

445 Grafton Street

ESQUIMALT, BC : NEW SINGLE FAMILY DWELLING

PROJECT TEAM:

RESIDENTIAL DESIGNER:	LATITUDE 48 DESIGN LTD. Ryan@latitude48design.com 778.977.4848
INTERIOR DESIGNER:	SAM SCOTT INTERIOR DESIGN STUDIO LTD. 250.886.6036
GENERAL CONTRACTOR:	MAC RENO DESIGN BUILD LTD. 778.403.5413
STRUCTURAL ENGINEER:	ED KYLE ENGINEERING LTD. 250.475.6906
SURVEYOR:	EXPLORER LAND SURVEYING INC. 250.381.2257
ARBORIST:	D. CLARK ARBORICULTURE LTD. 250.208.1568
MECHANICAL DESIGN & ENG.:	ALTUM ENGINEERING LTD. 250.702.4215
LANDSCAPE DESIGN:	GREENSPACES DESIGN 250.893.9496

PROJECT ADDRESS:

SITE ADDRESS: 445 GRAFTON STREET

LEGAL DESCRIPTION: LOT A, PLAN VIP32070, SUBURBAN LOT 30, ESQUIMALT LAND DISTRICT

PID: 001-105-248

PROJECT SCOPE:

CONSTRUCTION OF A NEW SINGLE FAMILY DWELLING

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ZONING ANALYSIS:

ZONE:	RS-3	
LOT AREA:	2091.9m2	
AVG. GRADE:	6.65m	
ZONING REQUIREMENTS	ALLOWABLE	PROPOSED
FLOOR SPACE RATIO (FSR):	0.35	0.12
GROSS FLOOR AREA (GFA):		
MAIN FLOOR:		228.8m2
BASEMENT:	EXEMPT IF CEILING IS LESS THAN 1.2m BELOW GRADE	215.9m2 (EXEMPT)
GARAGE:	45.0m2 EXEMPT	61.1m2 (45.0m2 EXEMPT)
TOTAL:	732.1m2	244.9m2
LOT COVERAGE:		
HOUSE:		422.2m2
TOTAL:	30% (627.5m2)	422.2m2 (20.9%)
HEIGHT:	7.30m + (SEE COVENANT)	4.94m
SETBACKS: TO FACE OF CLADDING		
FRONT (N):	7.50m	2.57m
BACK (S):	7.50m/10.00m/15.00m	12.22m
SIDE (E):	1.50m	1.62m
SIDE (W):	3.60m	2.19m
COMBINED SIDEYARD:	4.50m	3.99m

ENERGY & STEP CODE ANALYSIS:

STEP CODE TARGET: CLIMATE ZONE 4	STEP CODE LEVEL 5 (NET ZERO)
ACH 50 (AIR CHANGES PER HOUR @ 50 Pa)	≤ 1.0 ACH
TEDI (THERMAL ENERGY DEMAND INTENSITY)	15 kwh/m ² /year
MEUI (MECHANICAL ENERGY USE INTENSITY)	25 kwh/m ² /year

COMMUNITY MAP:

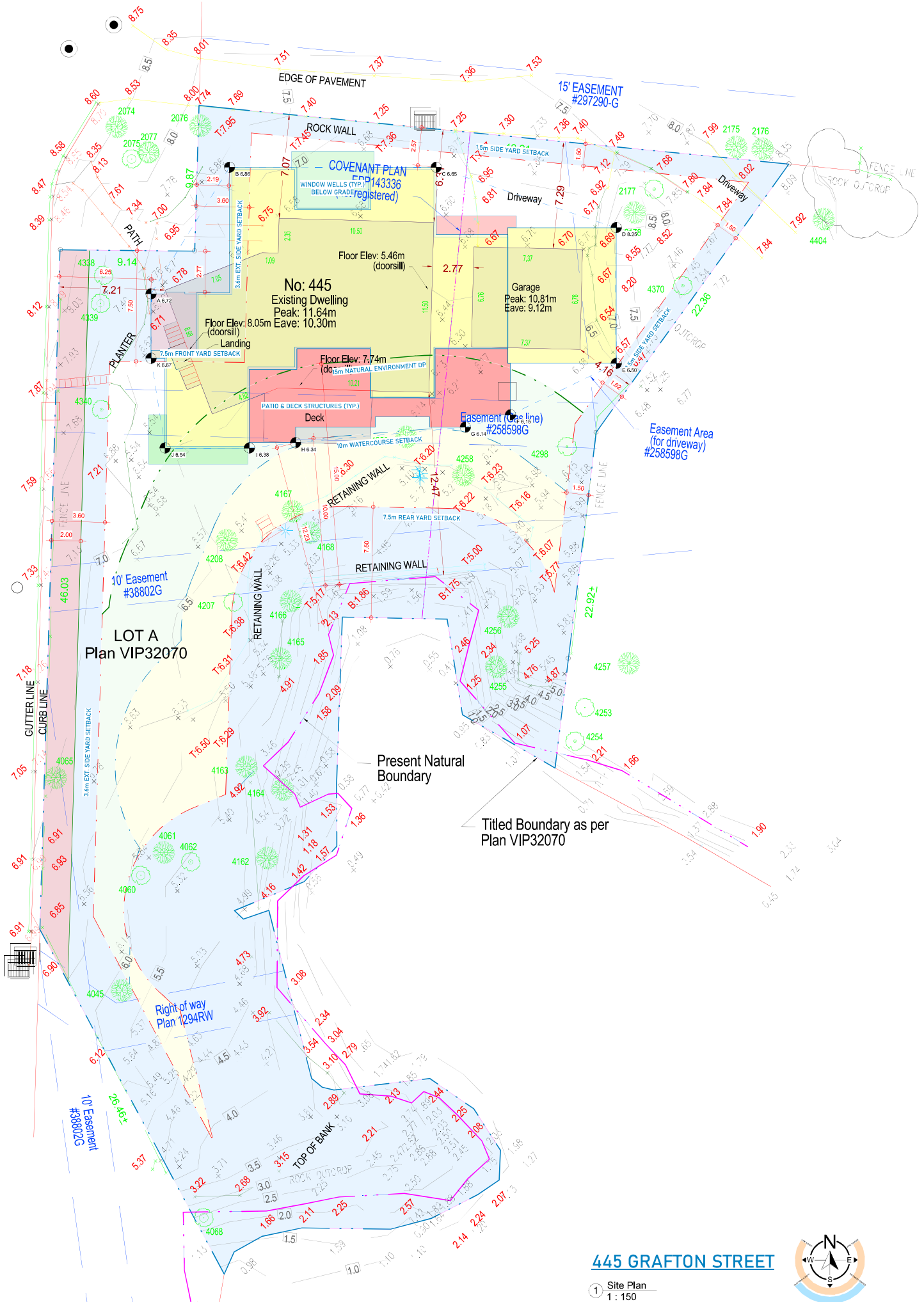


FLOOR AREA CALCULATION:

MAIN FLOOR:	2535 SF
BASEMENT FLOOR:	2233 SF
TOTAL LIVING AREA:	4868 SF
GARAGE AREA:	657 SF
COMPLETE SF:	5515 SF

AVERAGE GRADE CALC. (HOUSE)

POINT	GRADE (M)
A	6.72
B	6.86
C	6.65
D	8.25
E	6.50
F	6.15
G	6.14
H	6.34
I	6.38
J	6.56
K	6.67
TOTAL	73.2 / 11 = 6.65m



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25Dec12 Issue for DVP

Project:

445 Grafton
Street

Sheet Title:

Site Plans

Project No.

25001

Sheet No.

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Project:

445 Grafton Street

Sheet Title:

Site Development Plan

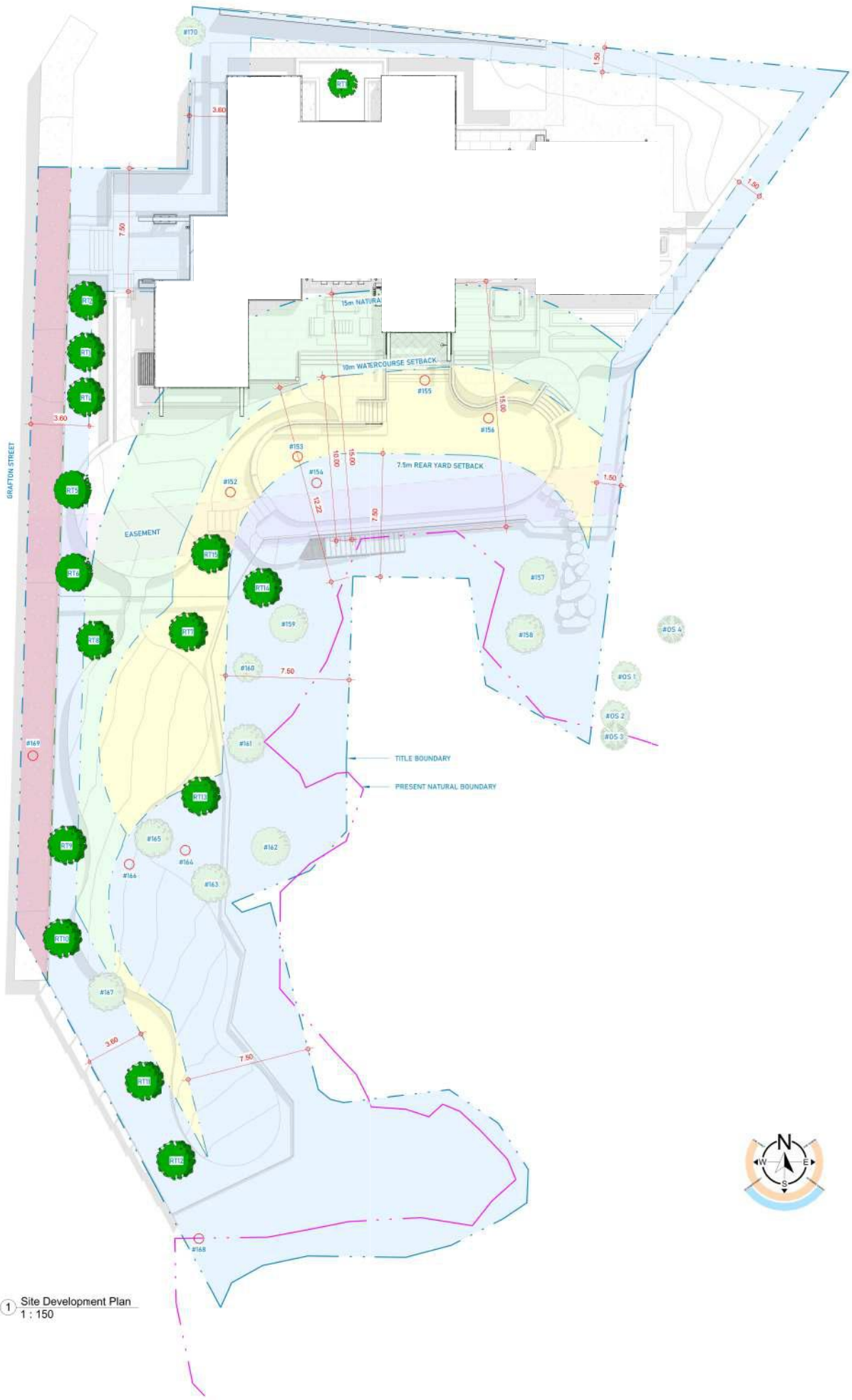
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A0.3



Top of Roof - Limit
11.62
T.O. Roof
11.59
Top of Garage - Lmt.
10.81
T.O. Tall Walls
10.47
T.O. Main Walls
9.86

Main Floor
7.10
T.O. Basement
6.77
Avg. Grade
6.65
Existing Basement
5.46

Basement Floor
4.31
Foundation
3.83

2 West
1/4" = 1'-0"

ELEVATION MATERIALS:		EXTERIOR FINISH DETAILS:	
1	STANDING SEAM METAL ROOF	WINDOW TRIM	5/4 X 3 1/2" WINDOW TRIM C/W 2X3 SLOPED SILL
2	FIBRE CEMENT BOARD & BATTEN	DOOR TRIM	5/4 X 3 1/2" DOOR TRIM
3	K2 STONE (ARBUTUS FIELD STONE VENEER)	SOFFIT	CHAMCLAD MODERN 4" SOFFIT C/W CONTINUOUS VENTING
4	CHAMCLAD MODERN 4" SHADOWLINE PANELS	GUTTER	5" ALUMINUM GUTTER
5	SKYLIGHTS	BARGE BOARD	14" BUILT-UP TRIM BOARD (5/4 STOCK 9 1/4" + 7 1/4" TRIM STACK)
6	CUSTOM I-BEAM KNEE BRACE	FASCIA BOARD	14" BUILT-UP TRIM BOARD (5/4 STOCK 9 1/4" + 7 1/4" TRIM STACK)

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Basement Floor
4.31
Foundation
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1 South
1/4" = 1'-0"

GENERAL FRAMING NOTES:	
1)	ALL FRAMING TO BE IN ACCORDANCE WITH THE CURRENT BC BUILDING CODE
2)	ALL LUMBER TO BE 4" X 4" OR BETTER UNLESS NOTED OTHERWISE
3)	DOUBLE CRIPPLE STUDS TO BE USED ON ALL LINTELS OVER 3.0m (9'10") IN SPAN
4)	ALL WALL AND ROOF SHEATHING TO BE 1/2" PLYWOOD UNLESS NOTED OTHERWISE
5)	ALL LINTELS TO BE MINIMUM 2-PLY 2X8 LUMBER UNLESS NOTED OTHERWISE
6)	ALL CONCRETE TO BE A MINIMUM 28MPa AT 28 DAYS, 32MPa FOR ALL FLOORS AS PER CBC
7)	ENG. DRAWINGS WILL SUPERSEDE ALL DESIGN NOTES AND DETAILS
8)	ALL EXPOSED LUMBER TO BE TREATED WITH AN INDUSTRY APPROVED PRESERVATIVE
9)	DO NOT SCALE DRAWINGS - REQUEST ADDITIONAL DIMENSIONS IF REQUIRED
10)	TYPICAL WINDOW & INTERIOR DOOR HEIGHTS:
BASEMENT:	7'0" & 7'1"
MAIN FLOOR:	7'1" & 7'2"
PLAN LEGEND:	
WALL:	
LINE OF ROOF OVER	
LINE OF INTERIOR VAULT	
LINE OF FLOOR OVER	
LINE OF WALL BELOW	
POST/COLUMN	
ORDER TRUSS	
DROP BEAM	
FLASH BEAM	
SMOKE DETECTOR (CEILING/PHOTO ELECTRIC)	
DOOR SIZE TAG: DEFINES INTERIOR DOOR SLAB VERIFY EXTERIOR S/D	2'0" X 7'0"
WINDOW SIZE TAG: DEFINES WINDOW OPENING (U.N.O.)	2'0" X 3'0"
JOIST/TRAPER SPAN DIRECTION	
ROOM TAG - CL NAME & AREA	

GRAFTON



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25Dec12 Issue for DVP

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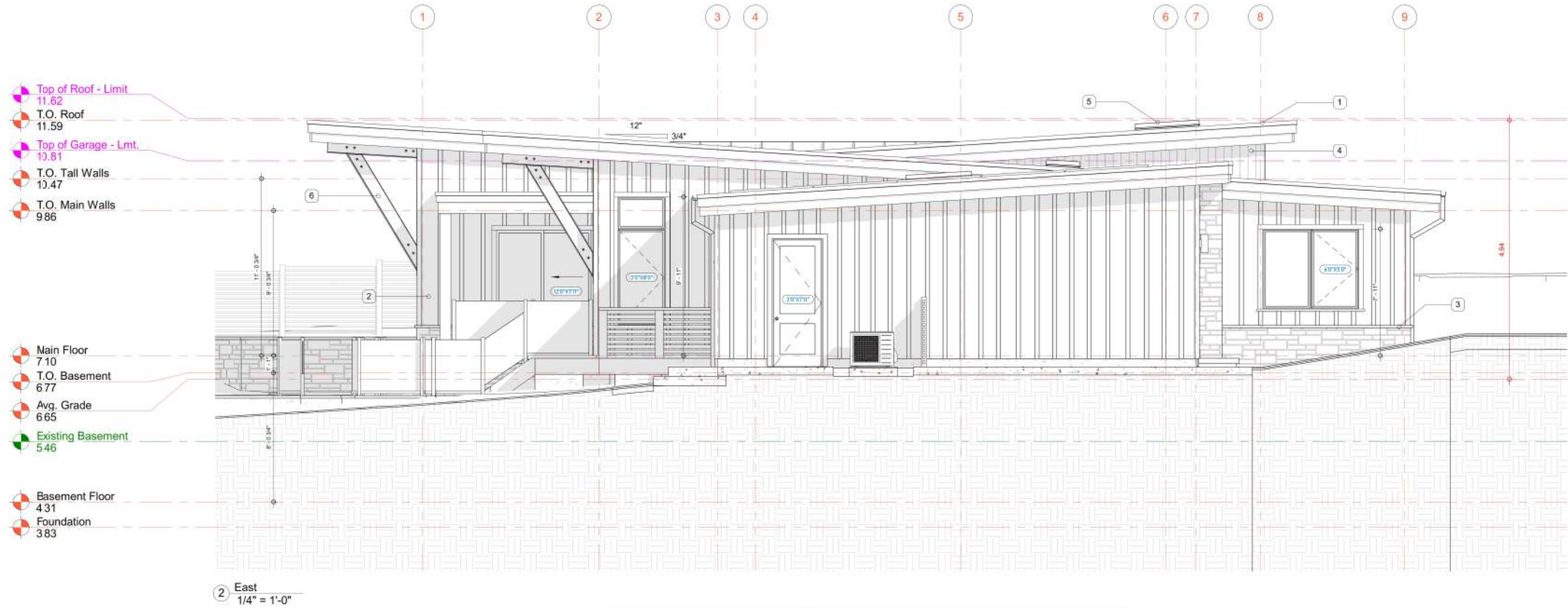
Sheet Title:
Elevations

Project No.
25001

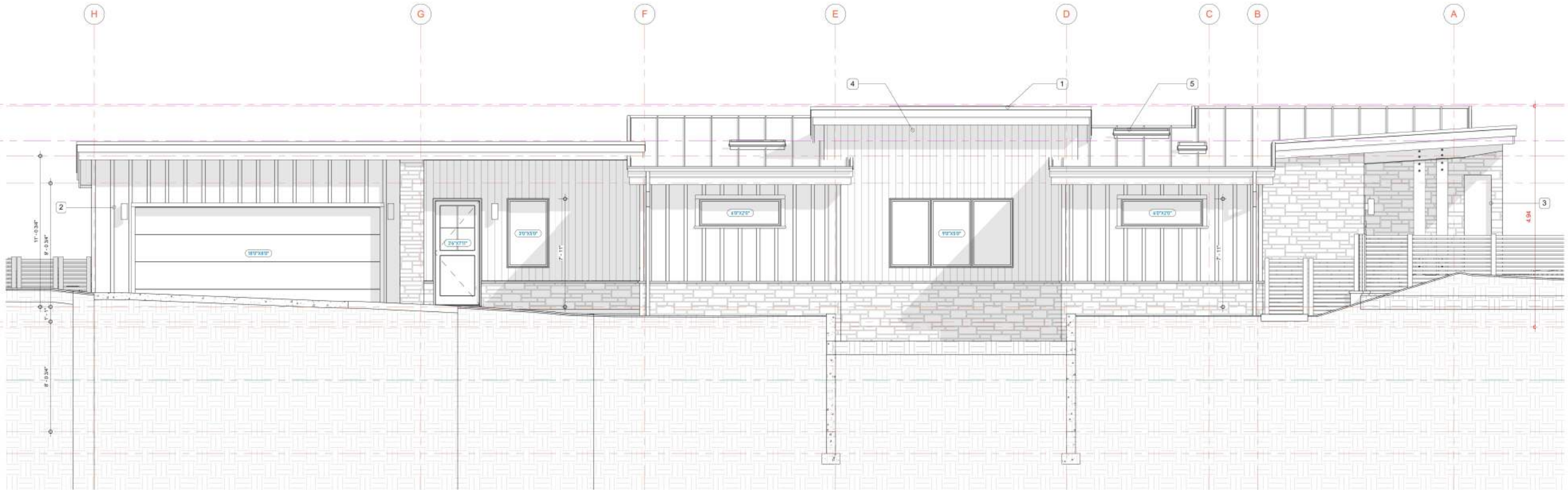
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FLOOR AREA CALCULATION:	
MAIN FLOOR:	2535 SF
BASEMENT FLOOR:	2323 SF
TOTAL LIVING AREA:	4858 SF
GARAGE AREA:	497 SF
COMPLETE SF:	5355 SF



ELEVATION MATERIALS:		EXTERIOR FINISH DETAILS:	
1	STANDING SEAM METAL ROOF	WINDOW TRIM	5/4 X 3 1/2" WINDOW TRIM C/W ZK3 SLOPED SILL
2	FIBRE CEMENT BOARD & BATTEN	DOOR TRIM	5/4 X 3 1/2" DOOR TRIM
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MAIN FLOOR:	7'1" & 7'1"

PLAN LEGEND:	
WALL:	
LINE OF ROOF OVER:	
LINE OF INTERIOR VAULT:	
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LINE OF WALL BELOW:	
POST/COLUMN:	
ORDER TRUSS:	
DROP BEAM:	
FLUSH BEAM:	
SMOKE DETECTOR (CEN/PHOTO ELECTRIC):	
DOOR SIZE TAG: DEFINES INTERIOR DOOR SLAB VERIFY EXTERIOR S/D:	2'0" X 7'0"
WINDOW SIZE TAG: DEFINES ROUGH OPENING (O.N.G.):	7'0" X 5'0"
JOIST/TRAPPER SPAN DIRECTION:	
ROOM TAG - ID, NAME & AREA:	

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Project:
445 Grafton Street

Sheet Title:
Elevations

Project No.
25001

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FLOOR AREA CALCULATION:	
MAIN FLOOR:	2535 SF
BASINENT FLOOR:	2323 SF
TOTAL LIVING AREA:	4858 SF
GARAGE AREA:	417 SF
COMPLETE SF:	5275 SF



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25Dec12	Issue for DVP

Project:
445 Grafton Street

Sheet Title:
Perspectives

Project No.
25001

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Project:
445 Grafton Street

Sheet Title:
Perspectives

Project No.
25001

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