



LAMPSON STREET RENDERING - CORNER VIEW

ENVISIONS ARCHI-MEDIA, Brian Kendrick, T-Square Design, Dave Lunt

LEDGESTONE
VENEER & POST
Natural Stone Ledgestone
features a natural weath-
ered face, split face and
new surface finishes.

ROOF - BP
"Mystique 42"
BP - Canale
"Mystique 42" Roofing Shingle
Black Shadow - Fiberglass
mat with a mineral-granule
surface, this laminate
asphalt shingle

LAP SIDING - BLDG.
"B - C"
Benjamin Moore
Kendall Charcoal HC-166
LRV: 12.96

TRIM - ALL BLDG.
TRIM & BB SIDING
Benjamin Moore
Cloud White CC-40
LRV: 87.35

LAP SIDING - BLDG.
"A - D"
Benjamin Moore
Brookline Beige HC-47
LRV: 40.29

GUTTER & SOFFIT
GENTEX - Gutter & Soffit
Sovereign White
LRV: 89.7

FRONT DOOR
Natural Cedar

ISSUED FOR DP/REZONING
May 03, 2018

Proposed Residence for :

RYAN JABS
939 Colville Rd., Esquimalt, BC

DATE: April 26 2018
DRAWN BY: Author
JOB #: A16-***
SHEET:
A500
SHEET A500 OF 500

PLOT STAMP 5/2/2018 10:29:31 AM

T-SQUARE
design consulting

T-Square
Design
T-Square Designs
2950 Lakeshore Drive
Victoria, BC V9B 4S5
250-361-5411

design@tsquare.ca

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**CORP. OF TOWNSHIP
OF ESQUIMALT
DEVELOPMENT SERVICES**

GENERAL NOTES:
1. All drawings, plans, models, design specifications and other documents prepared by T-Square Design ("TSD") and used in connection with this project are the property of TSD. They shall not be used for any other work or project without the written consent of TSD. If they are used for any other work or project, the user shall indemnify and hold TSD harmless from all claims, damages, costs and expenses, including reasonable attorneys' fees, that may be incurred by TSD as a result of such use.
2. It is the responsibility of the Contractor to verify all dimensions, elevations, and site conditions as applicable to the project and the proposed work. The Contractor shall notify the Designer of any errors, omissions or discrepancies identified within the drawings prior to commencement of the work. Commencement of construction or any part thereof constitutes acceptance of the drawings, including the existing site conditions, and means dimensions and elevations have been considered, verified and are acceptable.
3. The Contractor shall work with a B.C.L.I. to verify compliance with all applicable laws, codes and regulations of the Province of British Columbia and the City of Esquimalt. The Contractor shall be responsible for any amendments with respect to elevation, site or placement. Any proposed changes with respect to elevation, site or placement shall be confirmed with a B.C.L.I. prior to execution.
4. The Contractor shall engage a Professional Engineer licensed in the Province of BC for the design and field review of all structural components and systems within the work as required by the Authority Having Jurisdiction. Prior to commencement of the work, the Contractor shall notify TSD of any changes to the design required by the Structural Engineer, from manufacture or other engineered component supplier.



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CORP. OF TOWNSHIP
OF ESQUIMALT
DEVELOPMENT SERVICES

T-Square Design
2950 Lakehurst Drive
Victoria, BC V9B 4S5
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GENERAL NOTES:

1. All drawings, plans, models, designs, specifications and other documents prepared by T-Square Design ("TSD") and used in connection with this project are the property of TSD and shall remain the property of TSD whether the work is completed or not, and TSD reserves the right to reuse the drawings, plans, models, designs, specifications and other documents for any other work or project.

2. It is the responsibility of the Contractor to verify all dimensions, elevations, and site conditions as applicable to the project and the proposed work. The Contractor shall notify the Designer of any errors, omissions or discrepancies identified within the drawings prior to commencement of the work. Commencement of construction or any part thereof constitutes acceptance of the drawings, acceptance of the working conditions, and means dimensions and elevations have been considered, verified and are acceptable.

3. The Contractor shall work with a B.C.L.S. to verify conditions proposed, along and location of the proposed buildings or structures on the property prior to commencing the work. TSD is not responsible for any encroachments with respect to existing, existing or proposed structures, existing or proposed buildings or structures on the property prior to commencing the work.

4. The Contractor shall engage a Professional Engineer (P.E.) to verify the design and field review of all structural components and systems within the work as required by the Authority Having Jurisdiction. Prior to commencement of the work, the Contractor shall notify TSD of any changes to the design related to the Structural Engineer, trade manufacture or other engineered component supplier.

Proposed Residence for:

RYAN JABS
939 Colville Rd., Esquimalt, BC

ENVISIONS ARCHI-MEDIA, Brian Kendrick, T-Square Design, Dave Lunt

DATE: April 26 2018
DRAWN BY: MS
JOB #: A16-***
SHEET:
A501
SHEET A501 OF 501

COLVILLE ROAD RENDERING - CORNER VIEW

LEDGESTONE VENEER & POST Natural Stone Ledgestone features a natural weathered face, split face and hewn surface finishes.	ROOF - BP "Mystique 42" BP Canada "Mystique 42" Roofing Shingle	LAP SIDING - BLDG. "B - C" Benjamin Moore Kendall Charcoal HC-166 LRV: 12.96	TRIM - ALL BLDG. TRIM & BO SIDING Benjamin Moore Cloud White CC-40 LRV: 87.35	LAP SIDING - BLDG. "A - D" Benjamin Moore Brookline Beige HC-47 LRV: 80.29	GUTTER & SOFFIT GENTEK Gutter & Soffit Snow White LRV: 89.7	FRONT DOOR Natural Cedar
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ISSUED FOR DP/REZONING
May 03, 2018

PROPOSED DEVELOPMENT UPON LOTS 1 & 2, BLOCK 1,
SECTION 10, ESQUIMALT DISTRICT, PLAN 6277.



NOTE:
Proposed building positions and shapes shown are based upon digital files received from the project designer June 27th, 2018.

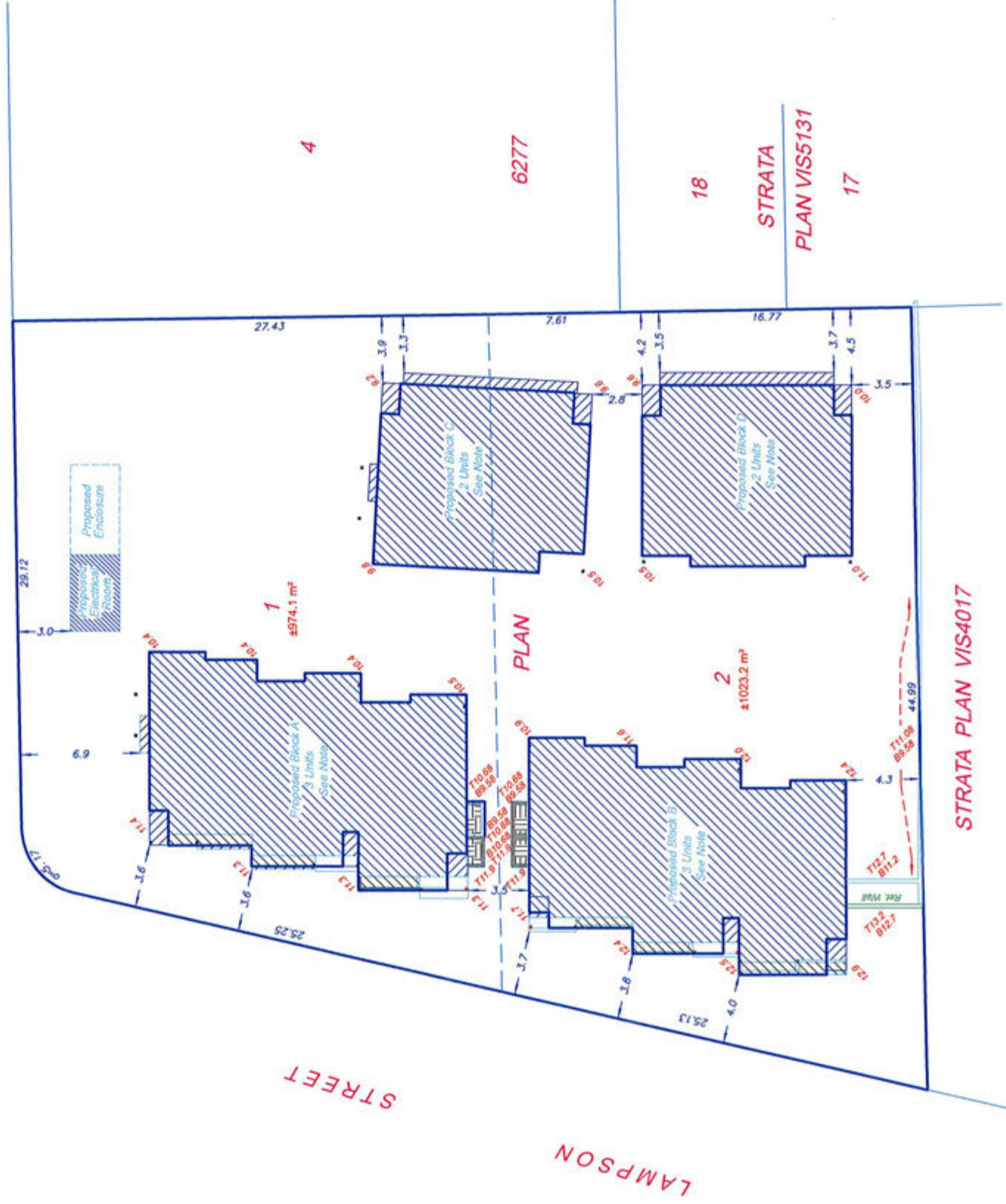
Lot dimensions, offsets, and area shown may vary upon completion of a comprehensive legal survey. Geodetic elevations shown are based upon observations to geodetic control monuments 84H0179 (Elevation= 6.162m) and 84H0253 (Elevation= 13.214m).

This plan is for building design & permit purposes only and is for the exclusive use of our client. This plan shall not be used to define property lines or property corners. Unregistered interests have not been included or considered.

LEGEND

- Denotes natural grade to geodetic datum
- Denotes proposed top of wall elevation
- Denotes proposed base of wall elevation

COLVILLE ROAD



© 2018 Island Land Surveying Ltd.

File: 22-RJ-SP7

Date: July 27, 2018

Island Land Surveying Ltd.

#117-893 Hoffman Avenue

Victoria B.C. V9B 4X1

TEL 250.475.1515 fax 250.475.1516

www.islandsurveying.ca

SITE PLAN OF LOTS 1 & 2, BLOCK 1,
SECTION 10, ESQUIMALT DISTRICT, PLAN 6277.

www.elsevier.com/locate/jmb

NOTE: For purposes of *Arctic and subarctic* have same meaning as in the definition of *Arctic* above. *Arctic* and *subarctic* are defined as follows: *Arctic* is the area within the Arctic Circle, and *subarctic* is the area between the Arctic Circle and the Tropic of Cancer.

Answer:

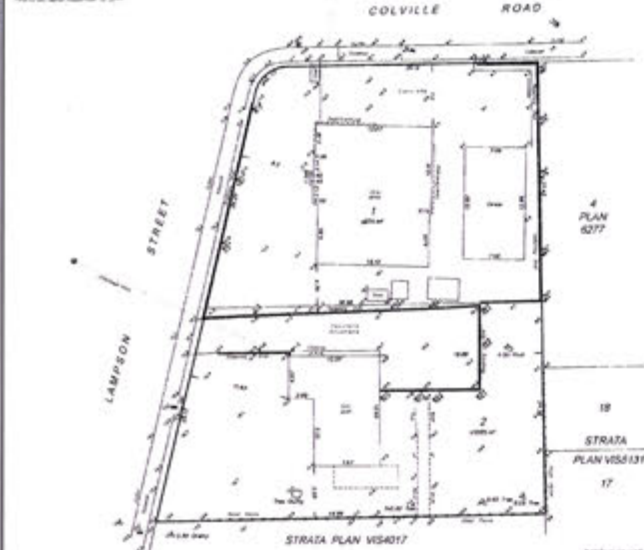
- ☐ **A** Increased social capital
- ☐ **B** Decreased public safety
- ☐ **C** Increased neighborhood trust
- ☐ **D** Decreased neighborhood trust

Correct answer:

- ☒ **A** Increased social capital
- ☐ **B** Decreased public safety
- ☐ **C** Increased neighborhood trust
- ☐ **D** Decreased neighborhood trust

Feedback:

Thank you for your response. The correct answer is A. Increased social capital.



LOT INFORMATION;
CIVIC ADDRESS
PROPOSED ZONING

939 COLVILLE ROAD
COMPREHENSIVE DEVELOPMENT

TOTAL LOT AREA	1997.00 sq.m
ALLOWABLE LOT COVERAGE 25%	(RM-3) 499.25 sq.m
PROPOSED LOT COVERAGE	
BLDG. A	204.24 sq.m.
BLDG B	200.76 sq.m.
BLDG C	127.56 sq.m.
BLDG D	130.16 sq.m.
ELECTRICAL	25.98 sq.m.

TOTAL PROPOSED LOT COVERAGE	652.80 sq.m.
32.68%	
ALLOWABLE F.A.R.	(RM-3)
70.00%	1397.90 sq.m.

PROPOSED F.A.R.	
BLDG. A	392.68sq.m.
BLDG B	355.50 sq.m.
BLDG C	280.70 sq.m.
BLDG D	280.75 sq.m.

TOTAL F.A.R.	1309.63 sq.m
65.57%	
ALLOWABLE HEIGHT	(RM-3) 9.0 m

PROPOSED HEIGHT	
BLDG. A	8.07 m
BLDG. B	7.24 m
BLDG. C	8.84 m
BLDG. D	8.54 m
ELECTRICAL	2.91 m

ELEVATIONS:	
GARAGES	9.58 m
LOWER FLOOR	9.78 m
MAIN FLOOR	12.44 m
ELECTRICAL	10.49 m
AVERAGE GRADE	
BLDG. A	10.815 m
BLDG B	11.67 m
BLDG C	9.875 m
BLDG D	10.275 m
ELECTRICAL	9.77 m

RECEIVED

JAN 11 2019

**CORP. OF TOWNSHIP
OF ESQUIMALT
DEVELOPMENT SERVICES**

General Notes

Dimensions provided shall take precedence over scale. Contractor to verify all dimensions of Building Designer and Consultants drawings prior to work commencement. Any discrepancies are to be reported immediately. Any notes elsewhere on the plans that exceed the requirements stated in the general notes take precedence. Prior to any alterations or modifications of plans or details on site, Contractor(s), tradesperson(s), or tradesperson(s) must consult the Building Designer to confirm Building Code requirements and to maintain accuracy and completeness of the plans.

All references to the "British Columbia Building Code" (B.C.B.C.) are the current edition in published edition thereto, as approved by amendment under the Powers of the British Columbia Act respecting the Building Code. It is acknowledged that the applicant understands and agrees that it is responsible for the required compliance in the current version edition. All work shall comply with the current edition of the "British Columbia Building Code" the rules and customs of best trade practice to be executed by skilled tradespersons, well equipped and adequately supervised.

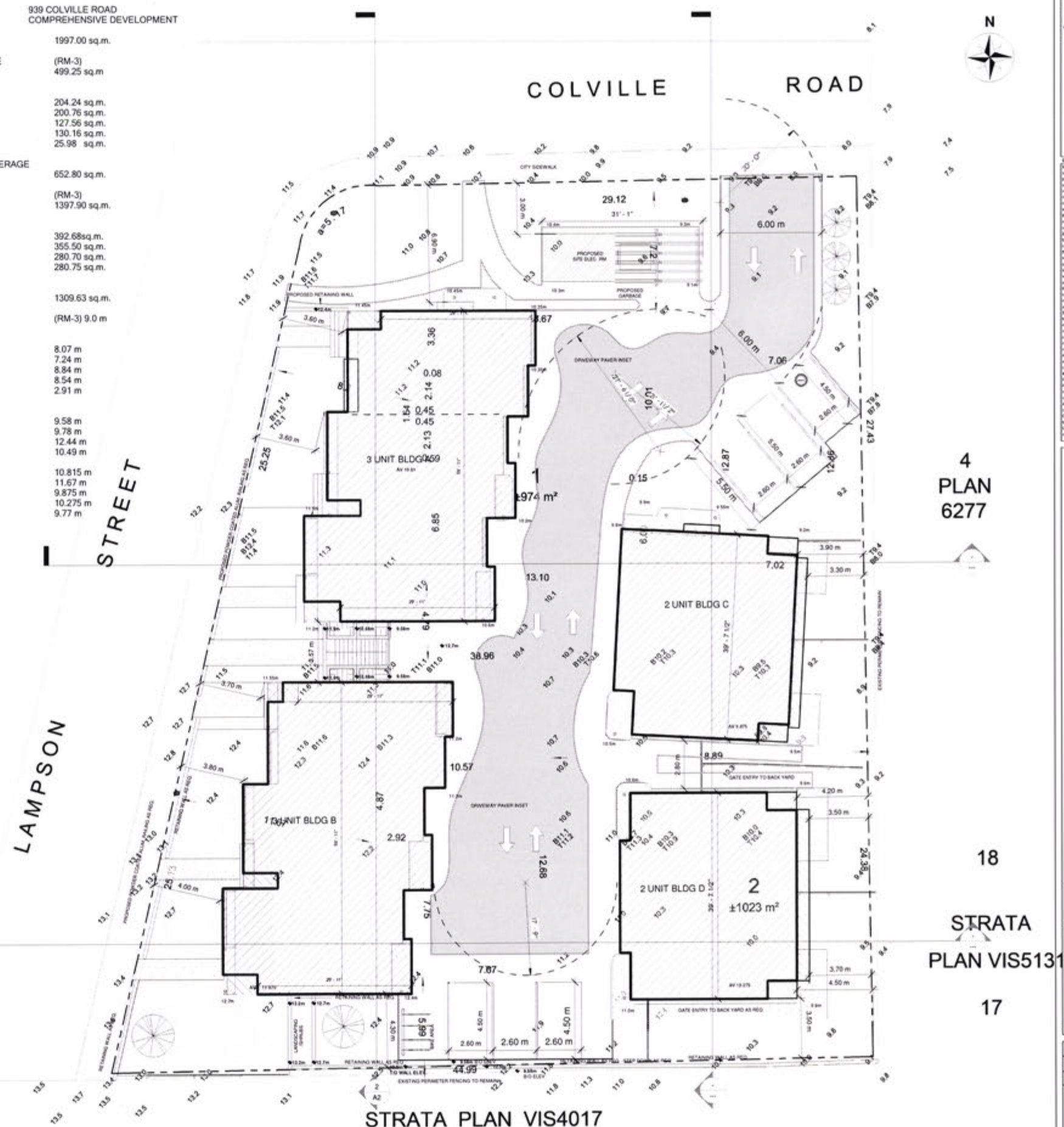
All materials to be of best quality, complying with the applicable sections of the current CSA, C393 and SCBC standards. All materials shall be used strictly according to manufacturers printed directions, where not inconsistent with the specification or situation permitted except where specified jobs to comply with SCBC 9.23.13 and to be designed by structural engineer unless noted otherwise. Structural Engineering and Truss manufacturers drawings to take precedence over structural design noted within.

SITE NOTES & SPECIFICATIONS

THE FINAL POSITIONING OF THIS BUILDING ON LOT TO BE THE RESPONSIBILITY OF THE CONTRACTOR. BEFORE STARTING CONSTRUCTION OF THE BUILDING THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS ON THESE DRAWINGS AND IF ANY DISCREPANCIES ARE FOUND THEY ARE TO BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE DESIGNER.

AT NO TIME SHALL THE CONTRACTOR SCALL OFF THESE DRAWINGS BUT SHALL BUILD TO DIMENSIONS SHOWN ONLY AFTER VERIFICATION. ANY DIVIATIONS FROM THE DRAWINGS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. ALL TRADES TO WORK TO THEIR LATEST RESPECTIVE CODES AND BY-LAWS.

① Site Plan DWG
1" = 10'-0"



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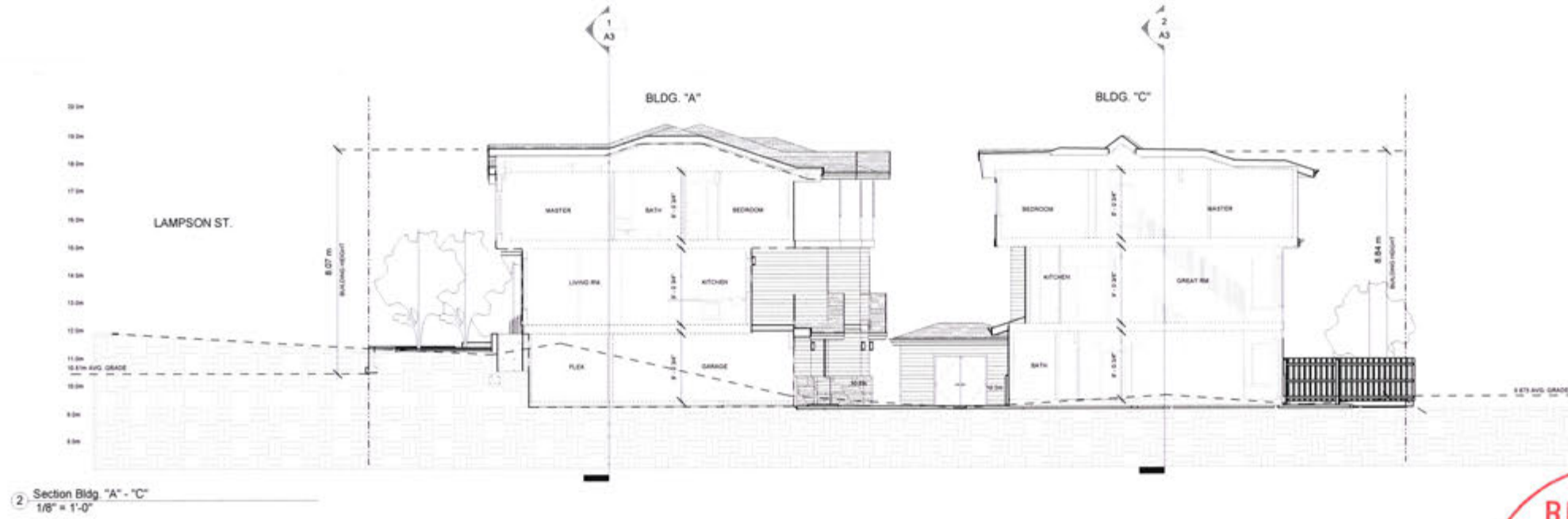
Proposed Residence for :

Mr. Ryan Jabs
939 Colville Road, Victoria, BC

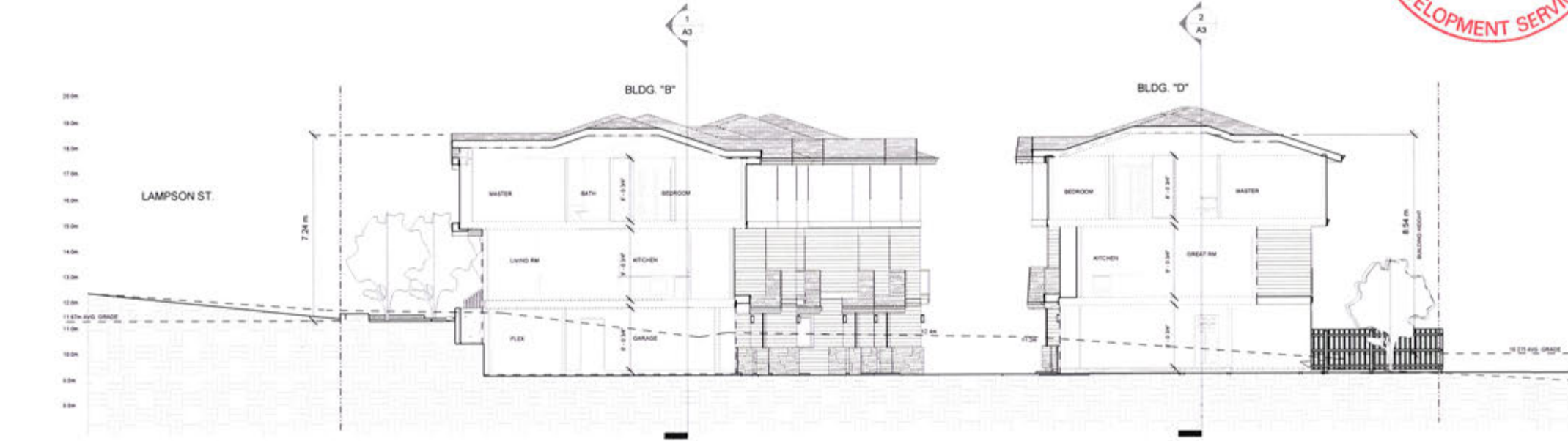
DATE: April 2016
DRAWN BY: MS
JOB #: A16-***
SHEET:

A1
SHEET A1 OA1

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2 Section Bldg. "A" - "C"
1/8" = 1'-0"

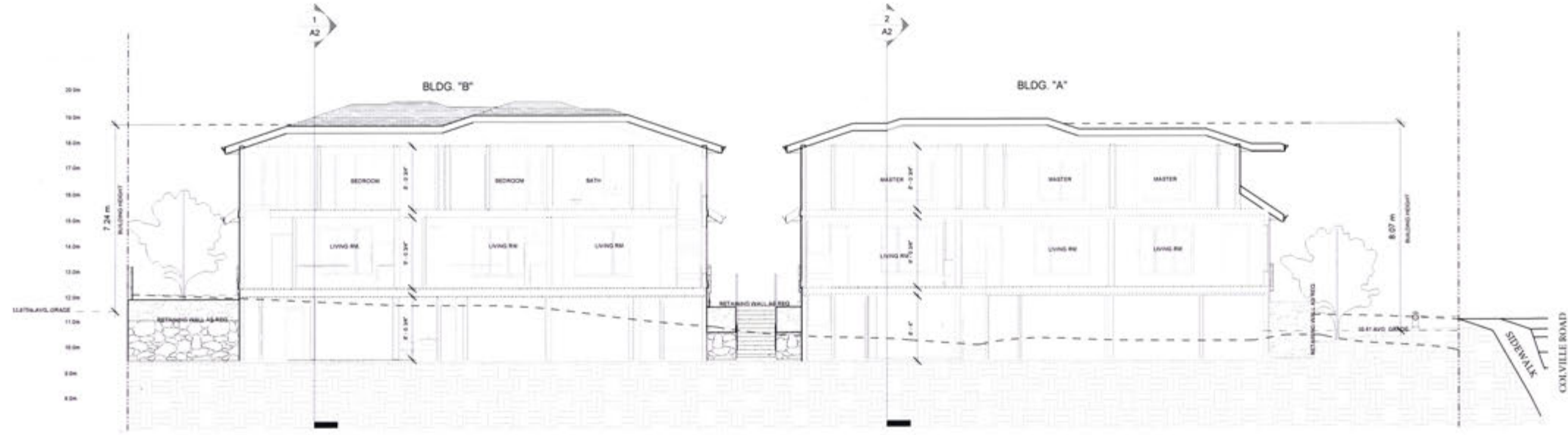


1 Section Bldg. "B" - "D"
1/8" = 1'-0"



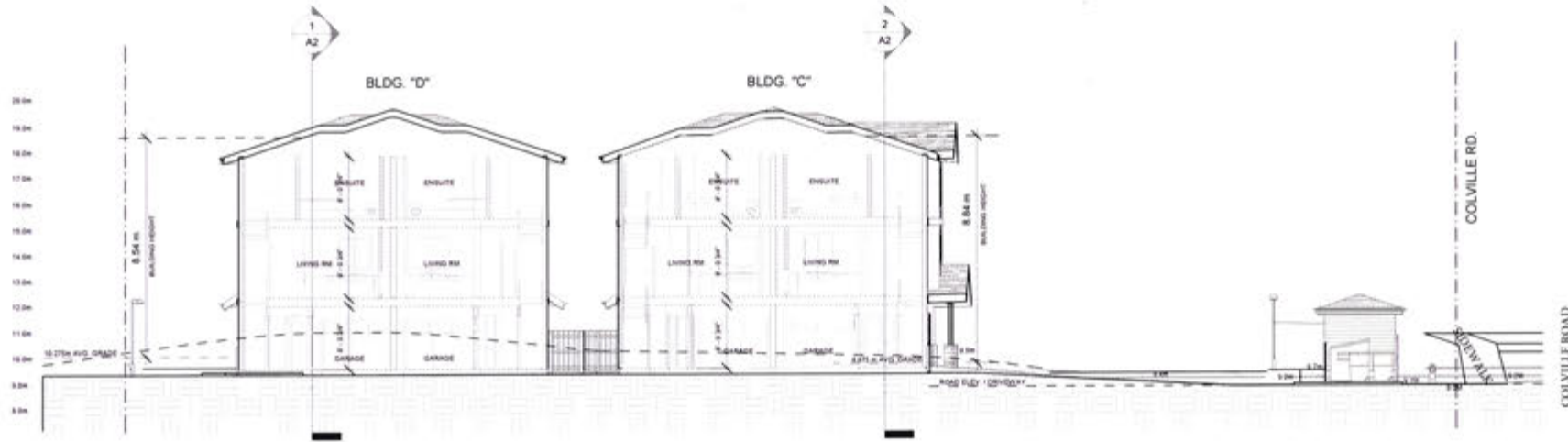
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2. It is the responsibility of the Contractor to verify all dimensions, elevations, and the conditions as applicable to the project and the proposed work. The Contractor shall notify the Designer of any errors, omissions or discrepancies identified within the drawings prior to commencement of the work. Commencement of construction or any other physical manifestation of the work shall constitute acceptance of the drawings, specifications of the existing conditions, and means, materials and methods, and the Contractor shall be responsible for any and all consequences of the work.
3. The Contractor shall work with a B.C.L.S. to verify compliance with all applicable codes and regulations, and to obtain all necessary permits and approvals from the appropriate authorities prior to commencement of the work. The Contractor shall be responsible for any and all consequences of the work.
4. The Contractor shall engage a Professional Engineer to provide a Professional Engineer's Report (PER) for the design and construction of the proposed building or structure on the property prior to commencing the work. The PER shall be submitted to the appropriate authorities for review and approval. The Contractor shall be responsible for any and all consequences of the work.
5. The Contractor shall engage a Professional Engineer to provide a Professional Engineer's Report (PER) for the design and construction of the proposed building or structure on the property prior to commencing the work. The PER shall be submitted to the appropriate authorities for review and approval. The Contractor shall be responsible for any and all consequences of the work.

Proposed Residence for:
Mr. Ryan Jabs
939 Colville Road, Victoria, BC



① Section BLDG. "A" - "B"
1/8" = 1'-0"

NOT FOR PERMIT
FOR REVIEW ONLY



② Section BLDG. "C" - "D"
1" = 10'-0"



Proposed Residence for :

Mr. Ryan Jabs
939 Colville Road, Victoria, BC

DATE: JUNE 2018
DRAWN BY: MS
JOB #: A16-***
SHEET:
A3
SHEET A3 OF 3


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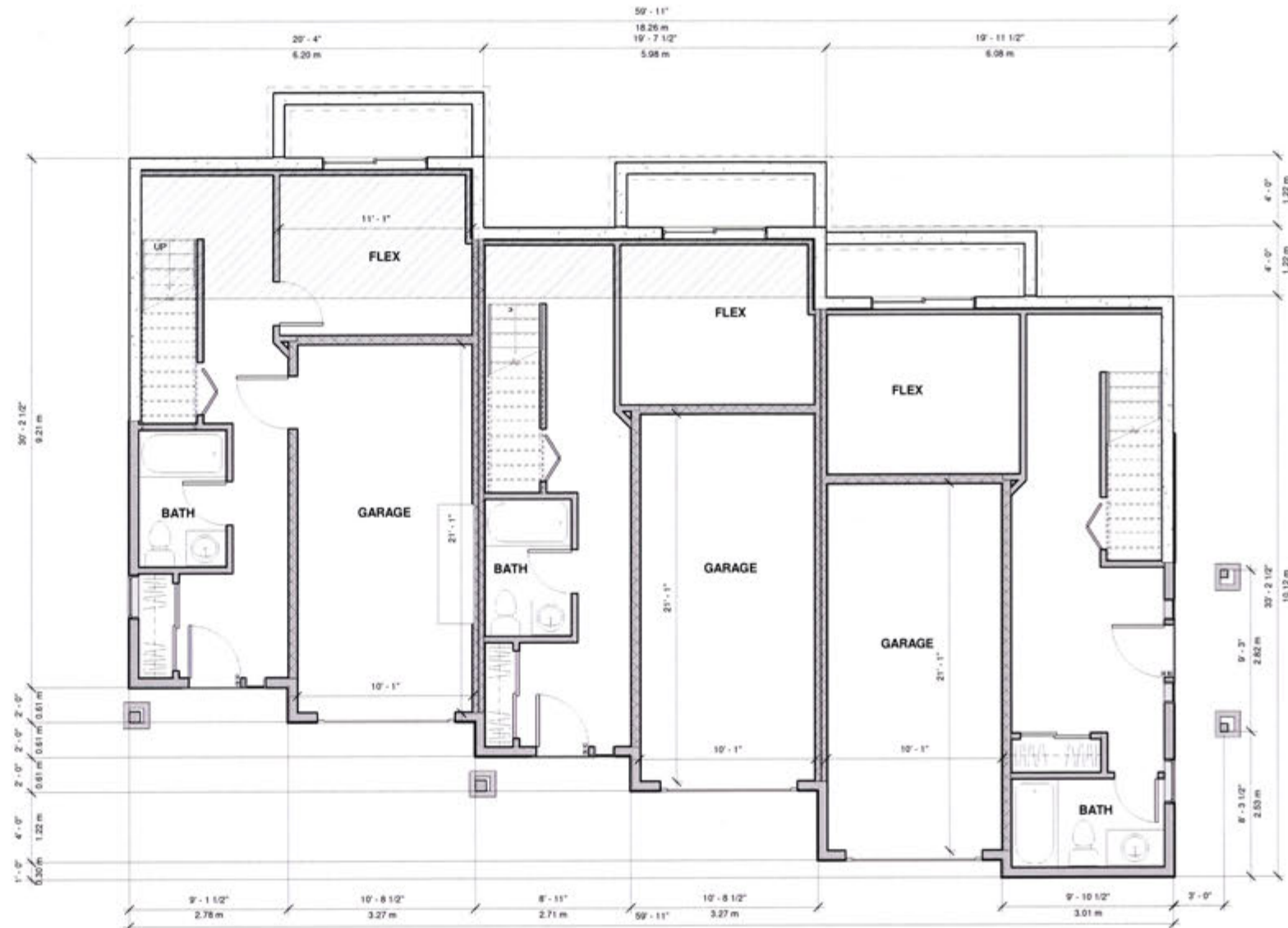
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SITE NOTES & SPECIFICATIONS

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LOWER FLOOR PLAN
1/4" = 1'-0"
JAB 1/11/18
F.A.S. 1/11/18

1 GROUND FLOOR BLDG. A
1/4" = 1'-0"

General Notes

Dimensions provided shall take preference over scale. Contractor to verify all dimensions of Building Designer and Contractor drawings prior to work commencing. Any discrepancies are to be reported immediately. Any notes elsewhere on the plans that contradict the requirements stated in the general notes take precedence.

Prior to any alterations or modifications of plans or details on site, Contractor(s), tradesperson(s), or subcontractor(s) must contact the Building Designer to confirm Building Code requirements and to ensure accuracy and completeness of the plans.

All references to the "British Columbia Building Code" (B.C.B.C.) are to current edition or published revision thereof, as approved by municipal order by the Province of British Columbia. Any reference to a dated edition or version is to be assumed for the equivalent requirement in the most current edition. All work shall comply with the current edition of the "British Columbia Building Code", the rules and customs of best trade practice to be followed by skilled tradespersons, and accepted and adequate supervision.

Surveyor and/or Contractor to confirm all aspects of siting and placement of structure on lot. Contractor not responsible for placement, in the event that the proposed new or existing structure does not conform to the requirements of the B.C. Building Code or engineering may be necessary and such services are for the owner's account.

All materials to be of best quality, complying with the applicable sections of the current B.C.A., C.O.B.I. and B.C.B.C. standards. All materials shall be used strictly according to manufacturers printed directions, where not inconsistent with this specification, no details permitted except where specified. All work shall comply with the B.C.B.C. 2.3.13 and be designed by structural engineer unless noted otherwise. Structural Engineering and Trade Manufacture drawings to take precedence over structural design notes within.

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2. The Contractor shall work with a B.C.E.S. to verify compliance placement, siting and placement of the proposed building or structure on the property prior to commencing the work. TSQ is not responsible for any inaccuracies with respect to siting, siting or placement. Any proposed changes with respect to siting, siting or placement shall be confirmed with a B.C.E.S. prior to construction.
3. The Contractor shall engage a Professional Engineer to provide the Professional Engineer's report to the Province of BC for the design and full review of all structural components and systems within the work as required by the Authority having jurisdiction. Prior to commencement of the work, the Contractor shall notify TSQ of any changes to the design required by the Structural Engineer, from manufacturer or other professional component supplier.



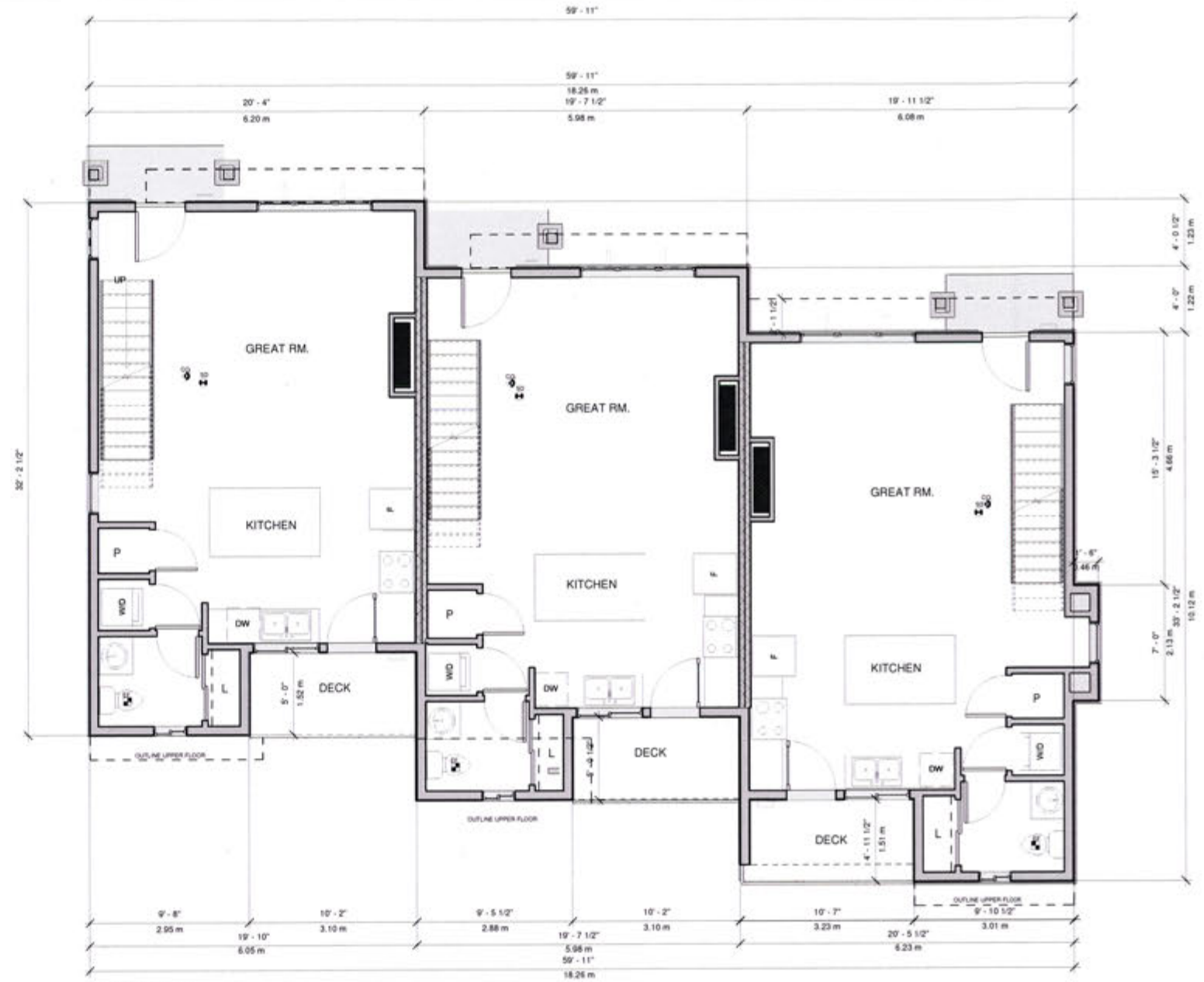
Proposed Residence for:

RYAN JABS - BLDG "A"
939 Colville Rd., Esquimalt, BC

DATE: April 26 2018
DRAWN BY: ACS
JOB #: A16-***
SHEET:

A1
SHEET A1 OF 1

VENTILATION TO BE DESIGNED BY HVAC
IN ACCORDANCE TO BCBC 2012 (9.32)



MAIN FLOOR PLAN
1850.46 SF (171.90 ms)
F.A.R 1740.59 SF (161.70 ms)

1 MAIN FLOOR BLDG. A
1/4" = 1'-0"



Proposed Residence for:

RYAN JABS - BLDG "A"
939 Colville Rd., Esquimalt, BC

DATE: April 26 2018
DRAWN BY: JES
JOB #: A16-***
SHEET:
A2
SHEET A2 OR 2

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[illegible]

Calculations new Floor Plan Updates.net



UPPER FLOOR PLAN
2041.28 SF (189.63 ms)
F.A.R. 1931.29 SF (129.41 ms)

① THIRD FLOOR BLDG. A
1/4" = 1'-0"



Proposed Residence for:

RYAN JABS - BLDG "A"
939 Colville Rd., Esquimalt, BC
\\user\2\Users\VPUD PROJECTS\Tiquena_Models\519 Colville Townhomes\1\Model\Modell1 Floor Plans_Oct_2008.dwg

DATE: April 26 2018
DRAWN BY: Author
JOB #: A16-***
SHEET:

A3
SHEET A3 OR3


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2950 Lakehurst Drive
Victoria, BC, V8B 4B5
250-361-5411

6. **WARRANTY.** The Contractor shall warrant, defend, protect and hold harmless the City of Houston, its officers and other occupants, successors, assigns, attorneys-in-fact, and agents, from and against all claims, damages, losses, and expenses, including reasonable attorneys' fees, that may be asserted against or incurred by the City of Houston, its officers and other occupants, successors, assigns, attorneys-in-fact, and agents, on account of the performance or non-performance of the work under this contract. The Contractor shall also defend, protect and hold harmless the City of Houston, its officers and other occupants, successors, assigns, attorneys-in-fact, and agents, from and against all claims, damages, losses, and expenses, including reasonable attorneys' fees, that may be asserted against or incurred by the City of Houston, its officers and other occupants, successors, assigns, attorneys-in-fact, and agents, on account of the performance or non-performance of the work under this contract. The Contractor shall also defend, protect and hold harmless the City of Houston, its officers and other occupants, successors, assigns, attorneys-in-fact, and agents, from and against all claims, damages, losses, and expenses, including reasonable attorneys' fees, that may be asserted against or incurred by the City of Houston, its officers and other occupants, successors, assigns, attorneys-in-fact, and agents, on account of the performance or non-performance of the work under this contract.
7. **ASSIGNMENT.** The Contractor shall not assign, in whole or in part, its obligations under this contract to any other person or entity without the prior written consent of the City of Houston. Any assignment made without the prior written consent of the City of Houston shall be null and void.
8. **FORCE MAJEURE.** In the event of a force majeure event, the Contractor shall notify the City of Houston immediately and shall take all reasonable steps to mitigate the effects of the event. The City of Houston shall not be liable for any delays or costs incurred by the Contractor as a result of a force majeure event.
9. **ENTIRE AGREEMENT.** This contract shall constitute the entire agreement between the Contractor and the City of Houston. No oral or written modifications, amendments, or supplements shall be binding unless they are in writing and signed by both parties.
10. **GOVERNING LAW.** This contract shall be governed by the laws of the State of Texas.
11. **DISPUTE RESOLUTION.** Any dispute arising out of or in connection with this contract shall be resolved by arbitration in accordance with the rules of the American Arbitration Association. The arbitration shall take place in the City of Houston, Texas.
12. **SEVERABILITY.** If any provision of this contract is found to be unenforceable, the remaining provisions shall remain in full force and effect.
13. **COUNTERPARTS.** This contract may be executed in multiple counterparts, each of which shall be deemed to be an original copy of this contract, and all of which together shall constitute one and the same contract.
14. **WITNESSES.** The Contractor shall provide two (2) witnesses to the execution of this contract.
15. **SIGNATURES.** The Contractor shall sign and deliver to the City of Houston two (2) copies of this contract, one of which shall be retained by the City of Houston.

\Users\james\P\PROJECTS\Tsquare_Models\599 Colville_Floor Plans_Only_Cleaned_Up\Model_New_redintl_Design\599 Colville_3 Unit_Bldg_A_09122018\FAI_Calculations new Floor Plan Updates.rvt
 LOT STAMP 9/21/2018 12:38:11 PM



1 Front (East) Elevation
1/4" = 1'-0"

FINISH SCHEDULE KEY

BUILDING "A" & "D"

- (B) TRIM & BATTON - BENJAMIN MOORE CLOUD (CC-47)

BUILDING "COMMON"

- (C) ROCK VENNER / MASONRY & PAVERS - CHARCOAL
(D) ENRTY/OTHER DOORS - WOOD STAIN OR ACCENTED
(E) ROOF - BP- BLACK MYSTIQUE 42 - LAMINATE ASHPHALT SHINGLE

- (F) ELEC. RM - BENJAMIN MOORE KENDALL (HC-166)
& TRIM - BENJAMIN MOORE CLOUD (CC-47)



2 Right (North) Elevation
1/4" = 1'-0"



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CONCLUSIONS

3. All drawings, plans, models, designs, specifications and other documents prepared by I Square Design ("ISD") and used in connection with this project are instruments of service for the work shown in them (the "Work") and as such are and remain the property of ISD whether the work is executed or not, and ISD reserves the copyright in them and in the work executed from them, and they shall not be used for any other work or project.

2. It is the responsibility of the Contractor to verify all dimensions, quantities, and all conditions in accordance to the project and the proposed work. The Contractor shall notify the Designer of any errors, omissions or discrepancies identified within the drawings prior to commencement of the work. Commencement of construction or any partial construction acceptance of the drawings, acceptance of the existing conditions, and means dimensions and situations, have been considered, verified

1. The Contractor shall consult with a B.E.S. or a duly certified placement person, citing and describing the proposed change or changes, on the drawings or the contract prior to commencing this work. This is not assumable for any circumstances with respect to deviation, citing or placement.

Any proposed changes with respect to deviation, citing or placement shall be confirmed with a B.E.S. prior to execution.

4. The Contractor shall engage a Professional Engineer licensed in the Province of BC for the design and field review of all structural components and systems within the work as requested by the Authority having jurisdiction. Prior to commencement of the work, the Contractor shall notify the field of any changes to the design requested by the Structural Engineer. Once Manufacture or other

1

OG "A"

S-BLD
Escalimalt

residence for:
AN JAB
 olville Rd

DATE: April 26 2018
DRAWN BY: MS_FUD

A4

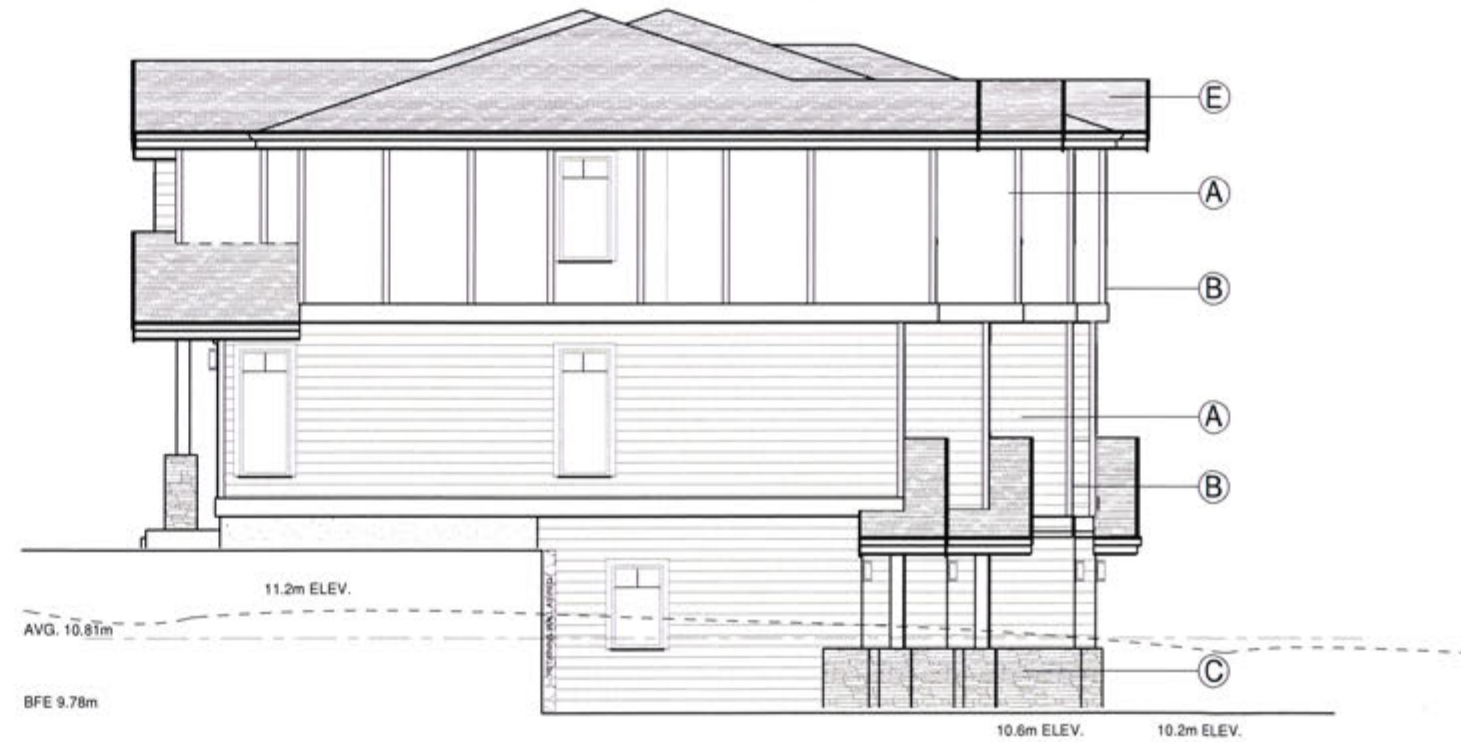


① Rear (West) Elevation
1/4" = 1'-0"

FINISH SCHEDULE KEY

BUILDING "A" & "D"

- (A) PLANK & PANEL SIDING - BENJAMIN MOORE BEIGE (HC-47)
- (B) TRIM & BATTON - BENJAMIN MOORE CLOUD (CC-47)
- BUILDING "COMMON"**
- (C) ROCK VANNER / MASONRY & PAVERS - CHARCOAL
- (D) ENTRY/OTHER DOORS - WOOD STAIN OR ACCENTED
- (E) ROOF - BP- BLACK MYSTIQUE 42 - LAMINATE ASHPHALT SHINGLE
- (F) ELEC. RM - BENJAMIN MOORE KENDALL (HC-166)
& TRIM - BENJAMIN MOORE CLOUD (CC-47)



② Left (South) Elevation
1/4" = 1'-0"



T-SQUARE
design consulting

**T-Square
Design**
T-Square Designs
2950 Lakehurst Drive
Victoria, BC, V9B 4S5
250-361-5411

design@t-square.ca

1. The Contractor shall design, develop, construct, install, and maintain the design, construction, and operation of the project in accordance with the project requirements and the project specifications. The Contractor shall be responsible for the design, construction, and operation of the project in accordance with the project requirements and the project specifications. The Contractor shall be responsible for the design, construction, and operation of the project in accordance with the project requirements and the project specifications.

Proposed Residence for :

RYAN JABS - BLDG "A"
939 Colville Rd., Esquimalt, BC
\\sawyer\24494\PUID PRODCCT\175quare, Model\1939 Colville Townhomes\Model\Units\Flour Plans, Only, Cleaned Up\

DATE: April 26 2018
DRAWN BY: MS
JOB #: A16-***
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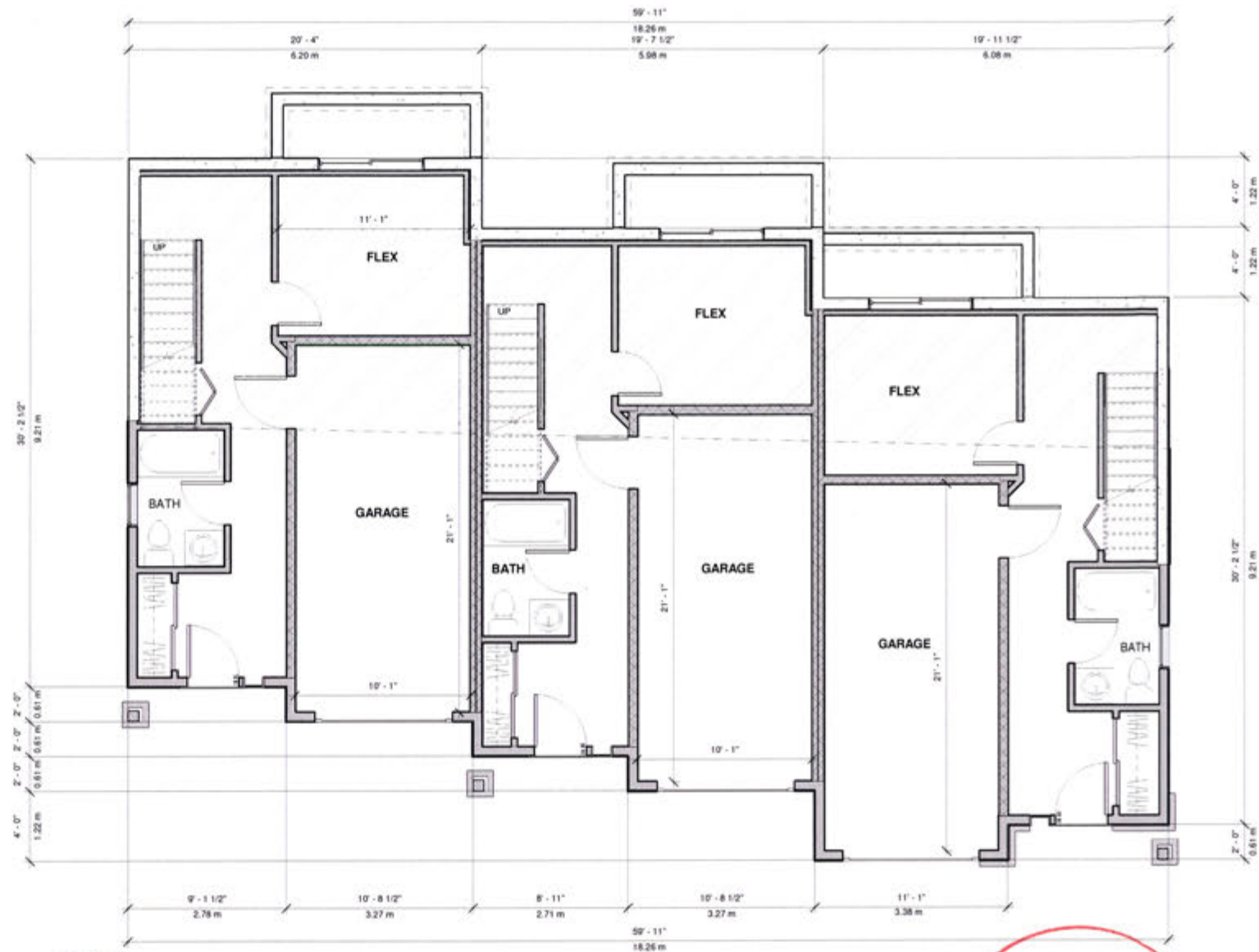
A5

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SITE NOTES & SPECIFICATIONS

THE FINAL POSITIONING OF THIS BUILDING ON LOT TO BE THE RESPONSIBILITY OF THE CONTRACTOR. BEFORE STARTING CONSTRUCTION OF THE BUILDING THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS ON THESE DRAWINGS AND IF ANY DISCREPANCIES ARE FOUND THEY ARE TO BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE DESIGNER.

AT NO TIME SHALL THE CONTRACTOR SCALL OFF THESE DRAWINGS BUT SHALL BUILD TO DIMENSIONS SHOWN ONLY AFTER VERIFICATION. ANY DIVIATIONS FROM THE DRAWINGS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. ALL TRADES TO WORK TO THEIR LATEST RESPECTIVE CODES AND BY-LAWS.



LOWER FLOOR PLAN
11/21/18 12:57 (108 85 44)
JAB 427 74 07 (10 2444)
PAB 388 10 07 (10 1744)

1 GROUND FLOOR BLDG. A
1/4" = 1'-0"

RECEIVED

JAN 11 2019

CORP. OF TOWNSHIP
OF ESQUIMALT
DEVELOPMENT SERVICES

General Notes

Contractor shall take possession over site. Contractor to verify all dimensions of Building Designer and Consultant drawings prior to work commencement. Any discrepancies are to be reported immediately. Any notes dimensions on the plans that exceed the requirements stated in the general notes take precedence. Prior to any alterations or modifications of plans or details on site, Contractor, independent, or homebuilder, shall contact the Building Designer to confirm Building Code requirements and to maintain accuracy and completeness of the plans.

All references to the "British Columbia Building Code" (B.C.B.C.) are the current edition or published revision thereof, as approved by municipal order by the Province of British Columbia. Any reference to a dated edition or revision is to be assumed for the equivalent requirement in the most current edition. All work shall comply with the current edition of the "British Columbia Building Code" the rules and customs of best trade practice to be followed by skilled tradespersons, and equipped and adequately supervised.

Supplier and/or Contractor to specify all aspects of size and placement of structure on lot. Designer not responsible for placement. In the event that the proposed new or existing structure does not conform to the requirements of the B.C. Building Code or engineering, may be necessary and such services are for the owner's account.

All materials to be of best quality, complying with the applicable sections of the current C.S.A., C.S.I.B. and B.C.B.C. standards. All materials shall be used strictly according to manufacturers printed directions, where not inconsistent with the specifications or other specified except where specified to comply with B.C.B.C. 9.10.11 and to be designed by structural engineer unless noted otherwise. Structural Engineering and trade manufacturers drawings to take precedence over contractor design, noted within.

T-SQUARE
design consulting

T-Square

Design

T-Square Designs

2550 Lathford Drive

Victoria, BC, V9B 4S5

250-361-5411

design@tsquare.ca

DESIGN NOTES

1. All drawings, plans, notes, design specifications and other documents prepared by T-Square Design "TSQ" and used in connection with the project are the property of T-Square Design and shall remain the property of T-Square Design. The contractor shall not use any part of these drawings for any other work or project.

2. It is the responsibility of the Contractor to verify all dimensions, quantities, and materials as applicable to the project and the proposed work. The Contractor shall notify the Designer of any errors, omissions or discrepancies identified within the drawings prior to commencement of the work. Commencement of construction or any part thereof constitutes acceptance of the drawings, quantities of materials, and materials dimensions and quantities have been understood, verified and are accepted.

3. The Contractor shall work with a B.C. Professional Engineer licensed in the Province of BC for the design and construction of all structural components and systems within the work as required by the applicable building code. The Contractor shall verify the design and construction of all structural components and systems within the work as required by the applicable building code.

4. The Contractor shall verify the design and construction of all structural components and systems within the work as required by the applicable building code. The Contractor shall verify the design and construction of all structural components and systems within the work as required by the applicable building code.

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VENTILATION TO BE DESIGNED BY HVAC
IN ACCORDANCE TO BCBC 2012 (9.32)

DATE: April 26 2018

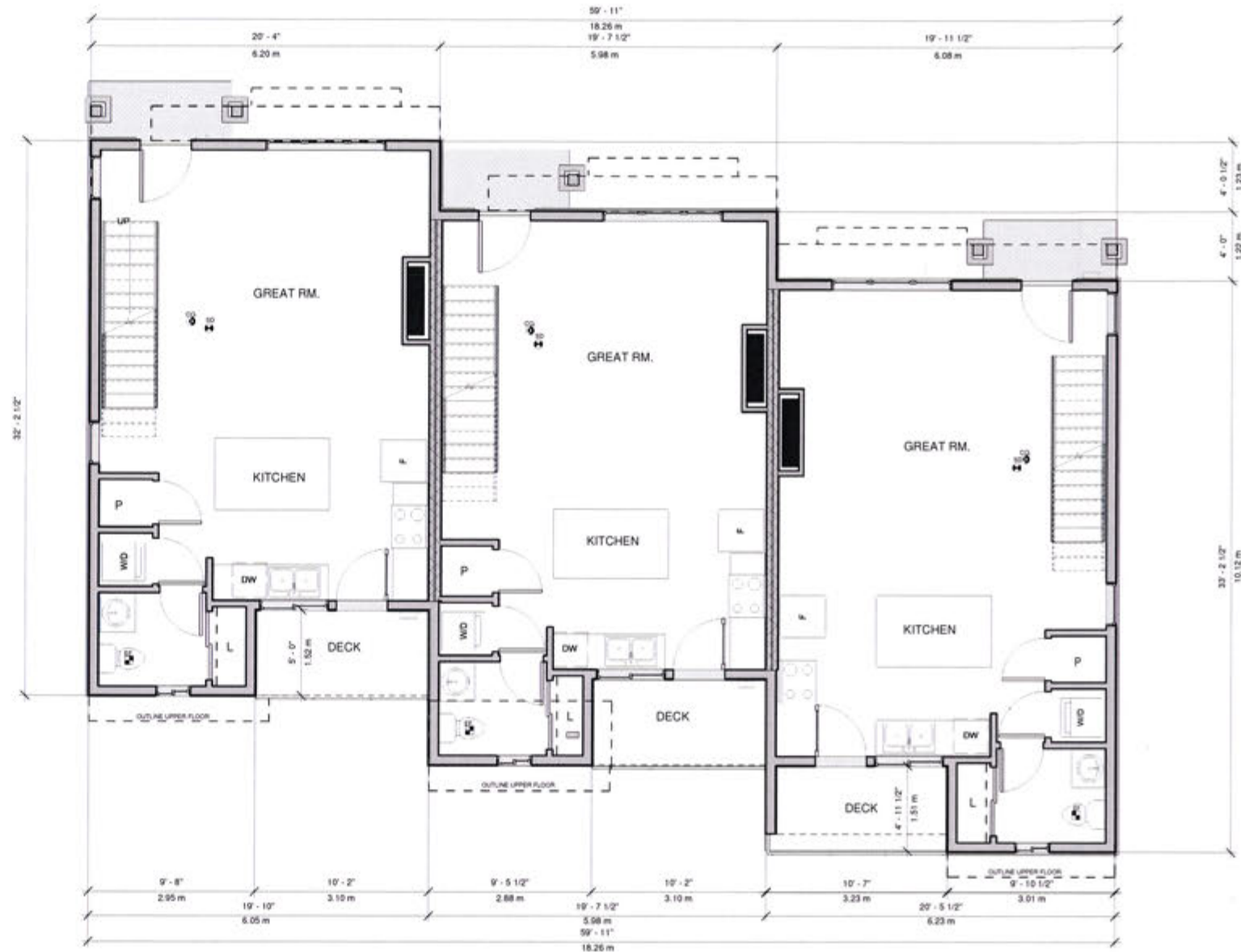
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JOB #: A16-***

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A1

SHEET A1 OF 1



MAIN FLOOR PLAN

	1850.46 SF (171.90 ms)
F.A.R.	1740.59 SF (161.70 ms)

1 MAIN FLOOR BLDG. A
1/4" = 1'-0"



Proposed Residence for:

RYAN JABS - BLDG "B"
939 Colville Rd., Esquimalt, BC
\\server2\laser\PLUD_PROD\08\CTA\Tiquares_Models\939 Colville Townhomes\1-Model\Models_Floor Plans_Only_Cleaned Up.dwg


T-SQUARE
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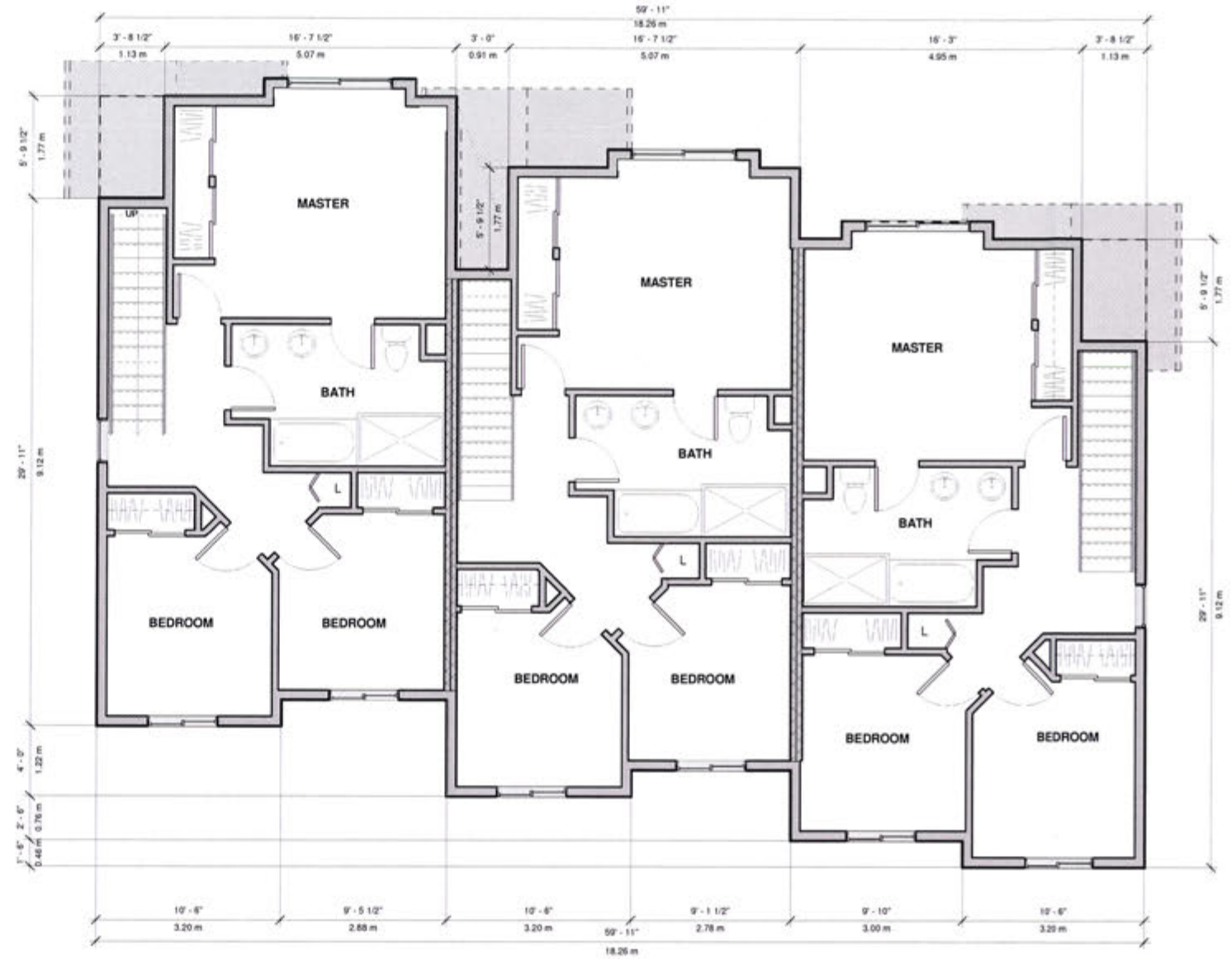
**T-Square
Design**
T-Square Design
2950 Lakehurst Drive
Victoria, BC, V9B 4S5
250-361-5411
design@tsquare.ca

[illegible]

DATE: April 26 2018
DRAWN BY: MS
JOB #: A16-***
SHEET:

A2

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UPPER FLOOR PLAN
2041.28 SF (189.63 ms)
F.A.R. 1931.29 SF (129.41 ms)

1 THIRD FLOOR BLDG. A
1/4" = 1'-0"



Proposed Residence for :

RYAN JABS - BLDG "B"
939 Colville Rd., Esquimalt, BC

DATE: April 26 2018
DRAWN BY: Author
JOB #: A16-***
SHEET:
A3
SHEET AS: 003

T-SQUARE
design - consulting

T-Square
Design
T-Square Designs
2950 Lakeshore Drive
Victoria, BC, V8B 4S5
250-361-5411
design@tsquare.ca

GENERAL NOTES:
1. All drawings, plans, models, designations and other documents prepared by T-Square Design ("TSD") and used in connection with this project are the property of TSD and shall remain the property of TSD whether the work is executed or not, and TSD reserves the right to reuse the work in whole or in part without notice, and they shall not be used for any other work or project.
2. It is the responsibility of the Contractor to verify all dimensions, situations, and conditions as applicable to the property and the proposed work. The Contractor shall verify the design of any area, structure or equipment identified within the drawings prior to commencement of the work. Commencement of construction or any other work constitutes acceptance of the drawings, accuracy of the existing conditions, and means dimensions and elevations have been considered, verified and are acceptable.
3. The Contractor shall work with a R.C.L.S. to verify compliance with all applicable codes and standards of the proposed building or structure on the property prior to commencing the work. TSD is not responsible for any discrepancies with respect to dimensions, siting or placement. Any proposed changes with respect to structure, siting or placement shall be confirmed with a R.C.L.S. prior to construction.
4. The Contractor shall engage a Professional Engineer to review and certify all structural components and systems within the work as required by the authority having jurisdiction. Prior to commencement of the work, the Contractor shall notify TSD of any changes to the design including the structural engineer, manufacturer or other engineered component supplier.



1 Front (East) Elevation
1/4" = 1'-0"

FINISH SCHEDULE KEY

BUILDING "B" & "C"

(A) PLANK & PANEL SIDING - BENJAMIN MOORE KENDALL (HC-166)

(B) TRIM & BATTON - BENJAMIN MOORE CLOUD (CC-47)

BUILDING "COMMON"

(C) ROCK VANNER / MASONRY & PAVERS - CHARCOAL

(D) ENTRY/OTHER DOORS - WOOD STAIN OR ACCENTED

(E) ROOF - BP- BLACK MYSTIQUE 42 - LAMINATE ASPHALT SHINGLE

(F) ELEC. RM - BENJAMIN MOORE KENDALL (HC-166)
& TRIM - BENJAMIN MOORE CLOUD (CC-47)



2 Right (North) Elevation
1/4" = 1'-0"



T-Square Design
T-Square Designs
2950 Lakehurst Drive
Victoria, BC, V9B 4S5
250-361-5411

design@tsquare.ca

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Proposed Residence for:

RYAN JABS - BLDG "B"
939 Colville Rd., Esquimalt, BC

DATE: April 26 2018
DRAWN BY: MS_PUD
JOB #: A16-***
SHEET:

A4



1 Rear (West) Elevation
1/4" = 1'-0"

FINISH SCHEDULE KEY

BUILDING "A" & "D"

- (B) TRIM & BATTON - BENJAMIN MOORE CLOUD (CC-47)

BUILDING "B" & "C"

- (D) TRIM & BATTON - BENJAMIN MOORE CLOUD (CC-47)

BUILDING "COMMON"

- (E) ROCK VENNER / MASONRY & PAVERS - CHARCOAL
- (F) ELEC. RM - BENJAMIN MOORE KENDALL (HC-166) & TRIM - BENJAMIN MOORE CLOUD (CC-47)
- (G) ENRTY/OTHER DOORS - WOOD STAIN OR ACCENTED
- (H) ROOF - BP- BLACK MYSTIQUE 42 - LAMINATE ASHPHALT SHINGLE



2 Left (South) Elevation
1/4" = 1'-0"



**T-Square
Design**
T-Square Design
2950 Lakehurst Drive
Victoria, BC, V9B 4S5
250-361-5411

design@tsquare.ca

1. All drawings, plans, models, designs, specifications and other documents prepared by T. Squier Design "TSD" and used in connection with this project are instruments of service for the work shown in them. The "drawings" and as such are and remain the property of TSD whether the work is executed or not, and TSD reserves the copyright in them and in the work created from them, and they shall not be used for any other work or project.

2.3. It is the responsibility of the Contractor to verify all dimensions, elevations, and conditions as applicable to the project and the proposed work. The Contractor shall notify the Designer of any errors, omissions or discrepancies identified within the drawings prior to commencement of the work. Commencement of construction or any part thereof constitutes acceptance of the drawings, acceptance of the existing conditions, and means dimensions and elevations have been carefully verified and are accurate.

3. The Contractor shall work with a B.C.C.S. to verify compliant placement, lifting and installation of the proposed buildings or structures on the property prior to commencing the work. TSD is not responsible for any encroachments with respect to elevation, lifting or placement. Any proposed changes with respect to elevation, lifting or placement shall be confirmed with a B.C.C.S. prior to execution.

Professional Engineer licensed in the Province of BC for the design and field review of all structural components and systems within the work as required by the Authority Having Jurisdiction. Prior to commencement of the work, the Contractor shall notify TSI of any changes to the design required by the Structural Engineer, Steel Manufacturer or other component/supplier.

[illegible]

" B "

OGBC

BLC malt

S - Esqu

for: **LAB**
Rd.

residence

RYA
039 C

DATE: April 26 2018
DRAWN BY: SES
JOB #: A-10-111

SHEET:
A5

STREET 203 1/2

SITE NOTES & SPECIFICATIONS

THE FINAL POSITIONING OF THIS BUILDING ON LOT TO BE THE RESPONSIBILITY OF THE CONTRACTOR. BEFORE STARTING CONSTRUCTION OF THE BUILDING THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS ON THESE DRAWINGS AND IF ANY DISCREPANCIES ARE FOUND THEY ARE TO BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE DESIGNER.

AT NO TIME SHALL THE CONTRACTOR SCALL OFF THESE DRAWINGS BUT SHALL BUILD TO DIMENSIONS SHOWN ONLY AFTER VERIFICATION. ANY DIVIATIONS FROM THE DRAWINGS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. ALL TRADES TO WORK TO THEIR LATEST RESPECTIVE CODES AND BY-LAWS.


T-SQUARE
design • consulting

**T-Square
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2950 Lakehurst Drive
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250-361-5411
design@tsquare.ca

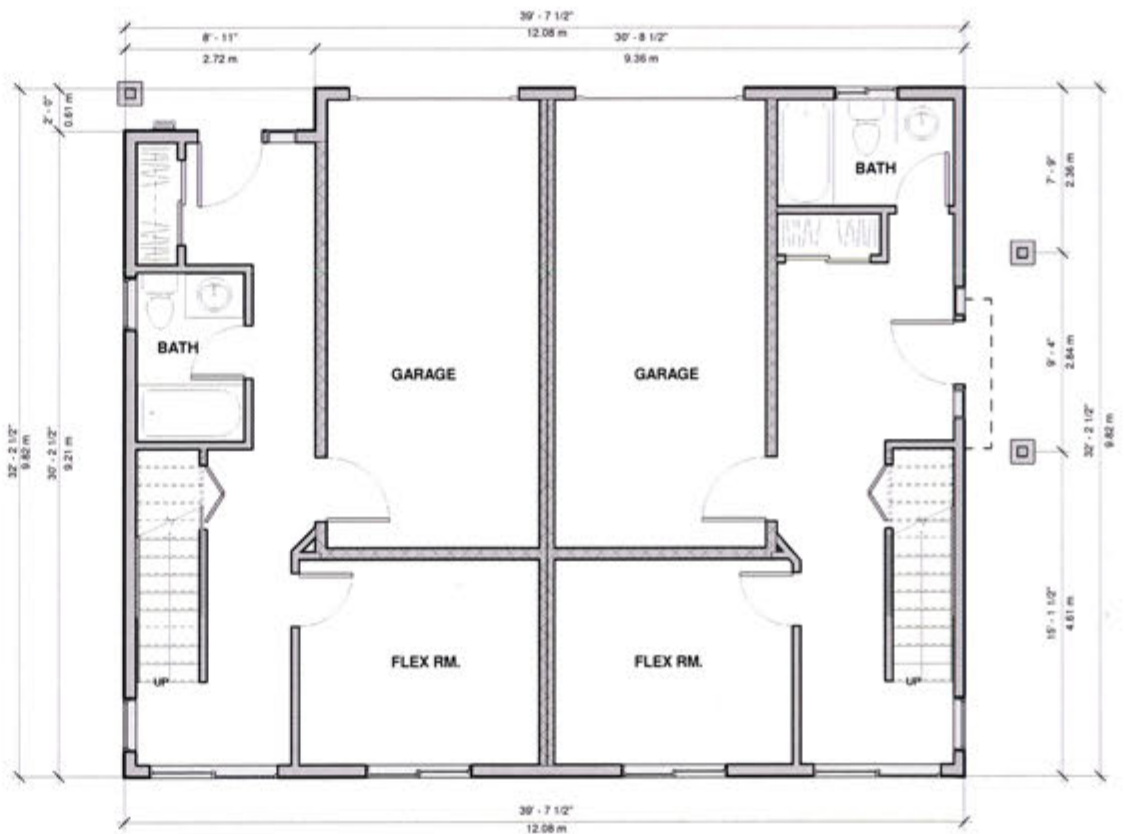
GENERAL NOTES

1. All drawings, plans, details, design calculations, and specifications shall be prepared by "Super Design Group" and in accordance with this project are the property of "Super Design Group". All drawings, plans, details, design calculations, and specifications shall be the property of "Super Design Group" and shall not be used for any other project without the written consent of "Super Design Group".
2. It is the responsibility of the Contractor to verify the accuracy of the information provided in the drawings, plans, details, design calculations, and specifications. The Contractor shall be responsible for any errors or omissions in the drawings, plans, details, design calculations, and specifications. The Contractor shall be responsible for any errors or omissions in the drawings, plans, details, design calculations, and specifications.
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Proposed Residence for:
RYAN JABS - BLDC "C"
939 Colville Rd Escumalt BC

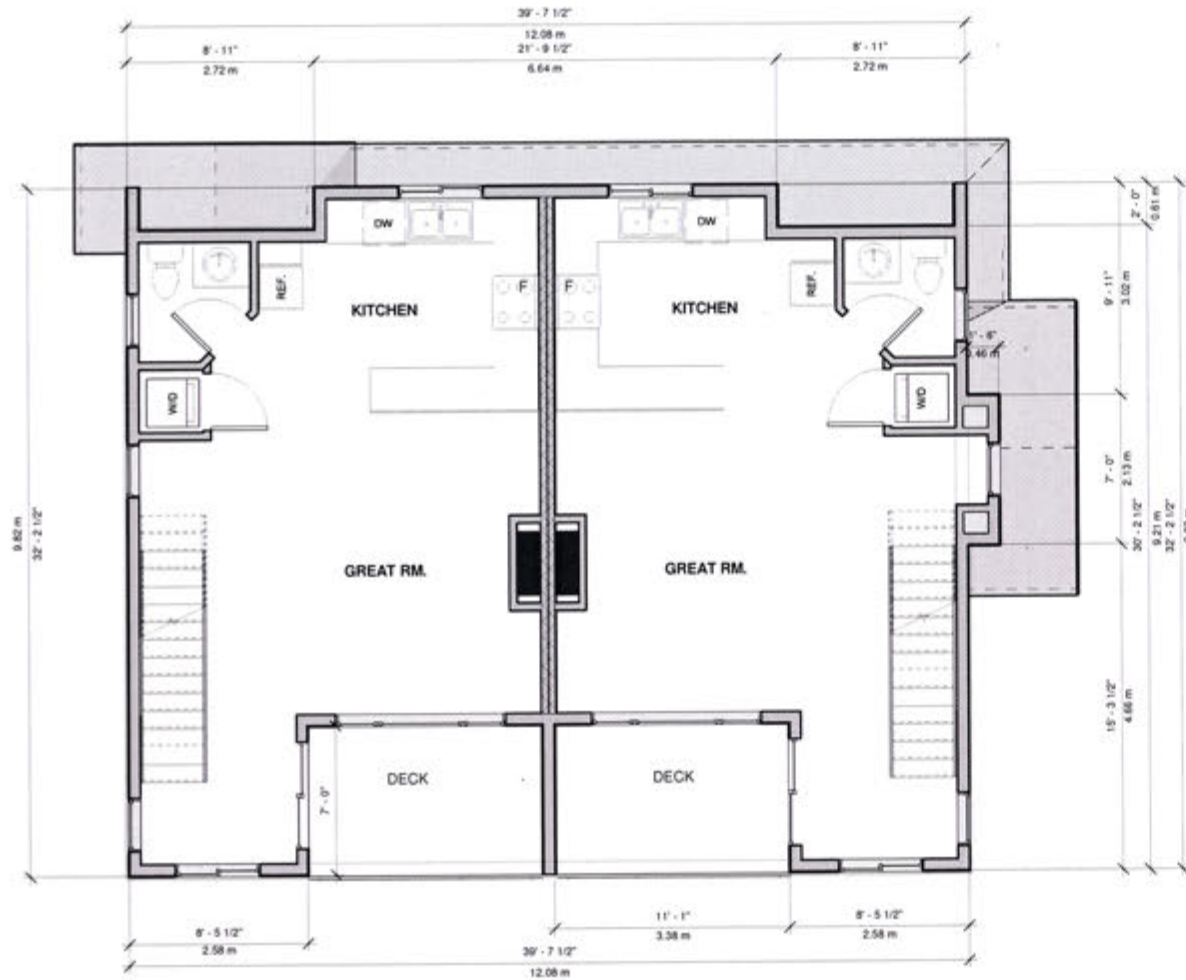
DATE: 04/27/2018
DRAWN BY: MS
JOB #: AIG-***
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SHEET A1 OF 1

VENTILATION TO BE DESIGNED BY HVAC
IN ACCORDANCE TO RCBC 2012 (9/22)



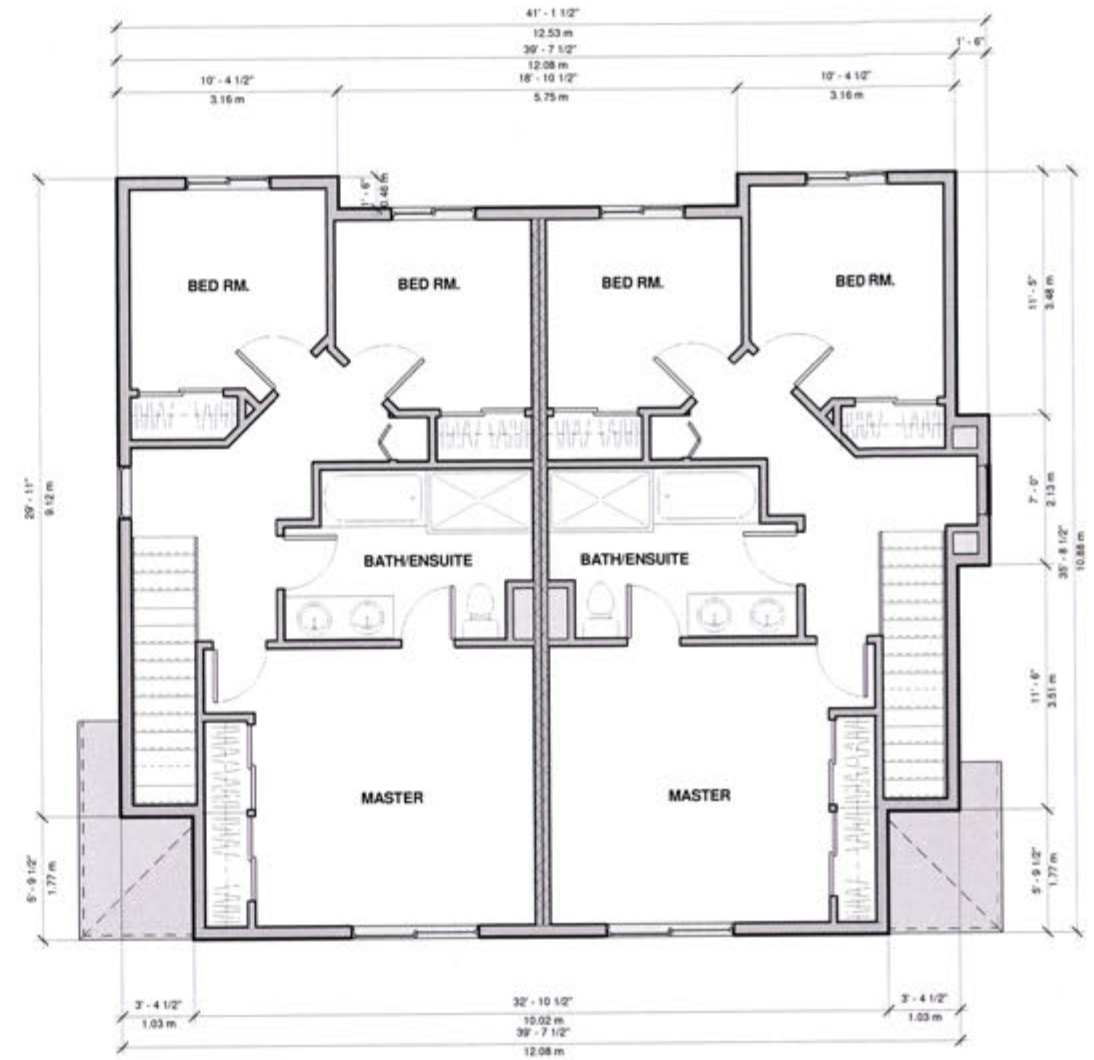
LOWER FLOOR PLAN
LFE - 833.24 SF (77.40 ms)
GAR - 425.17 SF (39.49 ms)
F.A.R - 744.07 SF 69.12 ms)

1 Grnd. Floor Plan Bldg. C
1/4" = 1'-0"



MAIN FLOOR
F.A.R. 108.63 SF (100.48sm)
1004.80 SF 93.34sm)

1 MAIN FLOOR PLAN BLDG. C
1/4" = 1'-0"



UPPER FLOOR
1347.53 SF (125.18ms)
F.A.R 1272.70 SF (118.29ms)

② THIRD FLOOR BLDG. C
1/4" = 1'-0"


T-SQUARE
design • consulting

**T-Square
Design**
T-Square Designs
2950 Lakemhurst Drive
Victoria, BC, V9B 4S5
250-361-5411
design@t-square.ca

5. **Team drawings.** The design team consists of a structural engineer, a mechanical engineer, and other disciplines. The structural engineer is responsible for the design of the steel structure and the mechanical engineer is responsible for the design of the mechanical systems. The team drawings are prepared by the structural engineer and the mechanical engineer, and they are used to coordinate the design of the steel structure and the mechanical systems.
6. **Structural drawings.** The structural drawings are prepared by the structural engineer and they show the design of the steel structure. The structural drawings include the structural steel drawings, the structural concrete drawings, and the structural foundation drawings. The structural steel drawings show the design of the steel members, including the beams, columns, and bracing. The structural concrete drawings show the design of the concrete members, including the slabs, walls, and foundations. The structural foundation drawings show the design of the foundation system, including the piles and the caissons.
7. **Foundation drawings.** The foundation drawings are prepared by the structural engineer and they show the design of the foundation system. The foundation drawings include the foundation plan, the foundation section, and the foundation detail. The foundation plan shows the layout of the foundation system, including the location of the piles and the caissons. The foundation section shows the cross-section of the foundation system, including the piles and the caissons. The foundation detail shows the connection between the foundation system and the steel structure.
8. **Detail drawings.** The detail drawings are prepared by the structural engineer and they show the design of the connections between the steel members. The detail drawings include the beam-to-column connection, the column-to-base connection, and the bracing-to-column connection. The detail drawings show the design of the welds, the bolts, and the gusset plates.
9. **Shop drawings.** The shop drawings are prepared by the fabricator and they show the design of the steel members. The shop drawings include the beam shop drawing, the column shop drawing, and the bracing shop drawing. The shop drawings show the design of the steel members, including the dimensions, the tolerances, and the welding requirements.
10. **Construction drawings.** The construction drawings are prepared by the structural engineer and they show the design of the steel structure. The construction drawings include the structural steel drawings, the structural concrete drawings, and the structural foundation drawings. The construction drawings show the design of the steel structure, including the beams, columns, and bracing. The construction drawings also show the design of the concrete members, including the slabs, walls, and foundations. The construction drawings also show the design of the foundation system, including the piles and the caissons.

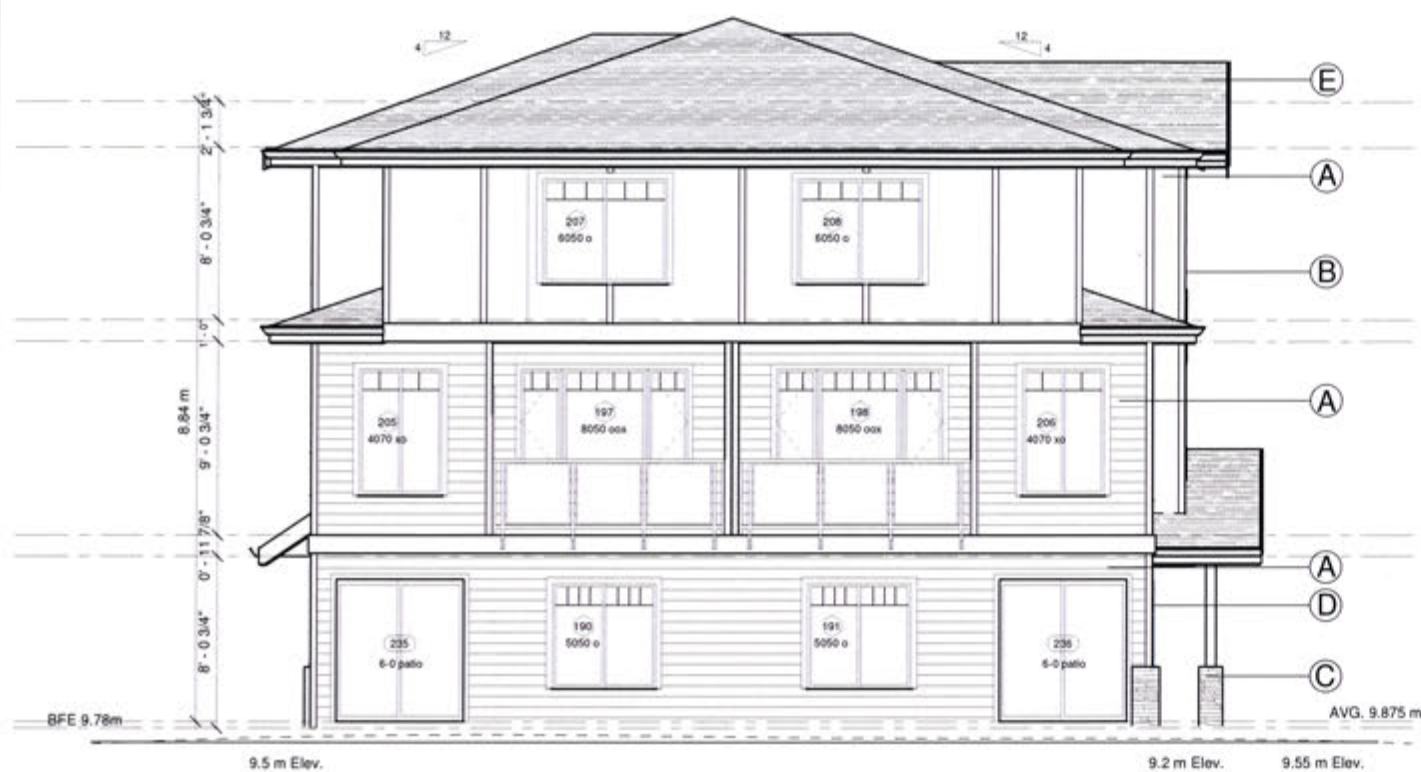
Proposed Residence for : **RYAN JABS - BLDC "C"**
939 Colville Rd., Esquimalt, BC

DATE: 04/27/2018
DRAWN BY: JMS
JOB #: A16-***
SHEET:
A2
SHEET A2 OF 2

Key not

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1 Rear (East) Elevation
1/4" = 1'-0"

FINISH SCHEDULE KEY	
BUILDING "B" & "C"	
(A)	PLANK & PANEL SIDING - BENJAMIN MOORE KENDALL (HC-166)
(B)	TRIM & BATTON - BENJAMIN MOORE CLOUD (CC-47)
BUILDING "COMMON"	
(C)	ROCK VENNER / MASONRY & PAVERS - CHARCOAL
(D)	ENRTY/OTHER DOORS - WOOD STAIN OR ACCENTED
(E)	ROOF - 8P. BLACK MYSTIQUE 42 - LAMINATE ASPHALT SHINGLE
(F)	ELEC. RM - BENJAMIN MOORE KENDALL (HC-166) & TRIM - BENJAMIN MOORE CLOUD (CC-47)



2 Right (North) Elevation
1/4" = 1'-0"

T-SQUARE
design • consulting

T-Square
Design
T-Square Designs
2950 Lakehurst Drive
Victoria, BC, V8B 4S5
250-361-9411
design@tsquare.ca

GENERAL NOTES

- All drawings, plans, sections, elevations, and details are the property of T-Square Design ("TS") and shall remain the property of TS. No part of these drawings shall be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of TS. It is the responsibility of the Contractor to verify all dimensions, elevations, and conditions as applicable to the project and the proposed work. The Contractor shall verify the location of all existing structures, utilities, and other features prior to construction. The Contractor shall be responsible for any discrepancies with respect to the location, timing or placement. Any proposed changes with respect to elevation, timing or placement shall be confirmed with TS prior to construction.
- The Contractor shall engage a Professional Engineer licensed in the Province of BC for the design and construction of all structural components and systems within the work as required by the Authority having jurisdiction. Prior to construction of the work, the Contractor shall notify TS of any changes to the design required by the structural engineer, manufacturer or other engineering component supplier.

Proposed Residence for :
RYAN JABS - BLDC "C"
939 Colville Rd., Esquimalt, BC

DATE: 04/27/2018
DRAWN BY: AS
JOB #: A36-***
SHEET:
A3
SHEET A3 OF 3

SITE NOTES & SPECIFICATIONS

THE FINAL POSITIONING OF THIS BUILDING ON LOT TO BE THE RESPONSIBILITY OF THE CONTRACTOR. BEFORE STARTING CONSTRUCTION OF THE BUILDING THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS ON THESE DRAWINGS AND IF ANY DISCREPANCIES ARE FOUND THEY ARE TO BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE DESIGNER.

AT NO TIME SHALL THE CONTRACTOR SCALL OFF THESE DRAWINGS BUT SHALL BUILD TO DIMENSIONS SHOWN ONLY AFTER VERIFICATION. ANY DIVATIONS FROM THE DRAWINGS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. ALL TRADES TO WORK TO THEIR LATEST RESPECTIVE CODES AND BY-LAWS.

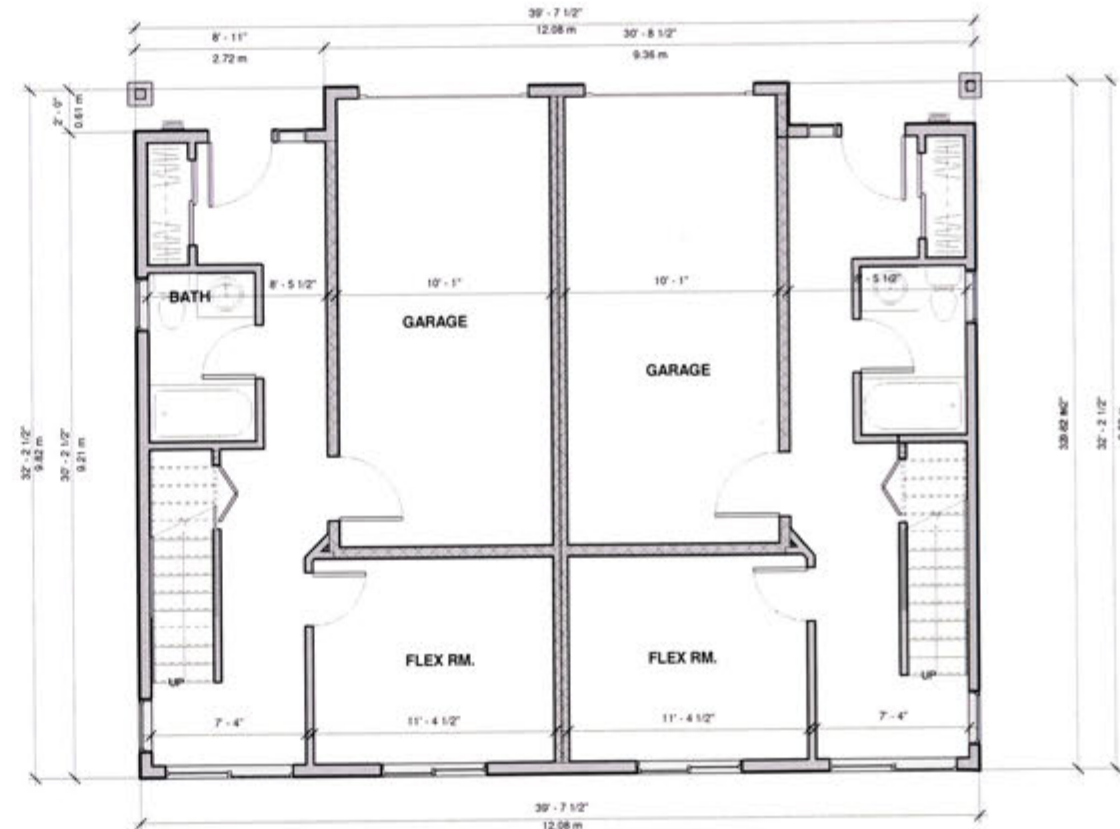
General Notes

Contractor shall take possession of site. Contractor to verify all dimensions of Building Designer and Consultant drawings prior to work commencement. Any discrepancies are to be reported immediately. Any notes, alterations or the plans that exceed the requirements stated in the general notes take precedence. Prior to any alterations or modifications of plans or details on site, Contractor, independent, or homeowner must contact the Building Designer to confirm Building Code requirements and to maintain accuracy and completeness of the plans.

All references to the "British Columbia Building Code" (B.C.B.C.) are to the current edition or published version thereof, as approved by municipal order by the Province of British Columbia. Any reference to a dated edition or version is to be assumed for the applicable requirement in the most current edition. All work shall comply with the current edition of the "British Columbia Building Code", the rules and customs of best trade practice to be executed by skilled tradespersons, well equipped and adequately supervised.

Designer and Contractor to confirm all aspects of siting and placement of structure on lot. Designer not responsible for placement. In the event that the proposed site is existing structure does not conform to the requirements of the B.C. Building Code or engineers may be necessary and such services are for the owner's account.

All materials to be of best quality, complying with the applicable sections of the current C.S.A., C.O.S.B. and B.C.B.C. standards. All materials shall be used strictly according to manufacturers' printed directions, where not inconsistent with this specification. No substitutions shall be made without written approval of the Designer. Structural Engineering and Trade Manufacturers drawings to take precedence over structural design detail notes.



LOWER FLOOR PLAN
LFE - 833.24 SF (77.40 ms)
GAR - 425.17 SF (39.49 ms)
F.A.R. - 744.07 SF 69.12 ms)

1 Grnd. Floor Plan Bldg. C
1/4" = 1'-0"

VENTILATION TO BE DESIGNED BY HVAC
IN ACCORDANCE TO BCBC 2012 (9-32)

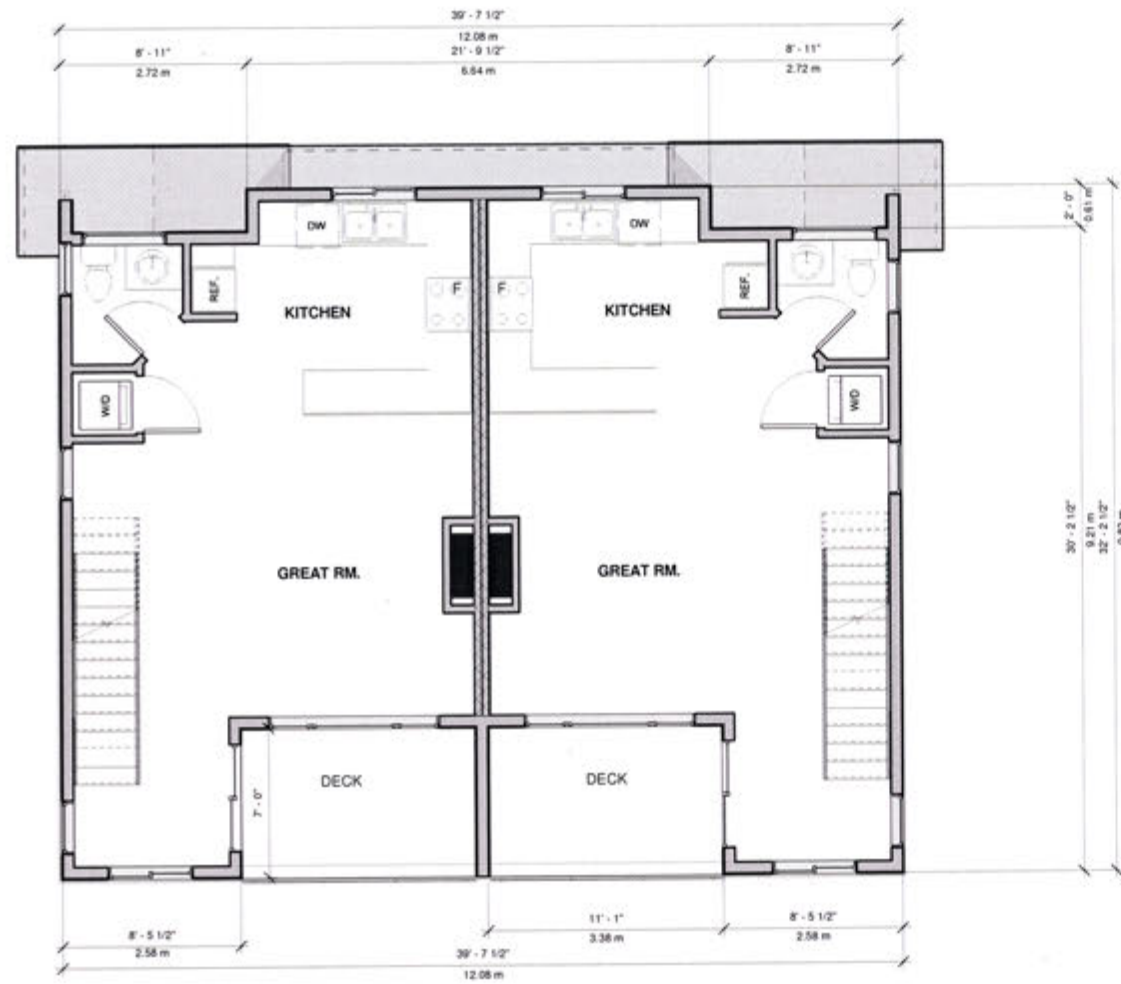
Proposed Residence for :

RYAN JABS - BLDC "D"
939 Colville Rd., Esquimalt, BC

DATE: April 2016
DRAWN BY: AJS
JOB #: A16-***
SHEET:
A1
SHEET A1 OF 1

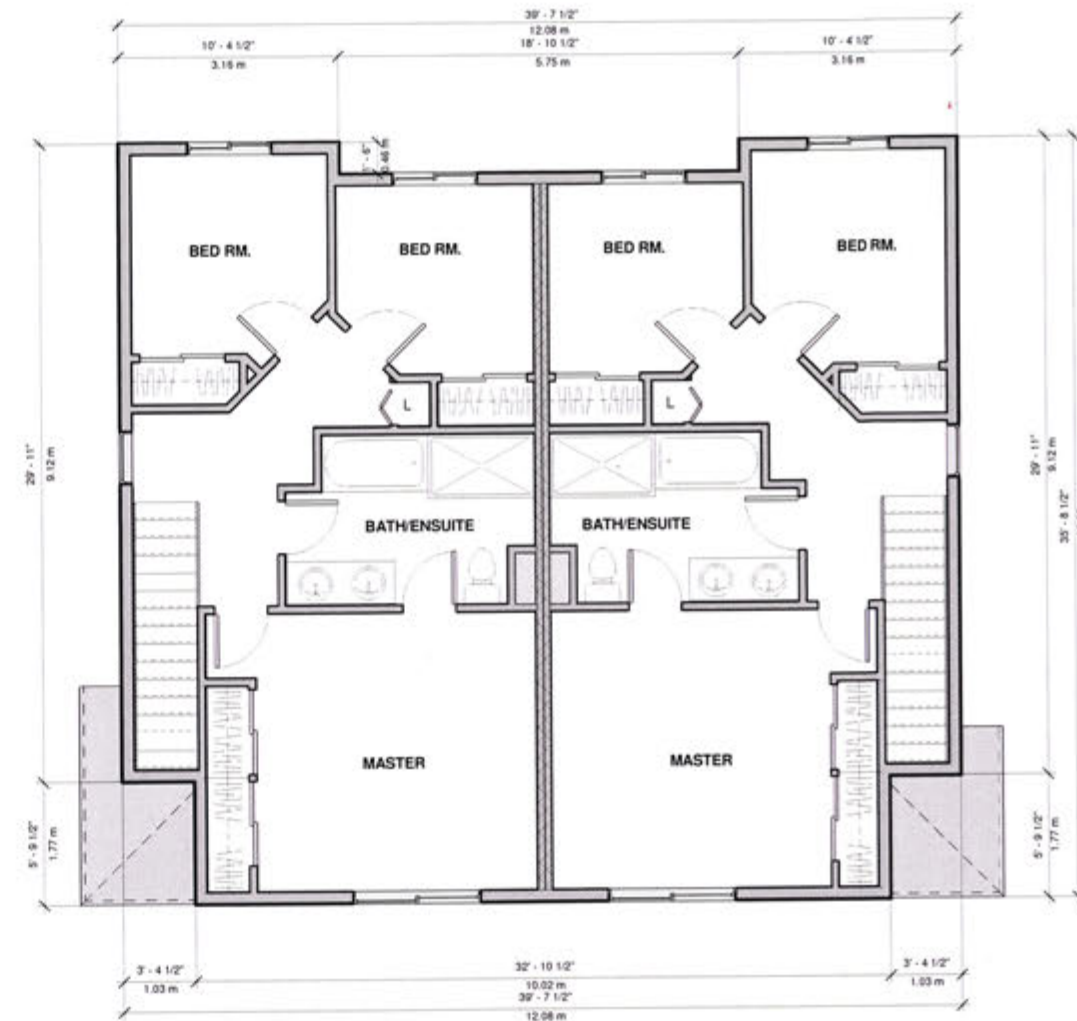
T-SQUARE
design consulting
T-Square
Design
T-Square Designs
2950 Lakeshore Drive
Victoria, BC, V8B 4S5
250-351-5411
design@tsquare.ca

GENERAL NOTES:
1. All drawings, plans, models, designs, specifications and other documents prepared by T-Square Design ("TSD") and used in connection with the project are the property of TSD and shall remain the property of TSD whether the work is completed or not, and TSD reserves the right to reuse them and in the work prepared from them, and they shall not be used for any other work or project.
2. It is the responsibility of the Contractor to verify all dimensions, elevations, and site conditions as applicable to the project and the proposed work. The Contractor shall verify the design of any crane, structure or equipment identified within the drawings prior to commencement of the work. Commencement of construction or any part thereof constitutes acceptance of the drawings, acceptance of the existing site conditions, and means dimensions and elevations have been ascertained, verified and are acceptable.
3. The Contractor shall work with a B.C.S. to verify compliance placement, siting and elevation of the proposed building or structures on the property prior to commencing the work. TSD is not responsible for any miscommunication with respect to siting, siting or placement, any proposed changes with respect to siting, siting or placement shall be confirmed with a B.C.S. prior to execution.
4. The Contractor shall engage a Professional Engineer licensed in the Province of BC for the design and review of all structural components and systems within the work as required by the applicable building code. Prior to commencement of the work, the Contractor shall verify 100% of any design for the design required by the Structural Engineer, manufacturer or other approved component supplier.



MAIN FLOOR
108.63 SF (100.48sm)
F.A.R 1004.80 SF 93.34sm)

1 MAIN FLOOR PLAN BLDG. C
1/4" = 1'-0"



UPPER FLOOR
1347.53 SF (125.18ms)
F.A.R 1272.70 SF (118.29ms)

② THIRD FLOOR BLDG. C
1/4" = 1'-0"


T-SQUARE
design • consulting

**T-Square
Design**
T-Square Designs
2950 Lakehurst Drive
Victoria, BC, V8B 4S5
250-361-5411
design@tsquare.ca

[illegible]

Proposed Residence for : **RYAN JABS - BLDC "D"**
939 Colville Rd., Esquimalt, BC
Useless/24x48x100 PROTECTIVE/Signage, Models/339 Colville Tenure/30m/Model/Materials/Flame, Only, Cleaned Up

Proposed Residence for :

DATE: April 2016
DRAWN BY: ses
JOB #: A16-***
SHEET:
A2
SHEET A2 OF 2





1 Rear (East) Elevation
1/4" = 1'-0"

FINISH SCHEDULE KEY

BUILDING "A" & "D"

- (A) PLANK & PANEL SIDING - BENJAMIN MOORE BEIGE (HC-47)
- (B) TRIM & BATTON - BENJAMIN MOORE CLOUD (CC-47)
- BUILDING "COMMON"**
- (C) ROCK VENNER / MASONRY & PAVERS - CHARCOAL
- (D) ENRTY/OTHER DOORS - WOOD STAIN OR ACCENTED
- (E) ROOF - BP- BLACK MYSTIQUE 42 - LAMINATE ASHPHALT SHINGLE
- (F) ELEC. RM - BENJAMIN MOORE KENDALL (HC-166)
& TRIM - BENJAMIN MOORE CLOUD (CC-47)



2 Right (North) Elevation
1/4" = 1'-0"



T-Square Design
T-Square Design
2950 Lakehurst Drive
Victoria, BC, V9B 4S5
250-361-5411

design@tsquare.ca

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Proposed Residence for:

Proposed Residence for :
RYAN JABS - BLDC "D"
939 Colville Rd., Esquimalt, BC

DATE: April 2016

DRAWN BY: MS_PUC

JOB #: A16-***

SHEET:

As

A

A

SHEET A3 CW



1 Front (West) Elevation
1/4" = 1'-0"

FINISH SCHEDULE KEY

- BUILDING "A" & "D"**
- (A) PLANK & PANEL SIDING - BENJAMIN MOORE BEIGE (HC-47)
 - (B) TRIM & BATTON - BENJAMIN MOORE CLOUD (CC-47)
- BUILDING "COMMON"**
- (C) ROCK VENNER / MASONRY & PAVERS - CHARCOAL
 - (D) ENRTY/OTHER DOORS - WOOD STAIN OR ACCENTED
 - (E) ROOF - BP- BLACK MYSTIQUE 42 - LAMINATE ASHPHALT SHINGLE
- (F) ELEC. RM - BENJAMIN MOORE KENDALL (HC-166)
& TRIM - BENJAMIN MOORE CLOUD (CC-47)



② Left (South) Elevation
 $1/4" = 1'-0"$

T-Square Design
T-Square Designs
2950 Lakehurst Drive
Victoria, BC, V9B 4S5
250-361-5411

design@tuplane.ca

[illegible]

Proposed Residence for:

RYAN JABS - BLDC "D"
939 Colville Rd., Esquimalt, BC

DATE: April 2016

ORIGIN BY: MS

JOB #: A16-***

SHEET:

A

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Sheet 44

268

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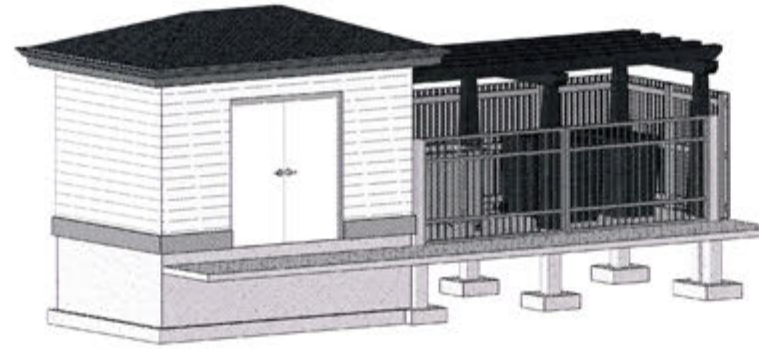
GENERAL NOTES

- CONTRACTOR TO VERIFY ALL DIMENSIONS AND DETAILS PRIOR TO COMMENCEMENT OF WORK AND SHALL NOTIFY DESIGNER OF ANY DISCREPANCIES OR DISCREPANCIES. NOTED DIMENSIONS SHALL PRECEDE OVER SCALE DRAWING. EXTERIOR DIMENSIONING IS TO FACE OF CONCRETE / SHEATHING. INTERIOR DIMENSIONING IS TO CENTRE-LINE OF PARTITION.
- WHERE NOTED BY "END" OR "ENLARGED", ALL STRUCTURES SHALL BE ENGINEERED BY CERTIFIED STRUCTURAL ENGINEER, INCLUDING BUT NOT LIMITED TO SPAN, SHEAR WALLS, FOOTINGS AND FOUNDATIONS WALLS, BEAMS OR "TRIM" JOISTS, LINTELS COLLARS AND CONNECTIONS. THIS APPLIES ALSO TO ITEMS NOTED AS "ENLARGED" SEAL.
- ALL WORK SHALL BE EQUAL IN RESPECT TO GOOD CONSTRUCTION PRACTICE AND SHALL CONFORM TO CURRENT RESIDENTIAL STANDARDS AND BRITISH COLUMBIA BUILDING CODE 2012 OR LOCAL BUILDING CODES AND BY-LAWS WHICH MAY HAVE PRECEDENCE. IT IS RESPONSIBILITY OF THE OWNER/ CONTRACTOR TO HAVE SOIL CONDITIONS WHICH MAY REQUIRE SPECIAL FOUNDATION DESIGN. ALL FOOTINGS TO REMAIN PERMANENTLY PROVIDE AT LEAST 18" SPACES WITH VENTILATION AND ACCESS IN ACCORDANCE WITH B.C.B.C. 2012 PART 9.
- ALL WOOD FRAMING TO BE SPRUCE-PINE-FIR, UNLESS NOTED OTHERWISE OR ENLARGED. ALL FRAMING IS TO BE IN ACCORDANCE WITH B.C.B.C. 2012 AND GOOD CONSTRUCTION PRACTICE.
- PROVIDE MINIMUM OF 8" (203mm) CLEARANCE FROM GRADE OF WOOD CLADDING MATERIALS. EXTERIOR FOUNDATIONS WALLS SHALL NOT BE LESS THAN 6" (152mm) ABOVE ADJACENT GRADE.
- ALL WOOD LINTELS TO CONFORM TO B.C.B.C. 2012 PART 9 WHERE SUPPORT FLOOR OR ROOF LOADS.
- INSTALL INTERCONNECTED SMOKE ALARMS IN ACCORDANCE WITH B.C.B.C. 2012 PART 9.10.19 - INSTALL INTERCONNECTED "CO" ALARMS IN ACCORDANCE WITH B.C.B.C. 2012 PART 9.32.4.2.
- ALL WOOD IN CONTACT WITH CONCRETE INCLUDING SILL PLATES MUST BE PRETREATED OR SEPARATED WITH SILL GASKET OR OTHER APPROVED MATERIAL.
- ALL NOTED "ENLARGED" COMPONENTS, SUCH AS ROOF TRUSSES, BEAMS, AND ENLARGED FLOOR SYSTEMS, REQUIRE ENGINEERED DRAWING SUBMITTAL AND MUST BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S DETAILS AND SPECIFICATION.
- SUPPLY AND INSTALL ALL WINDOWS TYPES, INTERIOR CASINGS, AND MILLWORK TO OWNER'S APPROVAL. WINDOWS MUST MEET NEW OR EXISTING FOR AIR TIGHTNESS, WATER TIGHTNESS, RESISTANCE TO WIND LOAD AND BREAK-IN (SECURITY). THESE RATING REQUIREMENTS ARE: A-1, B-2, C-3 AND ANY RATING FOR ALL WINDOWS WITHIN 2' VERTICALLY OF GRADE. THE RELATIVE STANDARD (CAN/ULC-42) REQUIRES THAT THE WINDOWS BE CLEARLY LABELED ON ALL WINDOW UNITS OR WINDOWS ARE TO BE ENGINEERED WITH SEAL DRAWINGS AND LETTERS OF ASSURANCE.
- INSTALL GROUNDABLE HANDRAIL TO ALL INTERIOR STAIRS AT 54" (1366mm) MIN. 36" (914mm) MAX. ABOVE NOTING.
- INSTALL GUARDRAIL AT ALL BALCONIES, DECKS, AND PORCHES GREATER THAN 2' (600mm) ABOVE ADJACENT GRADE OR LEVEL. INSTALL GUARD AT 42" (1070mm) WHERE DECK IS GREATER THAN 6" (152mm) ABOVE ADJACENT SURFACE, OTHERWISE 56" (1422mm) (GUARDRAIL ALLOWED). CANTILEVERED GLASS GUARDRAILS SHALL BE ANCHORED WITH GLAZING SPOLE TO RESIST LATERAL LOADS PER B.C.B.C. 2012 OTHER GLAZING/RAILING ASSEMBLIES (GLAZING AND SUPPORTS) TO BE ENGINEERED WITH SEALED DRAWINGS AND LETTERS OF ASSURANCE.
- INSTALL WATERPROOFING MEMBRANE ON BUILDING PAPER ON WATER-RESISTANT WALL BOARD (min. 6" (152mm) (19mm)) CONFORMING AS SUBSTRATE AROUND ALL WALL AND CEILING AREAS OF STEAM, SHOWER. INSTALL WATER-RESISTANT WALLBOARD AROUND ALL WEET AREAS TO A MIN. 6'-0" (1829mm) HIGH.
- PROVIDE HEATING, MECHANICAL VENTILATION, AND AIR CONDITIONING WHERE REQUIRED IN ACCORDANCE WITH CURRENT LOCAL BUILDING CODE AND BY-LAWS. MECHANICAL CONTRACTOR TO PROVIDE MECHANICAL CHECKLIST COMPLETE WITH FAN AND DUCTING SIZES PRIOR TO FINAL FRAMING INSPECTION.
- ALL ELECTRICAL TO BE INSTALLED BY AN APPROVED AND CERTIFIED CONTRACTOR. RECEPTACLES AND APPLIANCE LOCATIONS TO BE APPROVED BY OWNER. ANY ALTERNATIVE STRUCTURAL ENGINEERING TO BE APPROVED AND VERIFIED BY CERTIFIED STRUCTURAL ENGINEER. SUBMIT ENGINEERED DRAWINGS TO DESIGNER. FIRE PROTECTION AND LIFE SAFETY PROVISIONS TO CONFORM TO REQUIREMENTS OF THE B.C.B.C. 2012 PART 9.
- VERIFY EXISTING AND PROPOSED GRADES PRIOR TO SETTING OUT AND CUT, FILL, AND COMPACT ACCORDING TO BUILDING ELEVATIONS.
- ALL INTERIOR FINISHES, CASING, WINDOW TYPES, AND MILLWORK TO OWNER'S APPROVAL. STAIR READS TO BE CONSTRUCTED OF PLYWOOD OR OTHER ENGINEERED PRODUCT, FASTENED WITH SCREWS AND SUB-FLOOR ADHESIVE.
- ALL FLOOR SHEATHING MUST BE SECURED WITH 6" (152mm) GALVANIZED OR COATED FLOOR SCREWS ON 4" O.C. (102mm).
- SOLID PINE PROTECTION ON OVERHANG IS REQUIRED ON ALL SHED ROOFS.
- SEAL PINE HEAT AND/OR FANS REQUIRED PRIOR TO DRYWALL INSTALLATION TO ASSIST IN THE DRYING OF INTERIOR FRAMEWORK.
- MOISTURE CONTENT OF THE INTERIOR FRAME MUST NOT EXCEED 19% PRIOR TO APPLICATION OF VAPOUR BARRIER AND DRYWALL.
- TWO CONTINUOUS LAYERS OF NOMINAL BUILDING PAPER MUST BE APPLIED TO EXTERIOR SHEATHING SHIP-LAP OR INTERLAPPED WITH 22" (559mm) OVERLAP. BEAMS HALF-LAPPED TO THE 24" MID-LINE OF THE BUILDING PAPER.
- POSITIVE SLOPE FLASHING MUST BE INSTALLED ABOVE ALL WINDOWS, DOORS, SILL, VENTS AND MATERIAL TRANSITIONS. ALL FLASHING MUST BE INSTALLED BEHIND BUILDING PAPER, WITH MECHANICALLY SEALED END GRAINS. ALL FLASHING MUST EXTEND A MINIMUM OF 1" (25mm) BEYOND BOUNDARY OF THE DRAINAGE TO WHICH THEY ARE APPLIED. BUILDING PAPER AND FELT FLASHING, ONLY, TO CONTACT EXTERIOR SHEATHING. SELF-ADHERING MEMBRANES ARE NOT TO CONTACT WOOD SURFACES.
- ALL DOWNSPOUT CHUTES TO BE VENTED TOP AND BOTTOM WITH SELECT PROSP VENT SCREENS.
- PROVIDE STEEPED FOOTINGS WHERE REQUIRED IN ACCORDANCE WITH EXISTING OR FUTURE GRADES. ALL FOOTINGS MUST REST ON SOLID UNDISTURBED BEARING AT AN ELEVATION BELOW FROST PENETRATION DEPTH ON COMPACTED BEARING.
- 20 MPA CONCRETE FOUNDATION WALL 8" (203mm) THICK MAY BE A MAXIMUM OF 8' (2.44m) HIGH FROM GRADE TO UNDERSTORY FLOOR IF LATERALLY UNSUPPORTED AT THE TOP. REFER TO B.C.B.C. 2012 PART 9.4 - ALL OTHER CONCRETE WALLS TO BE ENGINEERED. FLASHING PERMIT REQUIRED FOR INSTALLATION OF FLASHING SYSTEM AND DRAINAGE SYSTEM FOR BUILDING ENSURE ALL FINISHES CONFORM TO CURRENT APPROPRIATE CSA STANDARDS.
- ALL DOOR AND WINDOW SIZES ARE APPROXIMATE AND MUST BE VERIFIED BY BUILDER/ OWNER PRIOR TO ORDERING.
- WHERE ALLOWED BY MUNICIPAL AUTHORITY HAVING JURISDICTION, APPROVED HOUSE NAMES, SUCH AS "TWO" OR "THREE" MAY BE USED IF APPLIED AS SPECIFIED BY THE MANUFACTURER.

SITE NOTES & SPECIFICATIONS

THE FINAL POSITIONING OF THIS BUILDING ON LOT TO BE THE RESPONSIBILITY OF THE CONTRACTOR. BEFORE STARTING CONSTRUCTION OF THE BUILDING THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS ON THESE DRAWINGS AND IF ANY DISCREPANCIES ARE FOUND THEY ARE TO BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE DESIGNER OR DRP PERSON.

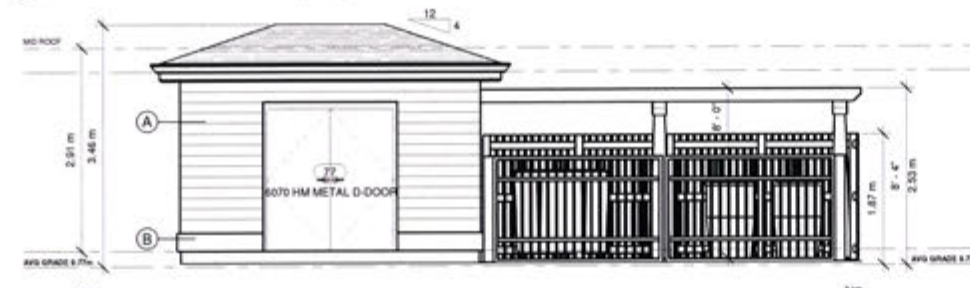
AT NO TIME SHALL THE CONTRACTOR SCALL OFF THESE DRAWINGS BUT SHALL BUILD TO DIMENSIONS SHOWN ONLY AFTER VERIFICATION. ANY DIVARIATIONS FROM THE DRAWINGS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. ALL TRADES TO WORK TO THEIR LATEST RESPECTIVE CODES AND BY-LAWS.



9 (3D)

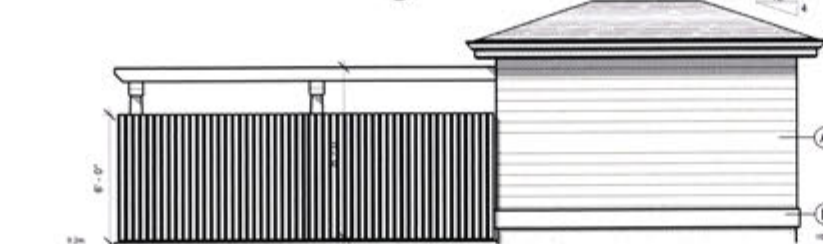
A ELEC. RM - BENJAMIN MOORE KENDALL (HC-166)

B TRIM - BENJAMIN MOORE CLOUD (CC-47)

4 Front (South) Elevation
1/4" = 1'-0"

A ELEC. RM - BENJAMIN MOORE KENDALL (HC-166)

B TRIM - BENJAMIN MOORE CLOUD (CC-47)

6 Rear (North) Elevation
1/4" = 1'-0"

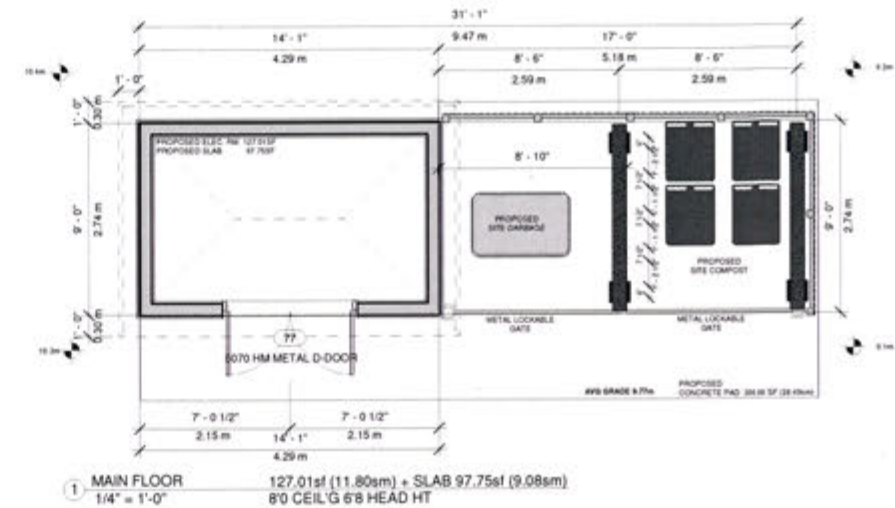
General Notes

Dimensions provided shall have preference over scale. Contractor to verify all dimensions of Building Designer and Consultant drawings prior to work commencement. Any discrepancies are to be reported immediately. Any notes elsewhere on the plans that require the requirements stated in the general notes take precedence. Prior to any alterations or modifications of plans or details on site, Contractor(s), independent(s), or homebuilder(s) must consult the Building Designer to confirm Building Code requirements and to maintain accuracy and completeness of the plans.

All references to the "British Columbia Building Code" (B.C.B.C.) are to its current edition or subsequent revision thereto, as approved by the Minister of the Province of British Columbia. Any reference to a dated edition or revision is to be construed for the requirements in the most current edition. All work shall comply with the current edition of the "British Columbia Building Code" (the code and contents of local by-law provisions to be executed by local governments, and equipment and materials specified).

Surveyor and/or Contractor to confirm all details of siting and placement of structure on lot. Designer not responsible for placement, in the event that the proposed new building structure does not conform to the requirements of the B.C. Building Code (an engineering) may be necessary and such services are for the owner's account.

All materials to be of best quality, complying with the applicable sections of the current C.S.A., C.O.S.B. and B.C.B.C. standards. All materials shall be used strictly according to manufacturer's printed directions, unless not inconsistent with the specifications. No choice permitted except where specified else to comply with B.C.B.C. 2.1.2 and to be designed by structural engineer unless noted otherwise. Structural Engineering and Trade Manufacturer drawings to take precedence over structural design created within.



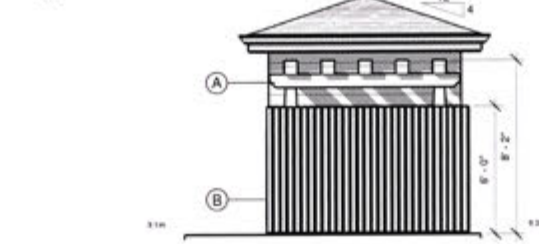
A ELEC. RM - BENJAMIN MOORE KENDALL (HC-166)

B TRIM - BENJAMIN MOORE CLOUD (CC-47)

5 Left (West) Elevation
1/4" = 1'-0"

A ELEC. RM - BENJAMIN MOORE KENDALL (HC-166)

B TRIM - BENJAMIN MOORE CLOUD (CC-47)

7 Right (East) Elevation
1/4" = 1'-0"

SITE NOTES & SPECIFICATIONS

THE FINAL POSITIONING OF THIS BUILDING ON LOT TO BE THE RESPONSIBILITY OF THE CONTRACTOR. BEFORE STARTING CONSTRUCTION OF THE BUILDING THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS ON THESE DRAWINGS AND IF ANY DISCREPANCIES ARE FOUND THEY ARE TO BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE DESIGNER.

AT NO TIME SHALL THE CONTRACTOR SCALL OFF THESE DRAWINGS BUT SHALL BUILD TO DIMENSIONS SHOWN ONLY AFTER VERIFICATION. ANY DIVARIATIONS FROM THE DRAWINGS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. ALL TRADES TO WORK TO THEIR LATEST RESPECTIVE CODES AND BY-LAWS.

VENTILATION TO BE DESIGNED BY HVAC
IN ACCORDANCE TO BCBC 2012 (9.32)



T-Square
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T-Square Design
2950 Lakehurst Drive
Victoria, BC V8H 4S5
250-361-5411
design@tsquare.ca

GENERAL NOTES

1. All drawings, plans, models, drawings, specifications and other documents prepared by T-Square Design "TS" and submitted to the owner for approval and construction of the work shown on these drawings shall be the property of T-Square Design and shall not be used for any other work or project.
2. It is the responsibility of the Contractor to verify all dimensions, elevations, and the conditions as applicable to the project and the proposed work. The Contractor shall verify the dimensions of any items, materials or dimensions identified within the drawings prior to commencement of the work. Commencement of construction or any part thereof constitutes acceptance of the drawings, acceptance of the conditions, and means dimensions, and conditions have been considered, verified and are acceptable.
3. The Contractor shall work with a B.C.L.S. to verify compliance of placement, siting and location of the proposed building or structure on the property prior to commencing the work. The Contractor shall be responsible for any encroachments with respect to dimensions, siting and placement. Any proposed changes with respect to dimensions, siting or placement shall be confirmed with a B.C.L.S. prior to construction.
4. The Contractor shall engage a Professional Engineer licensed in the Province of BC for the design and full review of all structural components and systems within the work as required by the Authority Having Jurisdiction. Prior to commencement of the work, the Contractor shall notify TSD of any changes to the design required by the Structural Engineer, Trade Manufacturer or other professional component supplier.

RECEIVED

JAN 11 2019

CORP. OF TOWNSHIP
OF ESQUIMALT
DEVELOPMENT SERVICES

Proposed Residence for:

PROPOSED ELEC. RM
939 Colville Rd., Esquimalt, BC

DATE: MARCH 2018

DRAWN BY: AS

JOB #: A16-***

SHEET:

A1
SHEET AS OF 1

Plant Schedule

ID	Qty	Common Name	Latin Name	Size	Comments
Abg	1	Bloodgood Maple	Acer palmatum 'Bloodgood'	15 Gal	Sub " Straight Acer palmatum
ACM	3	Big Leaf Maple	Acer macrophyllum	2 cm Cal 888	
AcS	4	Red Sunset Maple	Acer rubrum 'Red Sunset'	2cm Cal 888	Sub: Carpinus betulus 'Yestigata'
Agri	4	Paperbark Maple	Acer griseum	8' Ht 888	Single Trunk, Well lifted canopy, Sub: Syringa japonica 'Pyralis' Capital
Avine	4	Vine Maple	Acer circinnatum	4' Ht 888	Multi Trunk, 18" canopy with maturity
Bsem	118	Common Boxwood	Buxus sempervirens	44x1 Gal Balled / 88x3.5 Gal	Lampson St solid hedge, Window well adn back units balled.
CAur	25	Bowles Variegated Sedge	Carex elata 'Teneret'	1 Gal	
Cbet	2	European Hornbeam	Carpinus betulus 'Fastigi'	15 Gal	Well lifted canopy for foot traffic underneath
CorEleg	11	Red twig Dogwood	Cornus alba 'Elegantissima'	3 Gal	Alternate plants that get cutback hard every late winter
Cow	3	Dogwood 'Tiddie's White Wonder'	Cornus 'Tiddie's White W'	888 1 cm Cal	
Cow	1	Dogwood 'Tiddie's White Wonder'	Cornus 'Tiddie's White W'	2cm Cal 888	
FPur	5	Purple Columnar Beech	Fagus sylvatica 'Dawyck'	8' Ht	
Fsyl	4	Green Columnar Beech	Fagus sylvatica 'Dawyck'	15 Gal	Lift canopy with maturity
Hjan	34	Little Lime Hardy Hydrangea	Hydrangea paniculata 'Li'	3 Gal	Lifted canopy, Standardized if available.
LonMAY	13	Shrubby Honeysuckle	Lonicera nitida 'Maggie'	1 Gal	Maintain at max 3' tall
MahNE	22	Dwarf Oregon Grape	Mahonia nervosa	1 Gal	
Nep	16	Nepeta Walker's Low	Nepeta x faassenii 'Walker's Low'	1 Gal	Cut back hard after first bloom for late summer second bloom
PabC	3	Columnar Norway Spruce	Picea abies 'Cupressina'	15 Gal	
Pmun	85	Sword Fern	Polystichum munulium	1 Gal	Cut back every late winter
RKin	6	King Edward Flowering Currant	Ribes sanguineum 'King'	3 Gal	
TaxR	71	Upright Japanese Yew	Taxus baccata fastigiata	3' Ht 16" wide min	Maintained as solid hedge
THSMAR	45	Emerald Green Cedar	Thuja occidentalis 'Smar'	7 Gal	Unit C & D to be a solid hedge

Notes:

All building layout, survey information and setback dimensions supplied by Premium Designs and F-Square Designs. Imagine Garden Design & Landscapes working off provided information only.

This drawing must not be scaled. The General Contractor shall verify all dimensions, datums and levels prior to commencement of work. All errors and omissions must be reported immediately to the Designer.

This drawing is the exclusive property of the Designer and can be reproduced only with the permission of the designer, in which case the reproduction must bear the designer's name. Any changes or deviations are the responsibility of the owner. All work to comply with municipal bylaws.

All work to be completed to current CSA/BCSIA standards. Landscape Contractor to be familiar with and in possession of current Standard. Plant material, installation and maintenance to conform to CSA/BCSIA/BCSIA standard current edition. All plant material to be purchased from commercial nurseries. All growing medium to comply to CSA/BCSIA/BCSIA standard designation. Underground irrigation system to be installed complete with automatic rain shut-off and 365 day calendar. Irrigation materials and installation to conform, as a minimum, to CSA/BCSIA/BCSIA Standard current edition. All irrigation piping under hardsurfaces to be sleeved. All landscaped areas to be irrigated. Size and dripline of trees that are not shown, and should be verified by a surveyor and/or arborist where necessary. Arborist to install tree protection fencing for boulevard tree where necessary. Swell Environmental Consultants to design creek area if so required.



Imagine Garden Design & Landscapes

4041 Raymond St N
Victoria BC
V8Z 4L1

Address: 839 COLVILLE RD

Imagine Garden Design & Landscapes

4041 Raymond St N
Victoria BC
V8Z 4L1

Sheet No: Landscape Planting Plan

Designed by: Lina May

Date: Feb 22, 2019

Scale: 3/32" = 1'

Sheet No: 11.4

Lighting plan - 825 Lampson/939 Colville

Lighting plan key*

- ◻ - 2 - SLIM26Y/PC RCL
 - ✕ - 10 - EB3036
 - ✓ - 4 - ER7108
 - - 1 - ALD52N/PCS RCL
- To be mounted on a 12' square poll, mounted on a 3' tall concrete pillar.

*Lighting will be as noted or similar alternative if fixture is discontinued.



ID	Qty	Common Name	Size	Comments
Acim	1	Crimson King Maple	15 Gal	Sub "Straight Acer palmatum
AcRS	5	Red Sunset Maple	2cm Cal B&B	Sub: Carpinus betulus 'Fastigata'
Agri	6	Paperbark Maple	8' Ht B&B	Single trunk. Well lifted canopy. Sub: 'Styrax japonica' 'Pyrus' Capital'
Avine	4	Vine Maple	6' Ht B&B	Multi trunk
Brig	5	River Birch	B&B 2cm Cal	Multi trunk
Bsem	117	Common Boxwood	44x 1 Gal Balled / 89x 3-5 Gal	Lampson St solid hedge. Window well adn back units balled.
CAur	25	Bowles Variegated Sedge	1 Gal	
Cbet	2	European Hornbeam	15 Gal	Well lifted canopy for foot traffic underneath
CorEleg	12	Red Twig Dogwood	3 Gal	Alternate plants that get cutback hard every late winter
Caw	3	Dogwood 'Eddie's White Wonder'	B&B 1.5 cm Cal	
FPur	5	Purple Columnar Beech	8' Ht	
Fyl	4	Green Columnar Beech	15 Gal	
Hjan	34	Little Lime Hardy Hydrangea	3 Gal	Lifted canopy. Standardized if available.
LonMAY	13	Shrubby Honeysuckle	1 Gal	
MahNE	22	Dwarf Oregon Grape	1 Gal	Cut back hard after first bloom for late summer second bloom
Nep	19	Nepeta Walker's Low	1 Gal	Cut back every late winter
Pmun	92	Sword Fern	1 Gal	
RKin	6	King Edward Flowering Currant	3 Gal	
TaxR	71	Upright Japanese Yew	3' Ht 16" wide min	Maintained as solid hedge
THSMAR	45	Emerald Green Cedar	7 Gal	Unit C & D to be a solid hedge

Notes:

All building layout, survey information and setback dimensions supplied by Premium Designs and T-Square Designs.

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Any changes or deviations are the responsibility of the owner. All work to comply with municipal bylaws.

All work to be completed to current BCSLA/BCLNA standards. Landscape Contractor to be familiar with and in possession of current Standard. Plant material, installation and maintenance to conform to BCSLA/ BCLNA standard current edition. All plant material to be purchased from commercial nurseries. All growing medium to comply to BCSLA/ BCLNA standard designation. Underground irrigation system to be installed complete with automatic rain shut off and 365 day calendar. Irrigation materials and installation to conform, as a minimum, to BCSLA/ BCLNA Standard current edition. All irrigation piping under hard surfaces to be sleeved. All landscaped areas to be irrigated. Size and dripline of trees that are not shown, and should be verified by a surveyor and/or arborist where necessary. Arborist to install tree protection fencing for boulevard tree where necessary. Swell Environmental Consultants to design creek area if so required.



Site lighting designed and chosen to provide personal safety for residents and visitors of outdoor areas and pathways. Individual fixtures chosen to reduce glare and spillover of light into townhouse units or onto adjacent residential sites.

Address: 939 COLVILLE RD	
Landscape Company Imagine Garden Design & Landscapes 4041 Raymond St N Victoria BC V8T 4L1	
Draw Title Landscape Planting Plan	
Designed by Uzo May	Scale 3/32" = 1'
Date March 16th, 2018	Sheet No. 13.4

ALED52N/PCS RCL



ALED Area Lights mount to 4" square steel poles at 15-20'. Available in regular, cutoff and full cutoff versions. 1 to 4 fixtures can be mounted to each pole. IES Full Cutoff, Fully Shielded optics. 5-year, no-compromise warranty.

Color: Bronze

Weight: 16.4 lbs

Project:

Type:



Prepared By:

Date:

Driver Info

Type:	Constant Current
120V:	0.51A
208V:	N/A
240V:	N/A
277V:	N/A
Input Watts:	58W
Efficiency:	89%

LED Info

Watts:	52W
Color Temp:	4000K
Color Accuracy:	72 CRI
L70 Lifespan:	100000
Lumens:	7236
Efficacy:	124 LPW

This light is Intended To Be Mounted on a 12' Square Pole which is to Be Mounted To a 3' Tall Concrete Pillar.



ALED52N/PCS RCL



Technical Specifications

Listings

cUL Listing:

Suitable for wet locations and Suitable for mounting below 4' of the ground

DLC Listed:

This product is on the Design Lights Consortium (DLC) Qualified Products List and is eligible for rebates from DLC Member Utilities

IESNA LM-79 & IESNA LM-80 Testing:

RC LED luminaires and LED components have been tested by an independent laboratory in accordance with IESNA LM-79 and LM-80.

LED Characteristics

Lumen Maintenance:

100,000-hour LED lifespan based on IES LM-80 results and TM-21 calculations

LEDs:

Two (2) multi-chip, high-output, long-life LEDs

Color Consistency:

3-step MacAdam Ellipse binning to achieve consistent fixture-to-fixture color

Color Stability:

LED color temperature is warranted to shift no more than 200K in CCT over a 5 year period

Color Uniformity:

RC's range of CCT (Correlated color temperature) follows the guidelines of the American National Standard for Specifications for the Chromaticity of Solid State Lighting (SSL) Products, ANSI C78.377-2017.

Construction

IES Classification:

The Type IV distribution (also known as a Forward Throw) is especially suited for mounting on the sides of buildings and walls, and for illuminating the perimeter of parking areas. It produces a semiCircular distribution with essentially the same candlepower at lateral angles from 90° to 270°.

Ambient Temperature:

Suitable for use in 40°C (104°F) ambient temperatures

Cold Weather Starting:

Minimum starting temperature is -40°C (-40°F)

Housing:

Precision die cast aluminum housing, lens frame

Effective Projected Area:

EPA = 1.5

Reflector:

Specular vacuum-metallized polycarbonate

Gaskets:

High temperature silicone

Finish:

Formulated for high-durability and long lasting color

Green Technology:

Mercury and UV-free, RoHS compliant components. Polyester powder coat finish formulated without the use of VOCs or toxic heavy metals.

Electrical

Drivers:

Two drivers, constant current, 720mA, Class 2, 100 - 277V, 50 - 60 Hz, 100 - 277VAC .8 Amps.

THD:

6.5% at 120V, 7.6% at 277V

Power Factor:

99.3% at 120V, 97.2% at 277V

Surge Protection:

6kV

Photocell:

120V Swivel Photocell Included. Photocell is only compatible with 120V.

Other

Thermal Management:

Cast aluminum Thermal Management system for optimal heat sinking. The ALED is designed for cool operation, most efficient output and maximum LED life by minimizing LED junction temperature.

Arm:

Die-cast aluminum with wiring access plate

Replacement:

Replaces 150W HID

Patents:

The WPLED design is protected by patents pending in the U.S., Canada, China, Taiwan and Mexico.

Technical Specifications (continued)

Other

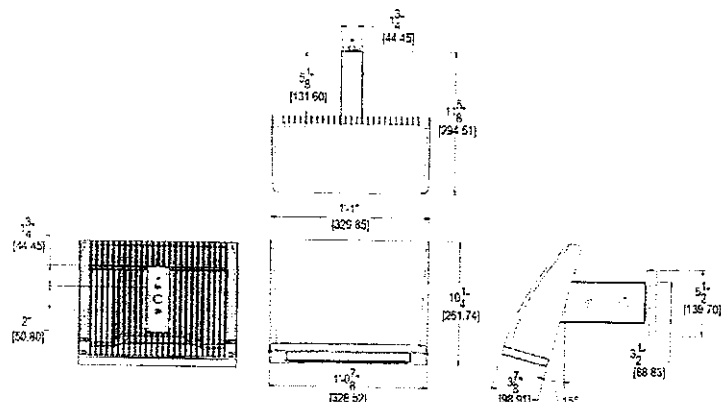
Warranty:

RC warrants that our LED products will be free from defects in materials and workmanship for a period of five (5) years from the date of delivery to the end user, including coverage of light output, color stability, driver performance and fixture finish.

ALED52N/PCS RCL



Dimensions



Features

- High output LED light engine
- Maintains 70% of initial lumens at 100,000 hours
- Weatherproof high temperature silicone gaskets
- Superior heat sinking with die cast aluminum housing and external fins

Ordering Matrix

Family	Cutoff	Wattage	Color Temp	Finish	Driver Options	Photocell Options	Suffix
ALED							RCL
	Blank = Standard (15°)	80 = 80W	Blank = 5000K (Cool)	Blank = Bronze	Blank = 120-277V	Blank = No Option	
	C = Cutoff (7.5°)	52 = 52W	N = 4000K (Neutral)	W = White	/347 = 347V	/PCS = 120V Swivel Photocell	
	FC = Full Cutoff (0°)		Y = 3000K (Warm)		/BL = Bi-Level	/PCS2 = 277V Swivel Photocell	
					/D10 = 0-10V Dimming		

EB3036

SPECIFICATION SHEET

High power exterior rated bollards for safety and architectural illumination

- Wet location listed
- Die-cast aluminum housing
- Powder coated finishes
- 120V

Color Temp 3000K
CRI (Ra) >80
Rated Life 50,000 hours

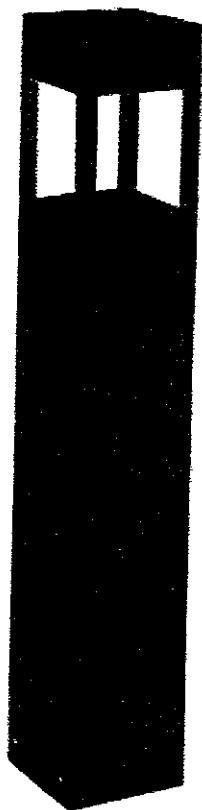
Voltage	Watt	LED Lumens	Delivered Lumens	Finish(es)
120V	13W	1000	750*	WH - White

PROJECT

DATE

TYPE

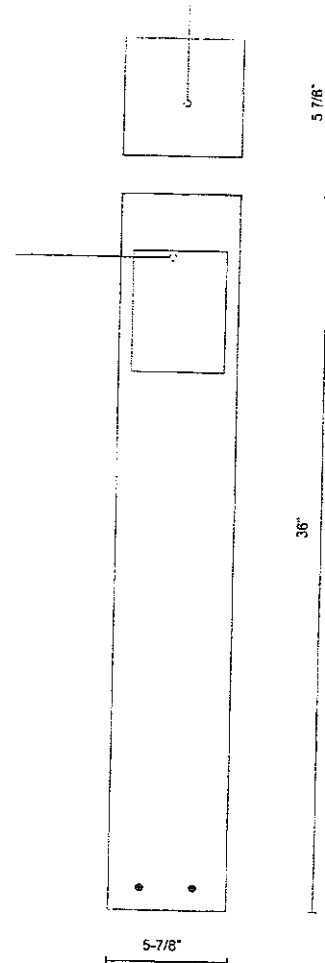
X



EB3036-WH

Aluminum Die-Cast Housing
WH - White

Down LED



*Subject to testing confirmation

KUZCO
LIGHTING

20160127

19054 28th Avenue
Surrey, BC, Canada
V3Z 6M3

T: 604 538 7162
F: 604 538 7196
W: Kuzcolighting.com



ER7108

Specification Sheet Exterior Recessed



ER7108-BK

Other Finishes:



GY - GREY



BK - BLACK

PROJECT					V 1.0
DATE			TYPE		
Voltage	Watt	LED Lumens	Delivered Lumens	Finish(es)	
120V	8W	600lm	235lm	BK - Black	Color Temp 3000K
120V	8W	600lm	303lm	GY - Grey	CRI (Ra) >90
					Dimming 100% - 10%
					Rated Life 50,000 hours

*Preliminary figures

DRY LOCATION - box sold separately



INTERIOR WIRING
GALVANIZED BACK-BOX

WET LOCATION - box sold separately



DIE-CAST WET LOCATION BOX
ER7108-CBOX

Product Descriptions

This exterior recessed light is a classic, rectangle-shaped, 7-1/5 inch tall die-cast aluminum recessed light and utilizes LED light sources. The housing is designed to light an exterior or interior staircase or any other area that calls for a lighting from a concealed aperture. Choose from black or grey powder coat. Newport is dimmable. Requires either back-box with fixture ER7108-IBOX (Dry Location) or ER7108-CBOX (Wet Location).

Product Details

High system efficacy
Low total life cycle cost
No visible flicker AC operation
ETL listed

Labels UL and C-UL Listed

5-year LED warranty and 1 year fixture warranty.

Complete warranty terms located at:

www.kuzcolighting.com/warranty

Utilizes our patented Driverless LED Light Engine technology - connects directly to AC, no external driver needed.

Die-cast aluminum with powder coat finish and polymeric lens

Dimmable with ELV dimmer (not included)

Custom options available

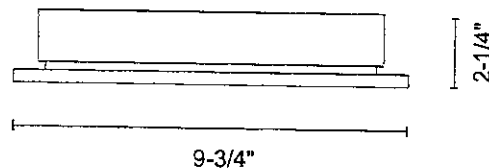
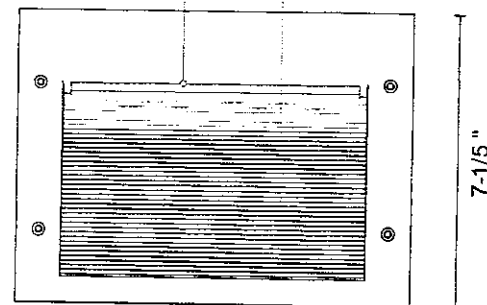
High system efficacy

Low total life cycle cost

No visible flicker AC operation

Metal Finish
GY - Grey
BK - Black

Polymeric lens



Comments:

KUZCO
LIGHTING
20160824

19054 28th Avenue
Surrey, BC, Canada
V3Z 6M3

T: 604 538 7162
F: 604 538 7196
W: Kuzcolighting.com



SLIM26Y/PC RCL



12, 18 and 26 Watt SLIM wallpacks are ultra efficient and deliver impressive light distribution with a compact low-profile design that's super easy to install as a downlight or uplight.

Color: Bronze

Weight: 4.5 lbs

Project:
Colville / Lampson

Type:  

Prepared By:
Mike McDougall

Date:

Driver Info

Type: Constant Current
120V: 0.27A
208V: N/A
240V: N/A
277V: N/A
Input Watts: 30W
Efficiency: 87%

LED Info

Watts: 26W
Color Temp: 3000K
Color Accuracy: 70 CRI
L70 Lifespan: 100000
Lumens: 3452
Efficacy: 116 LPW

Technical Specifications

Electrical

Photocell:

120V Button Photocell included. Photocell is only compatible with 120V.

Driver:

Constant Current, Class 2, 100-277V, 50/60 Hz., 6KV surge protection, 720mA, 100-277VAC 0.4 Amps, Power Factor 99%.

Listings

cUL Listing:

Suitable for wet locations. Suitable for mounting within 1.2m (4ft) of the ground.

DLC Listed:

This product is on the Design Lights Consortium (DLC) Qualified Products List and is eligible for rebates from DLC Member Utilities.

Dark Sky Approved:

The International Dark Sky Association has approved this product as a full cutoff, fully shielded luminaire.

IESNA LM-79 & LM-80 Testing:

RC LED luminaires and LED components have been tested by an independent laboratory in accordance with IESNA LM-79 and LM-80.

Construction

IP Rating:

Ingress Protection rating of IP66 for dust and water.

Cold Weather Starting:

Minimum starting temperature is -40°C (-40°F).

Ambient Temperature:

Suitable for use in 40°C (104°F) ambient temperatures.

Housing:

Precision die-cast aluminum housing.

Mounting:

Heavy-duty mounting bracket with hinged housing for easy installation.

Recommended Mounting Height:

Up to 22 ft.

Lens:

Tempered glass lens.

Reflector:

specular thermoplastic.

Gaskets:

High-temperature silicone.

Finish:

Formulated for high-durability and long lasting color.

Green Technology:

Mercury and UV-free. RoHS compliant components. Polyester powder coat finish formulated without the use of VOCs or toxic heavy metals.

Other

LED:

Multi-chip, long-life LED.

Thermal Management:

Superior heat sinking with internal Air-Flow fins.

HID Replacement Range:

Replaces 175W Metal Halide.

ADA Compliant:

SLIM™ is ADA Compliant.

Patents:

The design of the SLIM™ is protected by patents in U.S. Pat 0681,864, and pending patents in Canada, China, Taiwan and Mexico.

LED Characteristics

Lifespan:

100,000-hour LED lifespan based on IES LM-80 results and TM-21 calculations.

Color Consistency:

3-step MacAdam Ellipse binning to achieve consistent fixture-to-fixture color.

Color Stability:

LED color temperature is warrantied to shift no more than 200K in CCT over a 5 year period.

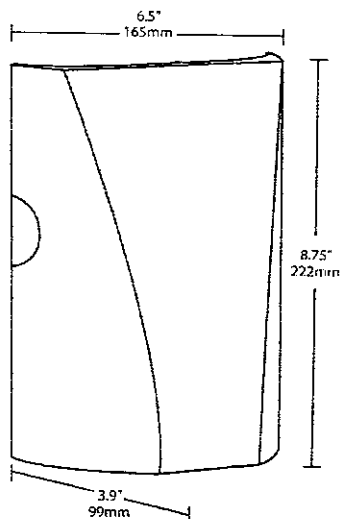
Color Uniformity:

RC's range of CCT (Correlated Color Temperature) follows the guidelines for the American National Standard for Specifications for the Chromaticity of Solid State Lighting (SSL) Products. ANSI C78.377-2017.

SLIM26Y/PC RCL



Dimensions



Features

- Full cutoff, fully shielded LED wallpack
- Can be used as a downlight or uplight
- Contractor friendly features for easy installation
- 100,000-hour LED Life
- 5-Year, No-Compromise Warranty

Ordering Matrix

Family	Wattage	Color Temp	Finish	Driver	Options	Suffix
SLIM						RCL
	26 = 26W	Blank = 5000K (Cool)	Blank = Bronze	Blank = Standard (120-277V)	Blank = No Option	
	18 = 18W	N = 4000K (Neutral)	W = White	/D10 = Dimmable	/PC = 120V Button	
	12 = 12W	Y = 3000K (Warm)			/PC2 = 277V Button	
					/LC = Lightcloud Controller	