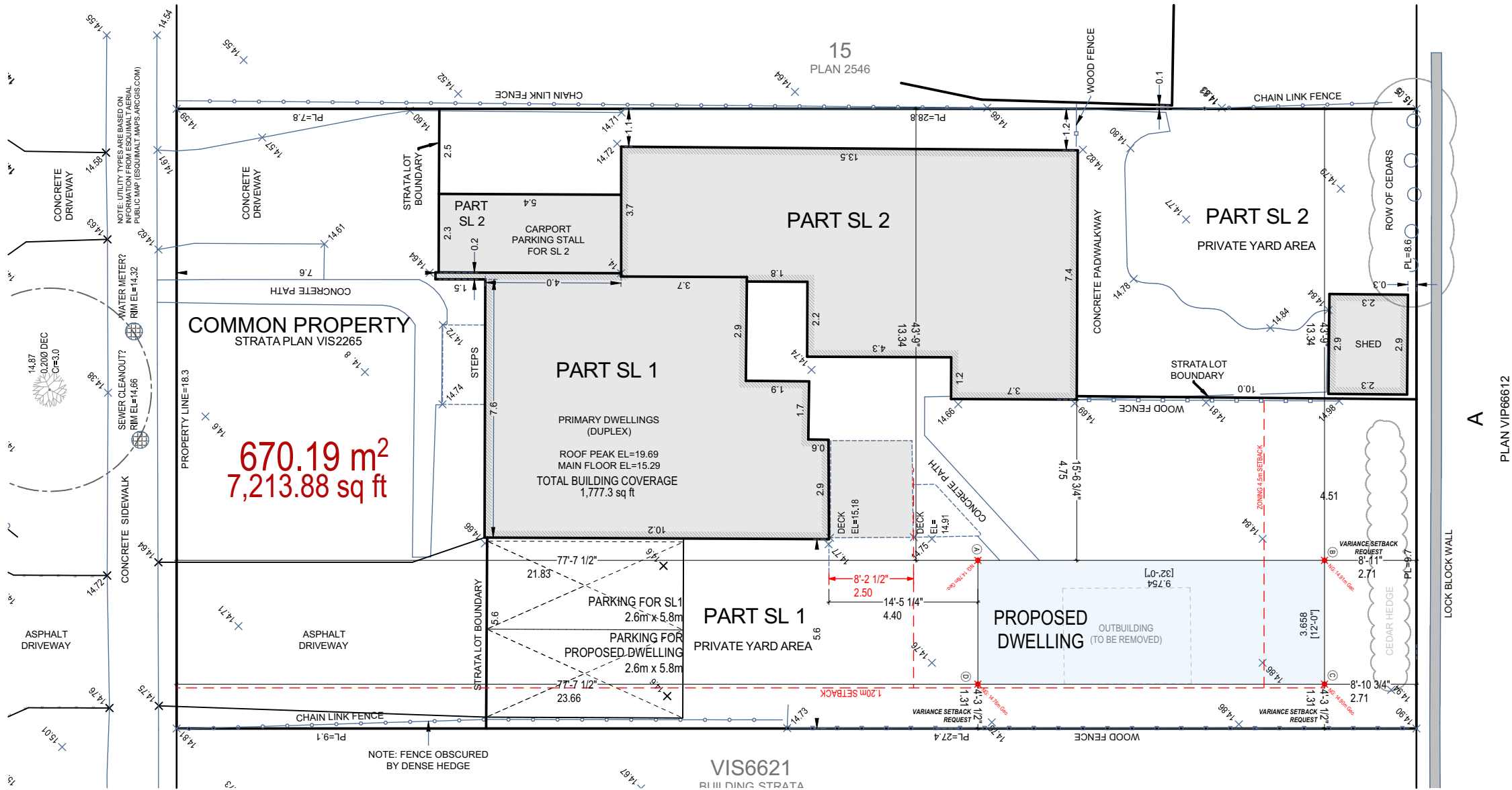




670.19 m²
7,213.88 sq ft

SITE PLAN

SCALE = 1 : 150

TOWNSHIP OF ESQUIMALT PROPOSED SMALL-SCALE DWELLING		
ADDRESS	1215 COLVILLE ROAD	
LOT SIZE	670.19m ² (7,213.88 ft ²)	
ZONING	RSM-2	
	PROPOSED	ALLOWED
FLOOR AREA		
FLOOR AREA FOR FIRST STOREY	37.44m ² (403ft ²)	
FLOOR AREA FOR SECOND STOREY	17.06m ² (183.68ft ²)	
TOTAL GROSS FLOOR AREA	54.50m ² (586.68ft ²)	
SITE COVERAGE		
SITE COVERAGE	31.24% 209.40m ² (2,253.95ft ²)	50% 335.10m ² (3,606.94ft ²)
PARKING STALLS ON SITE	3	
SETBACKS		
FRONT LINE	23.66m (77.63ft)	4.0m (13.12ft)
PROPOSED DWELLING UNIT INTERIOR SIDE	13.34m (43.76ft)	1.20m (3.94ft)
PROPOSED DWELLING UNIT INTERIOR SIDE (USED FOR COMBINED SETBACK TOTAL)	1.31m (4.30ft)	1.20m (3.94ft)
EXISTING DWELLING UNIT INTERIOR SIDE (USED FOR COMBINED SETBACK TOTAL)	1.10m (3.61ft)	1.20m (3.94ft)
COMBINED SIDE YARDS PROPOSED DWELLING UNIT AND EXISTING DWELLING UNIT	2.41m (7.91ft)*	3.0m (9.84ft)
REAR LINE	2.71m (8.91ft)*	4.50m (14.76ft)
BUILDING SEPARATION	2.57m (8.43ft)	2.50m (8.20ft)
HEIGHT		
NUMBER OF STOREYS	2	
AVERAGE GRADE	14.83m Geo.	
HIGHEST SLOPED ROOF HEIGHT	5.53m (18.13ft)	11.0m (36.09ft)

INDICATES VARIANCE(S)*

(A) 14.76	(+)	HEIGHT CALCULATION 59.33 / 4 = 14.83m Geo. (AVG. NAT. GRADE)
(B) 14.91		
(C) 14.90		
(D) 14.76		

TITLE SITE PLAN AND DATA BOX			SHEET NO. B.01	GENERAL NOTES BOARD OF VARIANCE SUBMISSION TOWNSHIP OF ESQUIMALT	
DATE 03APR25	PROJECT NO. 1251	PROJECT TITLE 1215 COLVILLE RD - SMITH RESIDENCE			

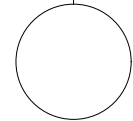
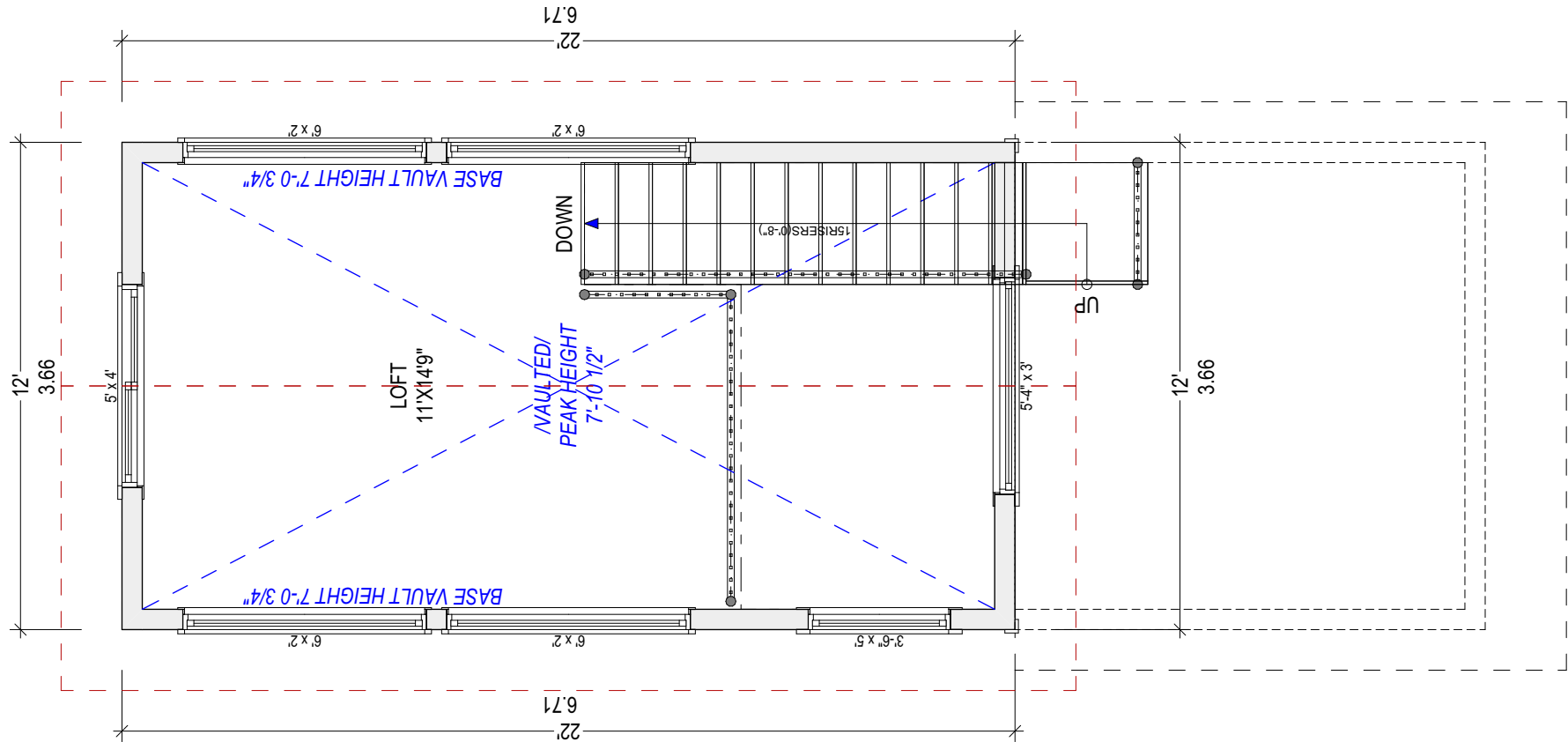


SCALE = 1 : 50

FLOOR AREA: 403 sq ft (37.44m2)

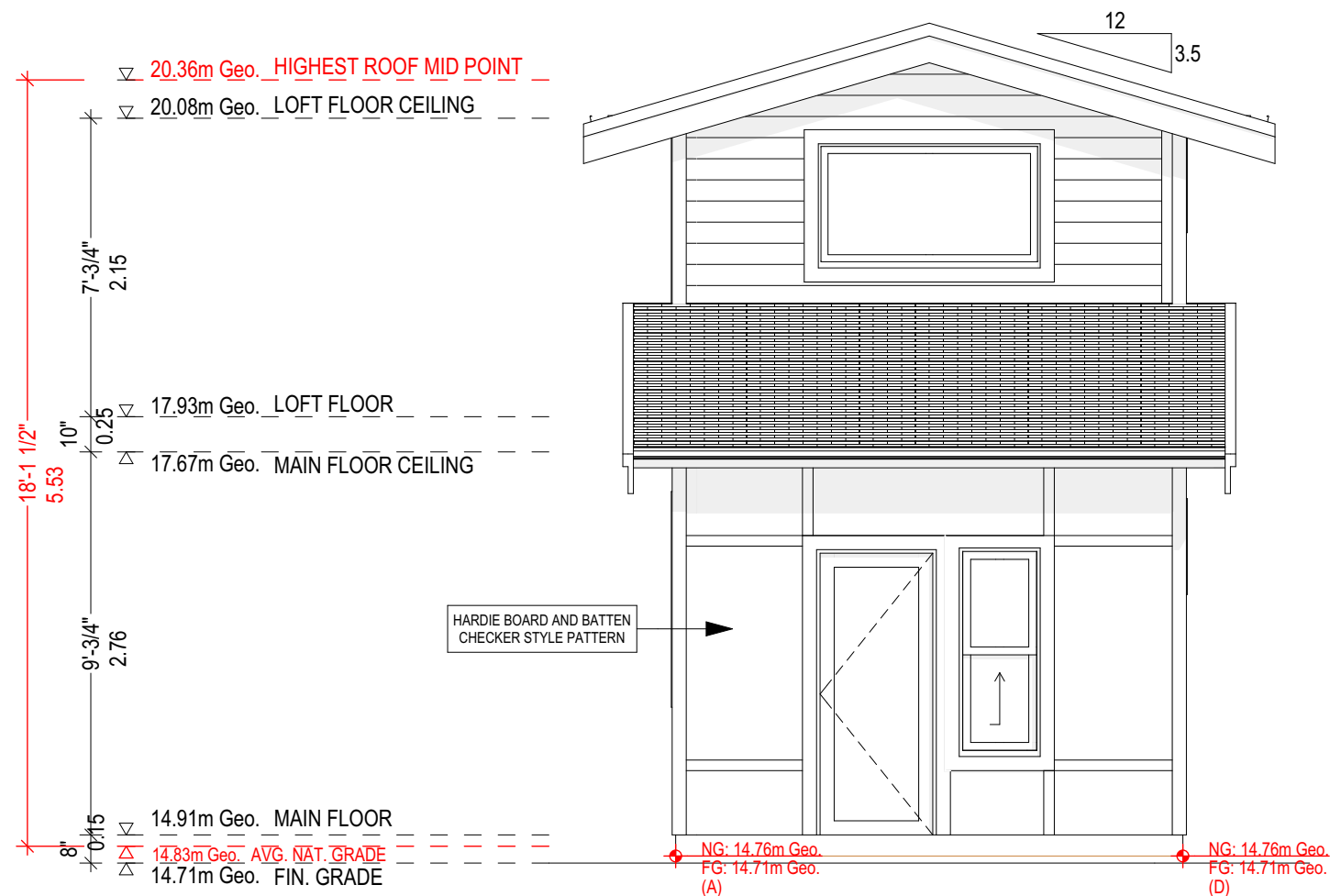
TITLE			SHEET NO.	GENERAL NOTES	
FLOOR PLANS					
DATE	PROJECT NO.	PROJECT TITLE	B.02	BOARD OF VARIANCE SUBMISSION TOWNSHIP OF ESQUIMALT	© 2024 CARMA DESIGN GROUP INC.
03APR25	1251	1215 COLVILLE RD - SMITH RESIDENCE			

TITLE FLOOR PLANS			SHEET NO. B.03	GENERAL NOTES BOARD OF VARIANCE SUBMISSION TOWNSHIP OF ESQUIMALT	CARMA DESIGN GROUP © 2024 CARMA DESIGN GROUP INC.
DATE 03APR25	PROJECT NO. 1251	PROJECT TITLE 1215 COLVILLE RD - SMITH RESIDENCE			



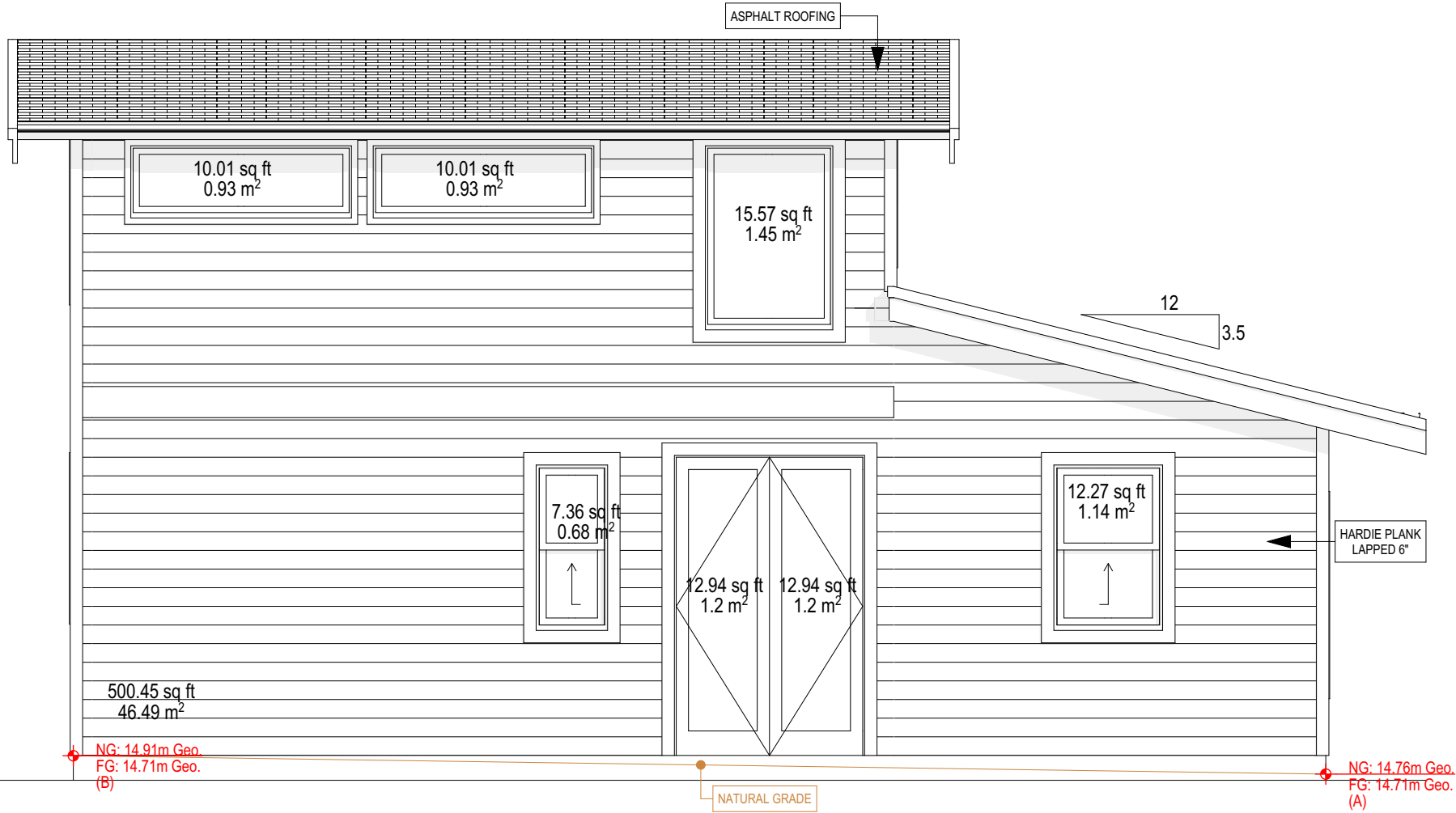
SECOND STOREY PLAN (7'-0 3/4" CEILING HEIGHT)

SCALE = 1 : 50
FLOOR AREA: 183.68 sq ft (17.06m²)



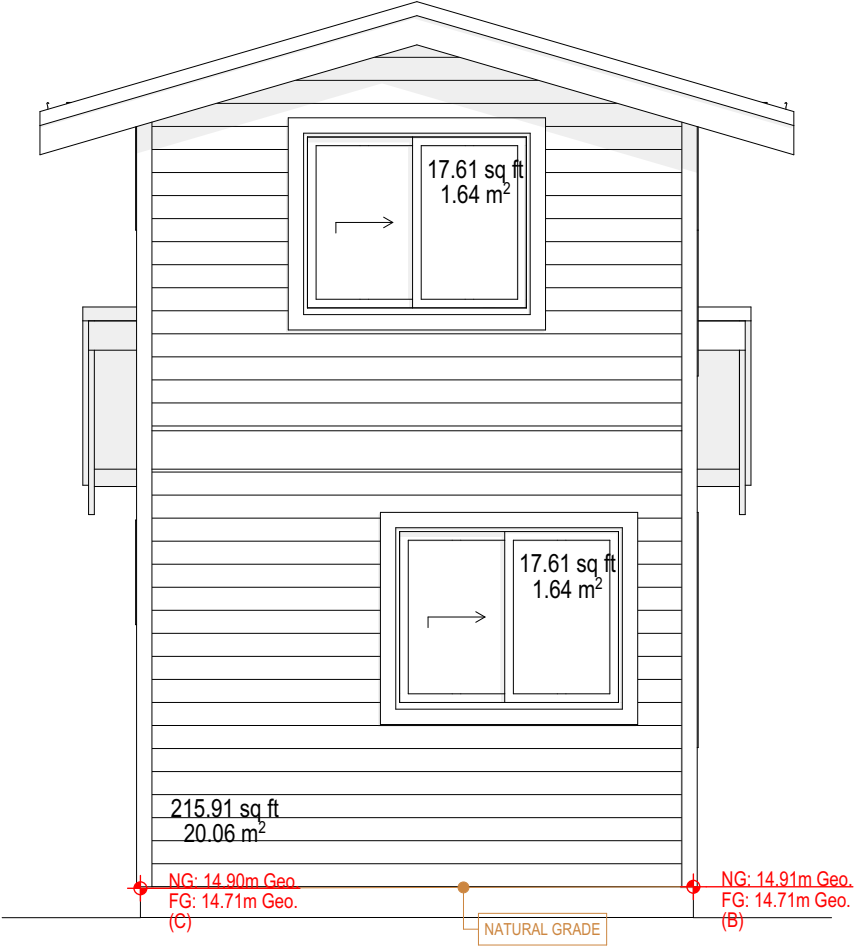
FRONT ELEVATION
SCALE = 1 : 50

TITLE EXTERIOR ELEVATION			SHEET NO. B.04	GENERAL NOTES BOARD OF VARIANCE SUBMISSION TOWNSHIP OF ESQUIMALT	
DATE 03APR25	PROJECT NO. 1251	PROJECT TITLE 1215 COLVILLE RD - SMITH RESIDENCE			



○	LEFT ELEVATION	LIMITING DISTANCE	2.38	m
	SCALE = 1 : 50	EXPOSED BUILDING FACE	46.49	sq m
		ALLOWABLE OPENINGS	16.85	%
		(as per Table 9.10.15.4)		
		ALLOWABLE OPENING AREA	7.83	sq m
		PROPOSED OPENINGS	7.53	sq m

TITLE			SHEET NO.	GENERAL NOTES	CARMA DESIGN GROUP
EXTERIOR ELEVATION					
DATE	PROJECT NO.	PROJECT TITLE	B.05	BOARD OF VARIANCE SUBMISSION TOWNSHIP OF ESQUIMALT	© 2024 CARMA DESIGN GROUP INC.
03APR25	1251	1215 COLVILLE RD - SMITH RESIDENCE			

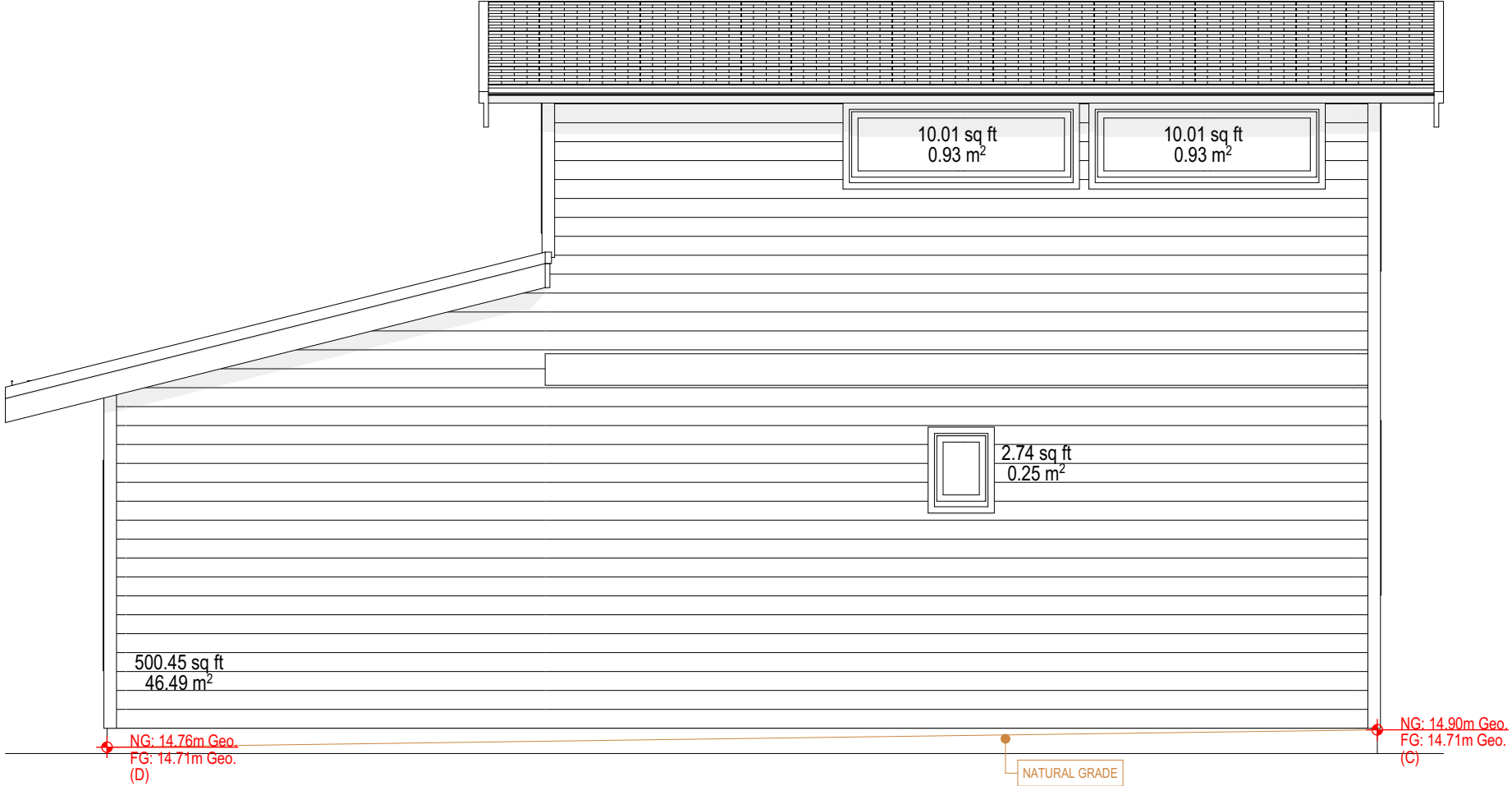


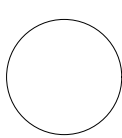
REAR ELEVATION
SCALE = 1 : 50

LIMITING DISTANCE	2.71	m
EXPOSED BUILDING FACE	20.06	sq m
ALLOWABLE OPENINGS (as per Table 9.10.15.4)	21.45	%
ALLOWABLE OPENING AREA	4.30	sq m
PROPOSED OPENINGS	3.28	sq m

TITLE EXTERIOR ELEVATION			SHEET NO. B.06	GENERAL NOTES BOARD OF VARIANCE SUBMISSION TOWNSHIP OF ESQUIMALT	
DATE 03APR25	PROJECT NO. 1251	PROJECT TITLE 1215 COLVILLE RD - SMITH RESIDENCE			

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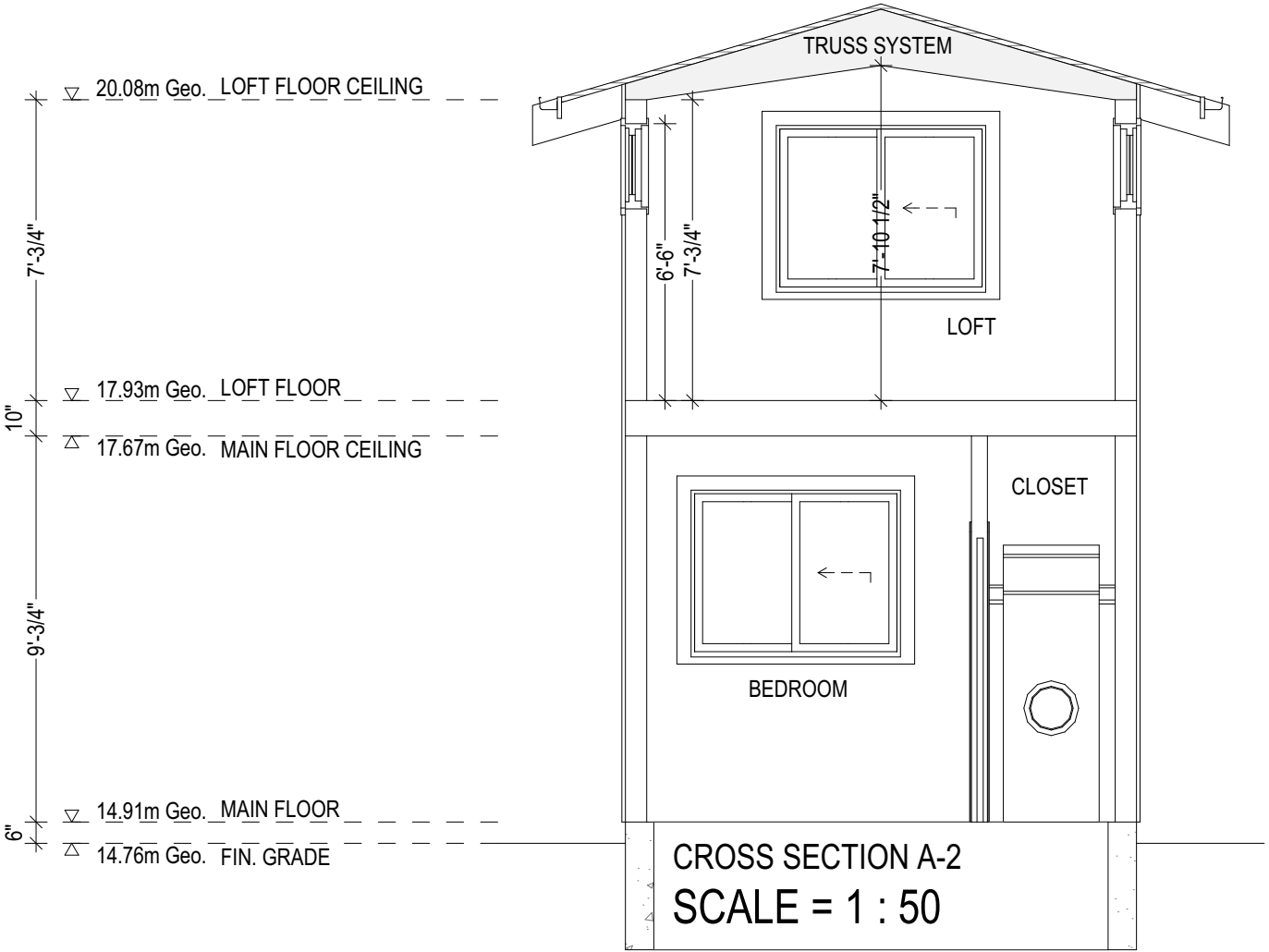
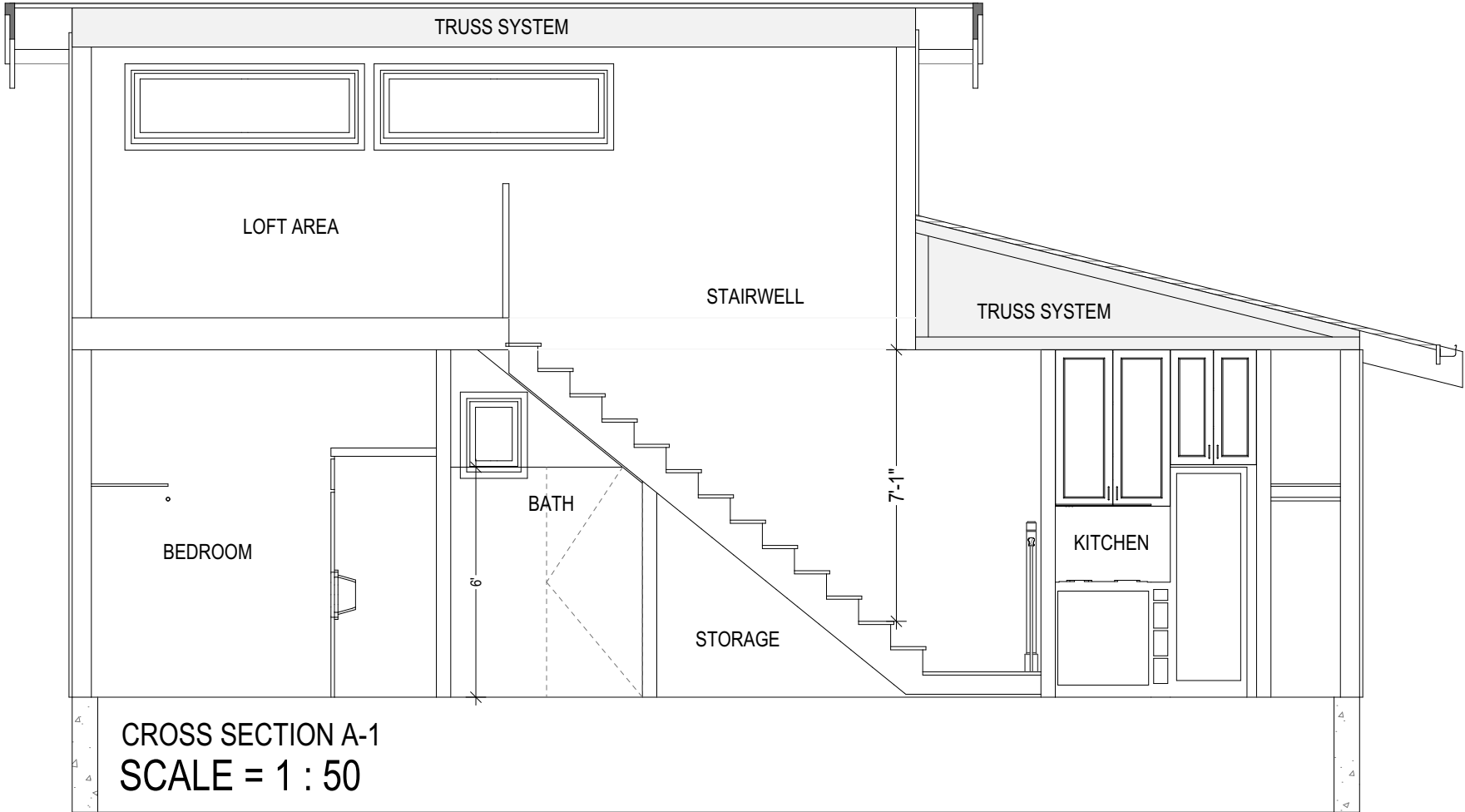


 **RIGHT ELEVATION**
SCALE = 1 : 50

LIMITING DISTANCE	1.31	m
EXPOSED BUILDING FACE	46.49	sq m
ALLOWABLE OPENINGS (as per Table 9.10.15.4)	7.25	%
ALLOWABLE OPENING AREA	3.37	sq m
PROPOSED OPENINGS	2.11	sq m

TITLE EXTERIOR ELEVATION			SHEET NO. B.07	GENERAL NOTES BOARD OF VARIANCE SUBMISSION TOWNSHIP OF ESQUIMALT	
DATE 03APR25	PROJECT NO. 1251	PROJECT TITLE 1215 COLVILLE RD - SMITH RESIDENCE			

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TITLE			SHEET NO.	GENERAL NOTES	 © 2024 CARMA DESIGN GROUP INC.
PRELIMINARY CROSS SECTIONS					
DATE	PROJECT NO.	PROJECT TITLE			
03APR25	1251	1215 COLVILLE RD - SMITH RESIDENCE		BOARD OF VARIANCE SUBMISSION TOWNSHIP OF ESQUIMALT	