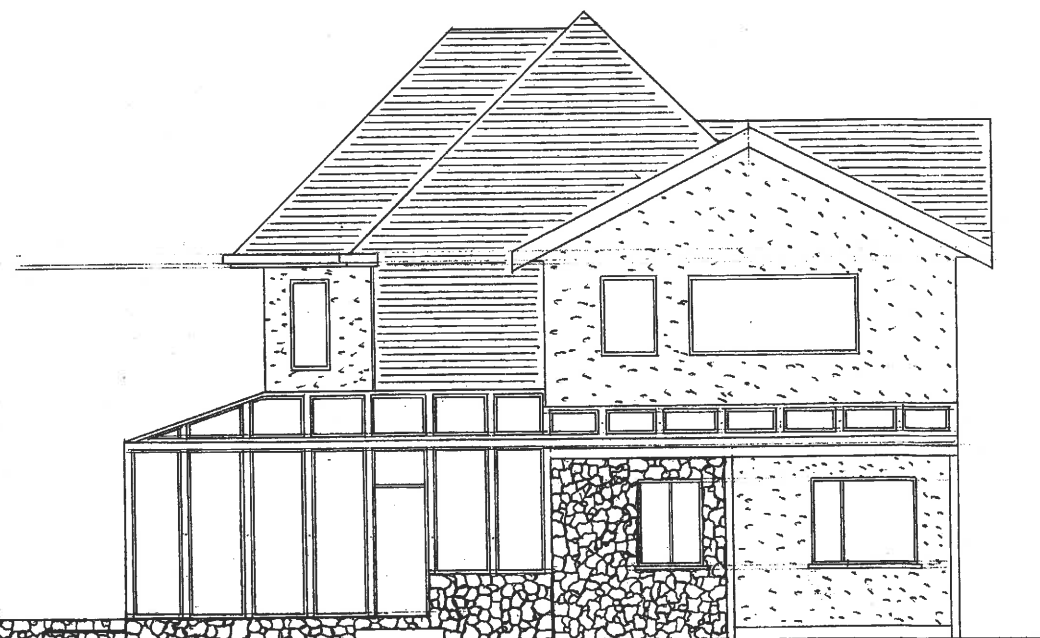


Mr. Hodson		MESA DESIGN GROUP INC. 2850 Lakehurst Drive, Victoria, BC		DESIGN CONSULTANTS 250-382-2883	
		DATE:	AS SHOWN		DESIGNED BY: OTHERS
		SCALE:	AS SHOWN		DRAWN BY: D.L.
		DRAWING No:	9672-1		



AVERAGE GRADE 12.93m

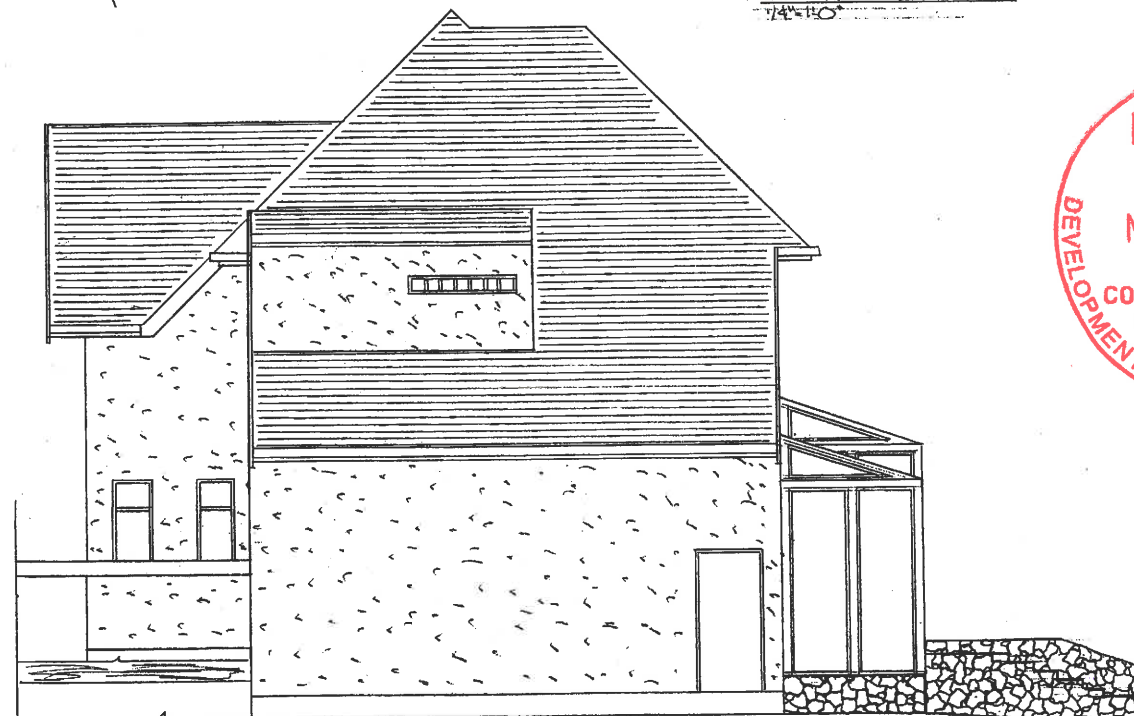
REAR ELEVATION
14'-11\"/>



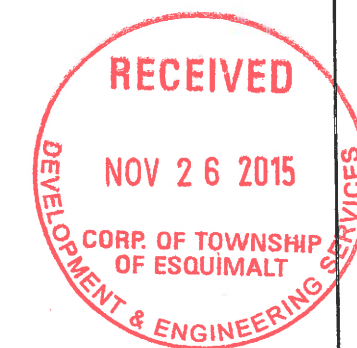
SIDE (SOUTH) ELEVATION
14'-11\"/>



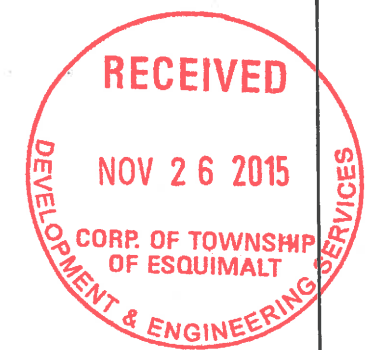
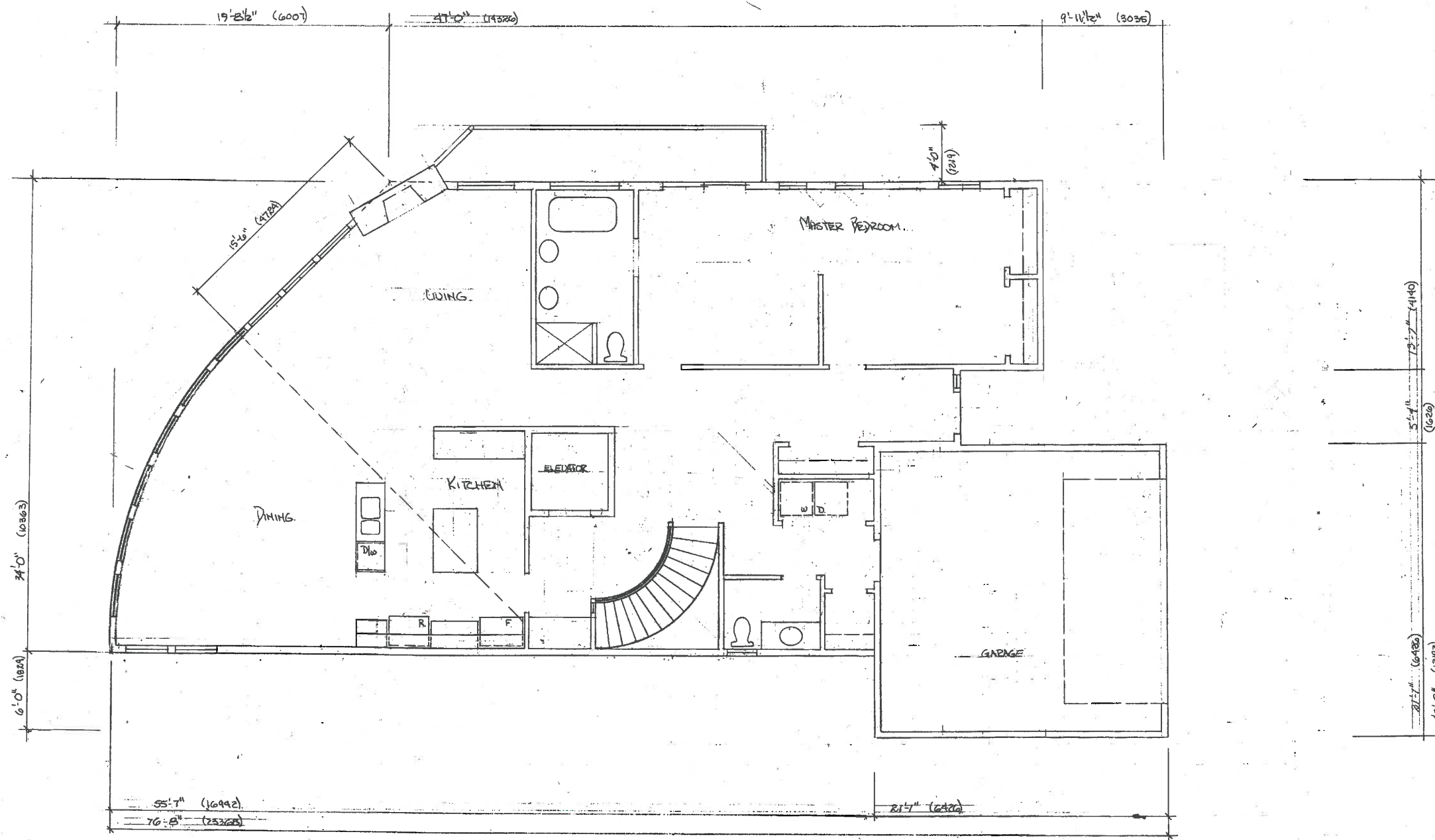
FRONT ELEVATION
14'-11\"/>



SIDE (NORTH) ELEVATION
14'-11\"/>



Mr. Hanson		MESA DESIGN GROUP INC		DESIGN CONSULTANTS
		2850 Lakehurst Drive, Victoria, BC		250-382-2893
		DATE:	DESIGNED BY: <u>OT/2015</u>	
		SCALE: <u>AS SHOWN</u>	DRAWN BY: <u>D.L.</u>	
		DRAWING No: <u>4672-1-</u>		

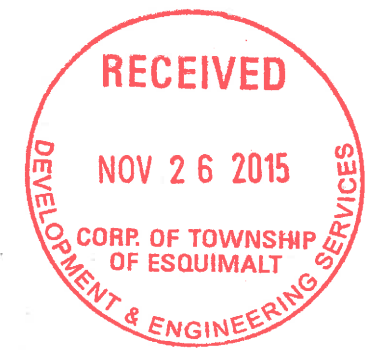
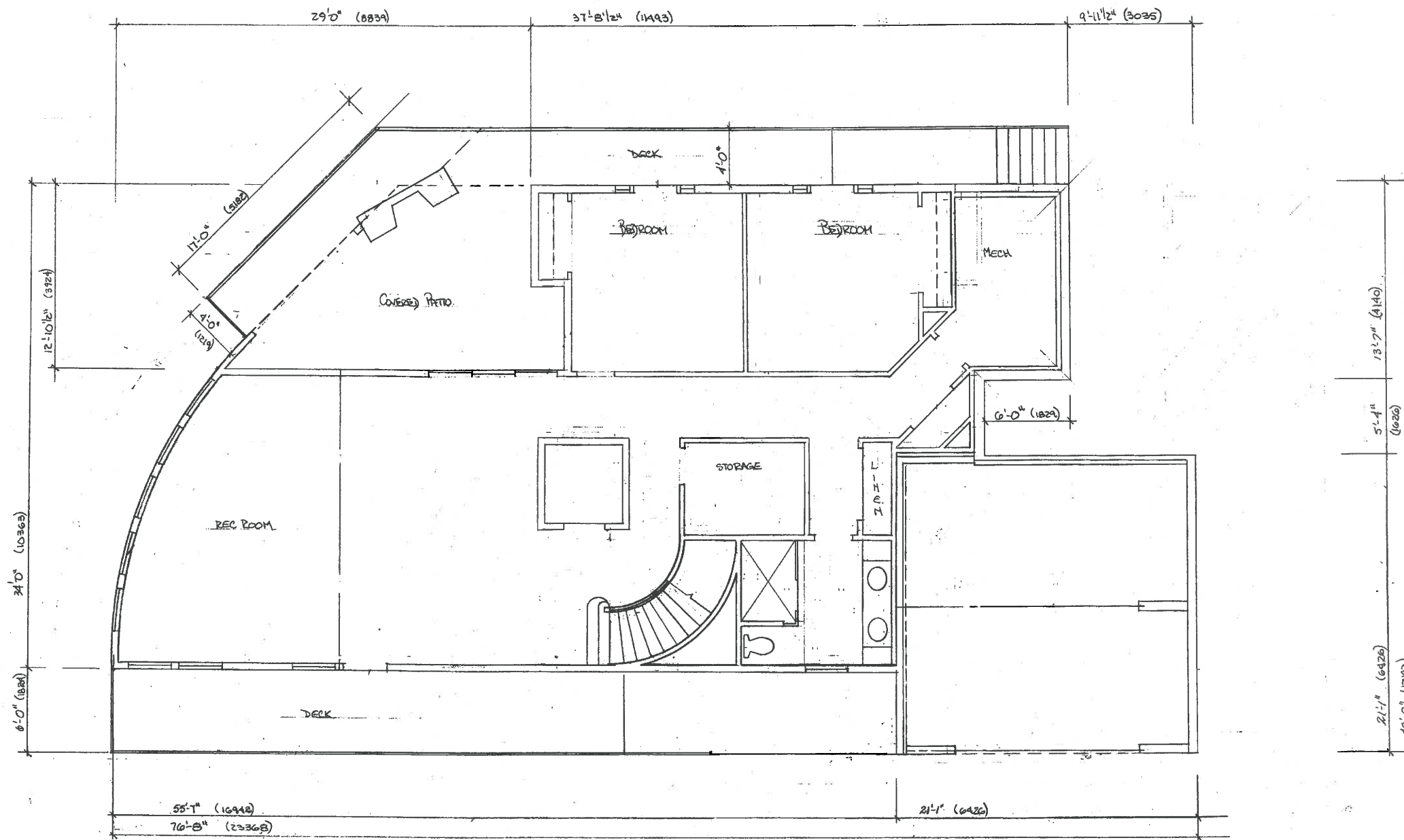


MAIN FLOOR PLAN
 1/4" = 1'-0"
 1636.29 ft² (152.02 m²)
 433.96 ft² (40.31 m²)
 1639.25 ft² (152.34 m²)

MR. HODSON

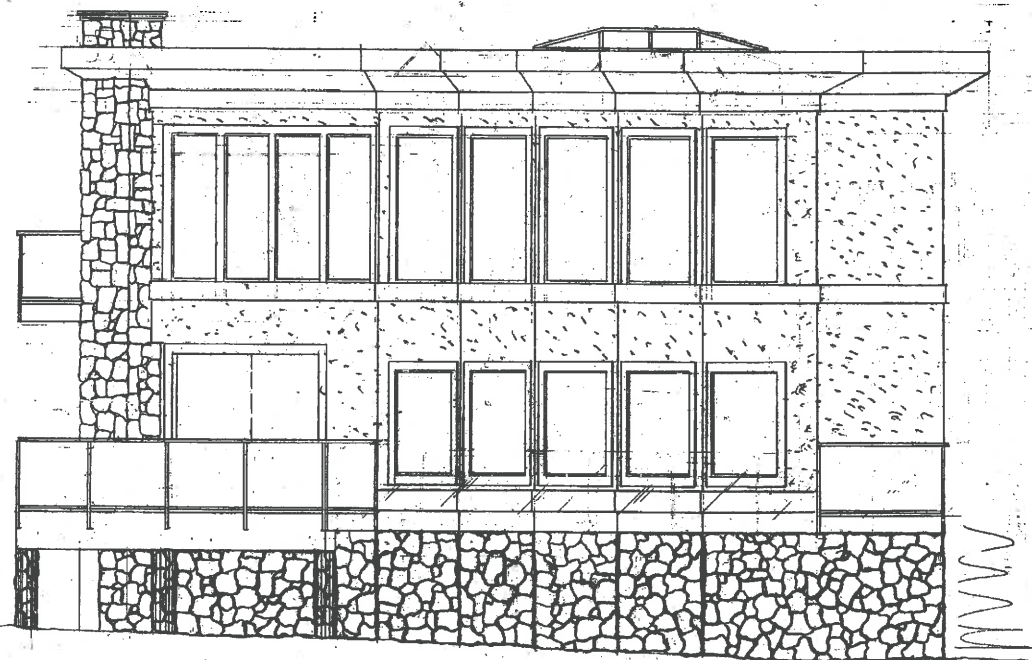


MESA DESIGN GROUP INC		DESIGN CONSULTANTS	
2850 Lakehurst Drive, Victoria, BC		250-382-2893	
DATE:	3/07/14	DESIGNED BY:	
SCALE:	AS SHOWN	DRAWN BY:	D.L.
DRAWING No:	9672-2		

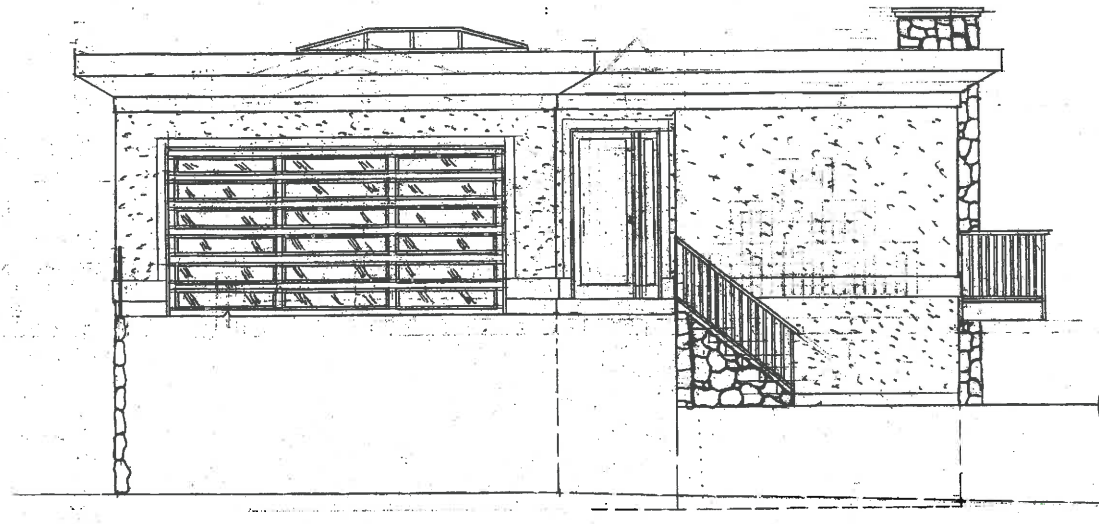


LOWER FLOOR PLAN
 74'-1 1/2" 1235.39 # (114.76 m²)

MR. HOYSON		MESA DESIGN GROUP INC		DESIGN CONSULTANTS	
		2850 Lakehurst Drive, Victoria, BC		250-382-2893	
		DATE: 31.07.14		DESIGNED BY:	
		SCALE: AS SHOWN		DRAWN BY: JL	
		DRAWING No:		9672-B	

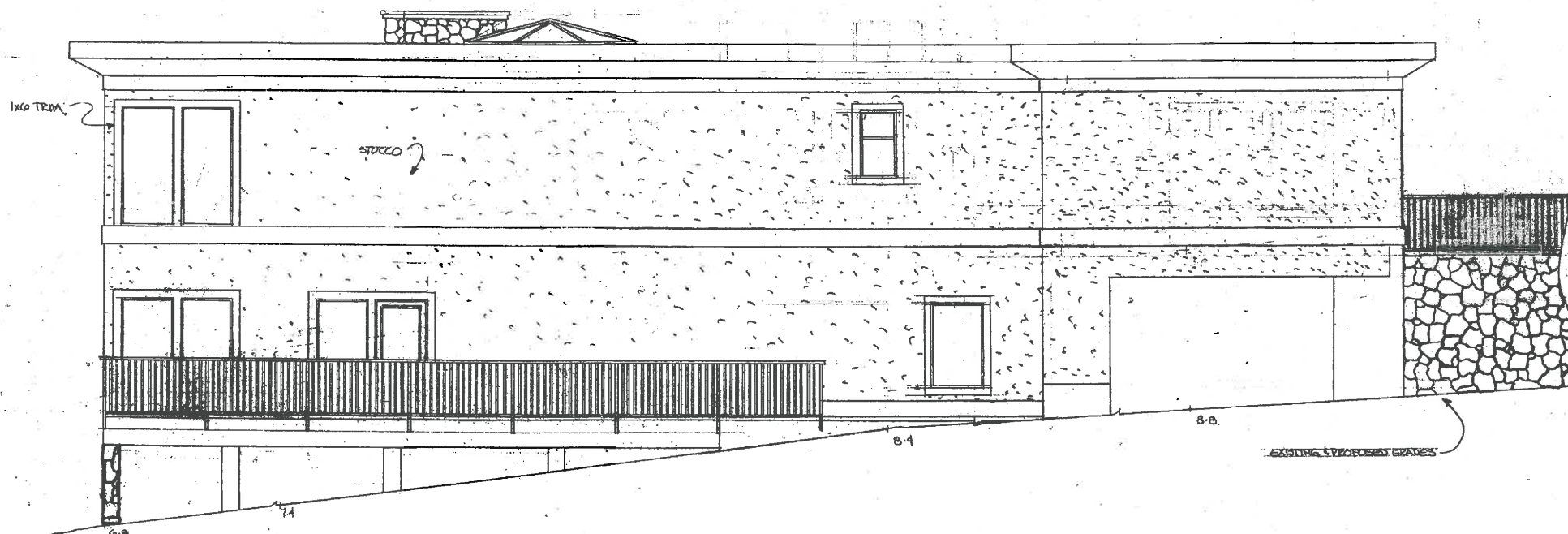


PROPOSED REAR (WATER) ELEVATION
1/4"=1'-0"

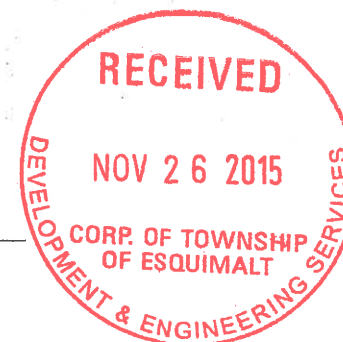


PROPOSED FRONT ELEVATION
1/4"=1'-0"

----- EXISTING GRADE
----- PROPOSED GRADE



PROPOSED SIDE ELEVATION
1/4"=1'-0"



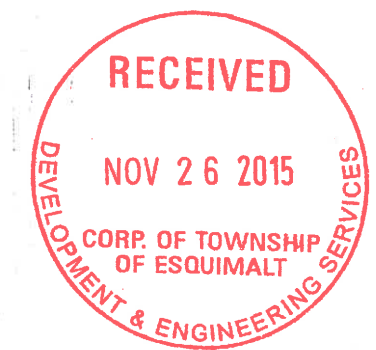
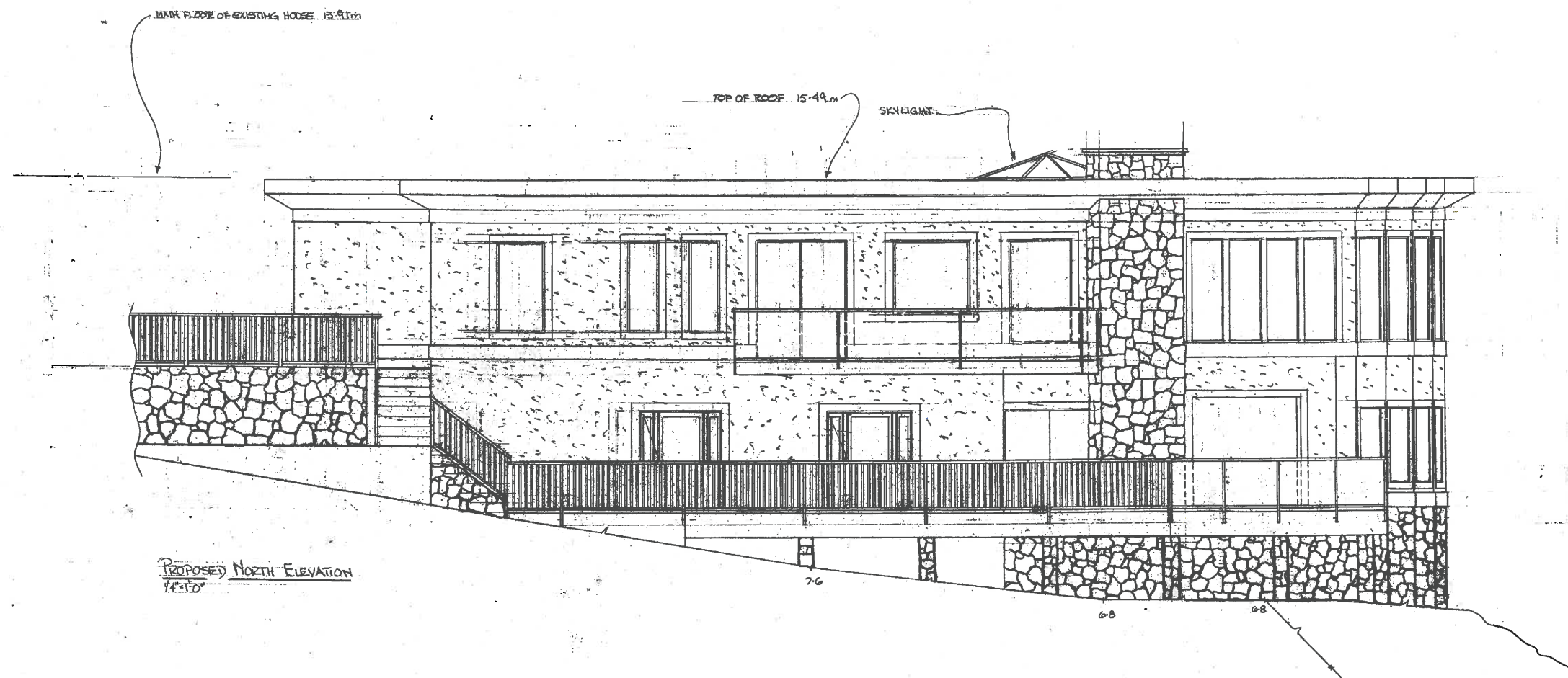
22'-9" (6.93m)
AVERAGE GROUND (8.4m)

EXISTING & PROPOSED GRADES

MR. HODSON



MESA DESIGN GROUP INC		DESIGN CONSULTANT
2850 Lakehurst Drive, Victoria, BC		250-382-28
DATE: 31.07.14	DESIGNED BY:	
SCALE: AS SHOWN	DRAWN BY: J.L	
DRAWING No:		9672-2



Mr. Hoyson		MESA DESIGN GROUP INC 2850 Lakehurst Drive, Victoria, BC DESIGN CONSULTANTS 250-382-2893
		DATE: 31.07.14 SCALE: AS SHOWN DRAWING No: 9672-2 DESIGNED BY: DRAWN BY: D.L.

PLANT LIST

TREES

1 AI	ACER PALMATUM 'INABASHIDARE'
1 MS	MAGNOLIA SOULANGIANA
29 PL	FRUNUS LUSHANICA

JAPANESE MAPLE	#15
SAUCER MAGNOLIA	#15
PORTUGUESE LAUREL	#10

SHRUBS & GRASSES

12 AS	AZALEA JAPONICA 'PURPLE SPLENDOR'
29 BS	BUXUS SEMPERVIRENS
16 CT	CAREX TESTACEA
7 EP	ESCALLONIA EXONIENSIS 'FRADESII'
7 LH	LAVANDULA ANGUSTIFOLIA 'HIDCOTE'
4 RA	RHODODENDRON ASSORTED
3 SF	POLYSTICHUM MUNITUM
1 TB	TAXUS BACCATA 'FASTIGIATA'

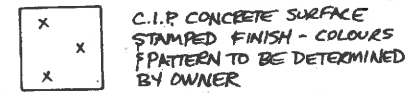
EVERGREEN AZALEA	#5
COMMON BOXWOOD	#7
NEWZEALAND ORANGE SEDGE	#1
PINK PRINCESS ESCALLONIA	#3
ENGLISH LAVENDER	#1
RHODODENDRON	#7
WESTERN SWIRLED FERN	#1
IRISH YEW	1M B&B

GROUND COVER & VINES

2 HA	HYDRANGEA PETIOLARIS
12 SS	SAGINA SUBULATA 'AUREA'

CLIMBING HYDRANGEA	#3
SCOTCH MOSS	10CM

LEGEND



C.I.P. CONCRETE SURFACE
STAMPED FINISH - COLOURS
PATTERN TO BE DETERMINED
BY OWNER



C.I.P. CONCRETE SURFACE
EXPOSED AGGREGATE FINISH
NATURAL COLOUR



RIVER ROCK OVER
LANDSCAPE FABRIC
3"-8" COBBLES



LAWN AREA



NEW CEDAR PANEL FENCE - 3'



MORTARED ROCK RETAINING WALL



NATURAL FLAGSTONE PATH



LOOSE PLACED BOULDER



GROUNDCOVER PLANTING
AREA

NOTES

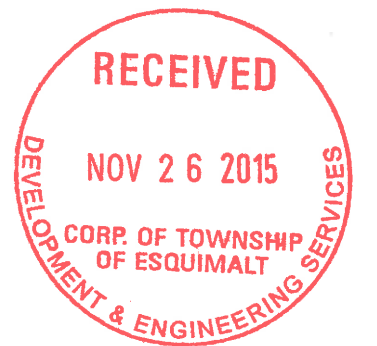
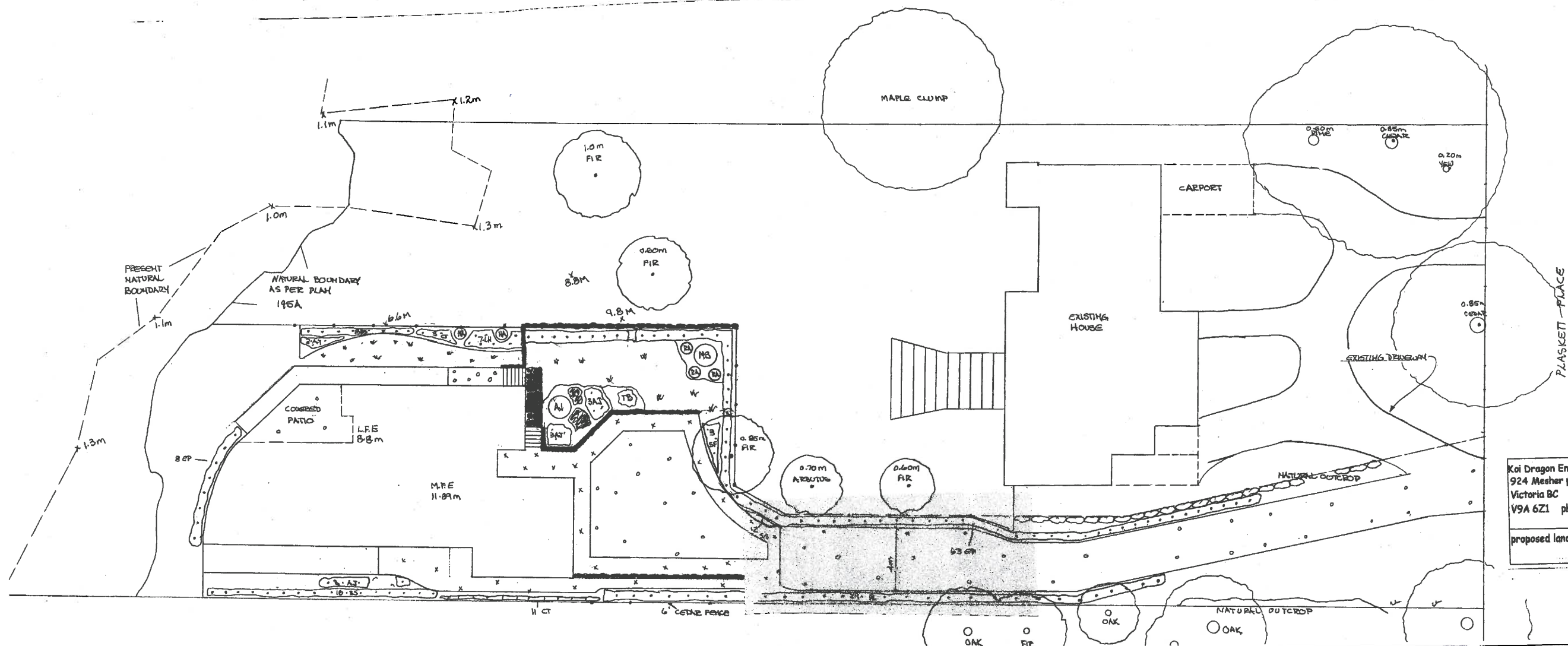
DRAWING NOT TO BE SCALED - ALL DIMENSIONS, DATUMS, AND LEVELS
MUST BE VERIFIED PRIOR TO COMMENCEMENT OF WORK

ALL BUILDING LAYOUT, SETBACK DIMENSIONS, ALL SURVEY
INFORMATION (INCLUDING BASE GEODETIC ELEVATIONS) SUPPLIED
BY MESA DESIGN GROUP

PLANTING MATERIAL, INSTALLATION, AND MAINTENANCE TO CONFORM
TO BCSLA/BCLNA STANDARD

ALL GROWING MEDIUM IN SHAUB BEDS TO BE MIN. 450 MM IN
DEPTH, LAWN AREAS TO BE MIN. 150 MM IN DEPTH

ALL GROWING MEDIUM TO COMPLY TO BCSLA/BCLNA STANDARD
DESIGNATION "1P-LEVEL 1 WELL GROOMED AREAS"



Koi Dragon Enterprises Ltd. 924 Mesher place Victoria BC V9A 6Z1 phone 250-383-0285 cell 250-704-8338	scale: 1:125 date: OCT 19 2013 drawn by: BL proposed landscape for: MR HODSON PLASKETT PLACE
---	--

PROPOSED SUBDIVISION PLAN OF LOT 8, BLOCK 14, SECTION 11, ESQUIMALT DISTRICT, PLAN 195A.

SCALE=1:250 All distances are in metres

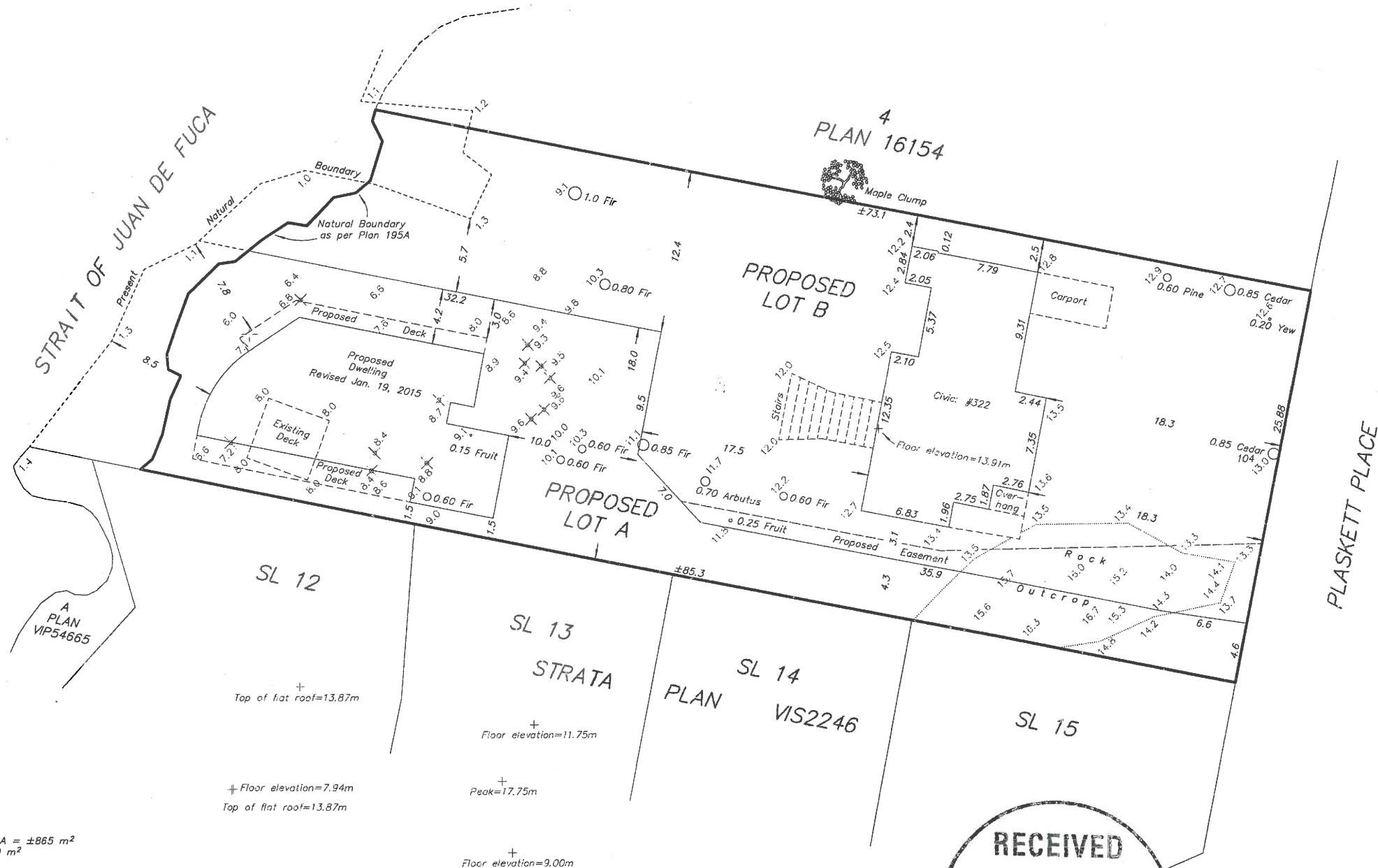
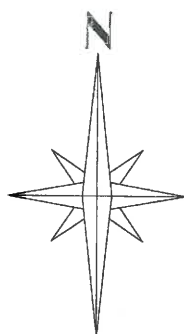


NOTE: Elevations shown are based upon geodetic datum. Lot dimensions, areas and offsets to boundaries shown may vary upon completion of a Legal Survey.

LEGEND

- 0.80 Fir Denotes tree location, diameter and species
- ✕ Denotes 1"x2" wood stake set
- ⚡ Denotes flagging
- ⬆ Denotes ground elevation

Field survey completed April 18, 2012.



AREA TABLE

NOTE:
Present Natural Boundary subject to approval prior to reliance.

Proposed Lot A:
Total approximate area to Natural Boundary as per Plan 195A = $\pm 865 \text{ m}^2$
Total approximate area to Present Natural Boundary = $\pm 969 \text{ m}^2$
Proposed access strip area = 183 m^2

Proposed Lot B:
Approximate area to Natural Boundary as per Plan 195A = $\pm 1581 \text{ m}^2$
Approximate area to Present Natural Boundary = $\pm 1568 \text{ m}^2$

File: 6-LUNT-SD3
Date: July 30, 2014
Island Land Surveying Ltd.
1-15 Cadillac Avenue
Victoria, B.C. V8Z 1T3
Tel 250.475.1515 Fax 250.475.1516
www.islandsurveying.ca

