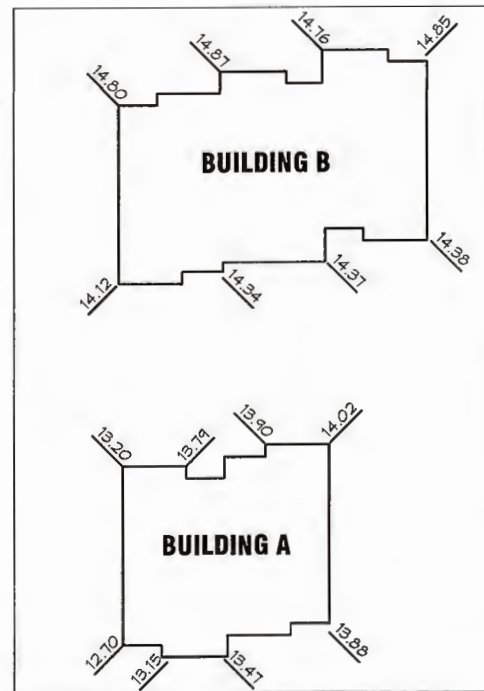




1 CONTEXT PLAN
SK-1

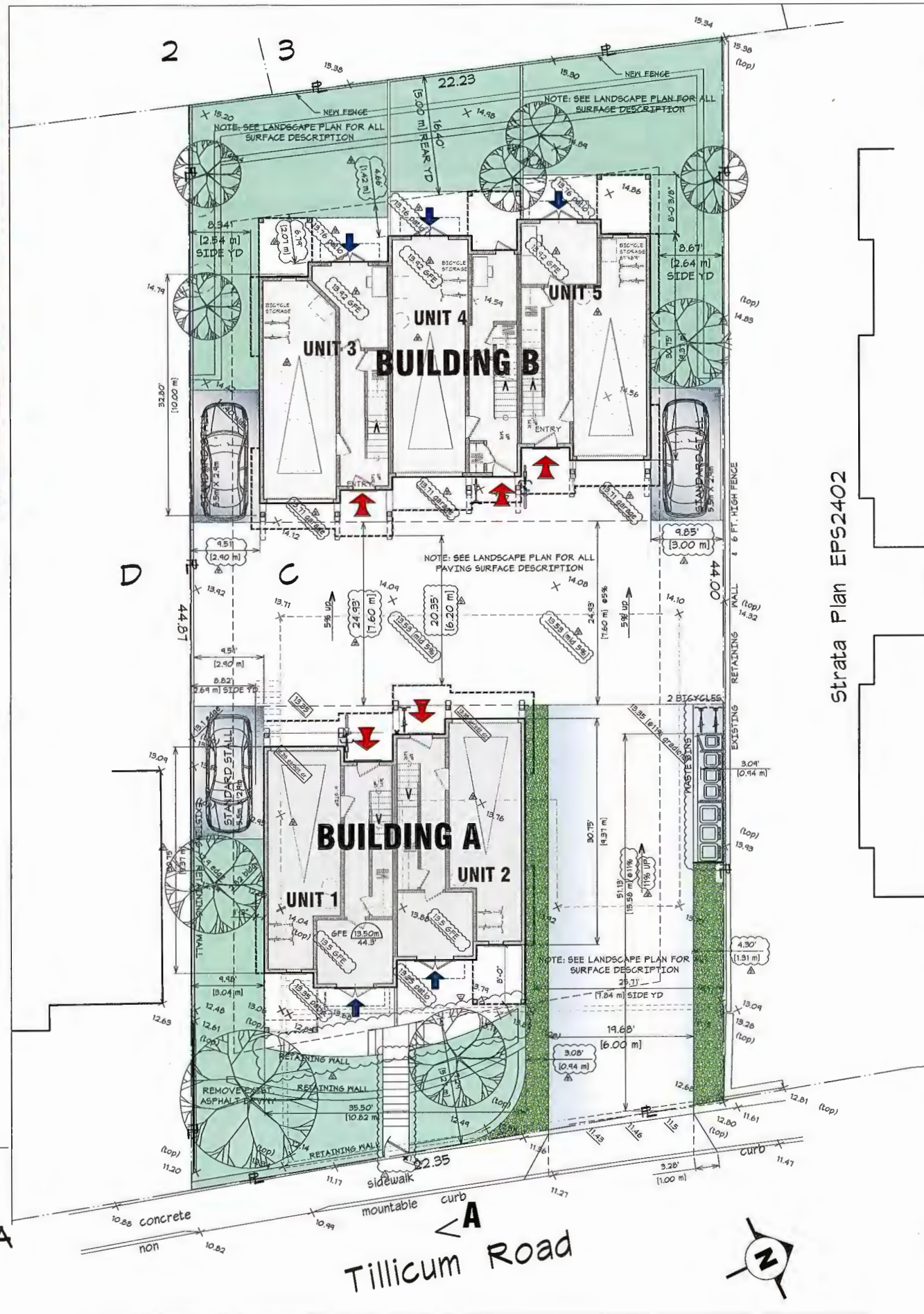
AVERAGE GRADE		
	BUILDING A	BUILDING B
CORNER POINTS	13.20 13.74 13.9 14.02 13.15 13.47 13.88	14.8 14.81 14.76 14.85 14.34 14.37 14.38
TOTAL	108.11	116.49
AVERAGE GRADE	108.11/8 = 13.51 m	116.49/8 = 14.56 m



2 ELEVATIONS FOR AVERAGE GRADE
SK-1 SCALE= NONE

SITE PLAN & PROJECT DATA
PROPOSED REZONING AT
1052-1054 TILLICUM RD.
ESQUIMALT B.C.

SCALE = 1/8"=1'-0"



3 SITE PLAN
SK-1 SCALE= 1/8"=1'-0"

PROJECT DATA

LEGAL DESCRIPTION
LOT C, SECTION D,
ESQUIMALT DISTRICT, PLAN 11683

CURRENT ADDRESS
1052-1054 TILLICUM ROAD

ZONING
CURRENT ZONE: RD-1 (TWO-FAMILY)
PROPOSED ZONE: SITE SPECIFIC

SITE AREA
980 m² (10,548 SF)

NO. OF UNITS
5 (FIVE)

TOTAL COVERAGE =
3570.6/10548 = 33.85%

BLDG. A COV. 1441.0 SF
BLDG. B COV. 2129.6 SF
TOTAL COV. = 3570.6 SF

FLOOR AREA
BUILDING A
UPPER 1241.0 SF
MAIN 1241.2 SF
LOWER 500.1 SF
TOTAL 2982.3 SF

FLOOR AREA
BUILDING B
UPPER 1845.8 SF
MAIN 1851.6 SF
LOWER 698.3 SF
TOTAL 4395.7 SF

BUILDING HEIGHT

BUILDING A
AVERAGE GRADE = 13.51m
BUILDING HEIGHT = 9.14m [30.0']

BUILDING B
AVERAGE GRADE = 14.56m
BUILDING HEIGHT = 6.50m [21.3']

NET INTERIOR
FLOOR AREA BLDGS. 1 & 2 =
2982.3+4395.7 =
7378 SF
FAR = 7378/10,548 = 6.99

PARKING
COVERED 5 STALLS
VISITOR 3 STALLS STANDARD
TOTAL: 8 STALLS

SETBACKS BUILDING A

SETBACK TYPE	COMPARE CD-89	PROPOSED
FRONT @ STREET	5.0 m 16.4'	5.27 m 17.29' MIN. @ NE BLDG. CORNER
REAR MIN. TO BLDG. B	N/A	6.20 m 20.35'
SIDE NORTH	3.0 m 9.8'	7.84 m 25.71' AT CANTILEVER
SIDE SOUTH	3.0 m 9.8'	2.69 m @ CANTILEVER 3.04m @ GROUND LVL

SETBACKS BUILDING B

SETBACK TYPE	COMPARE CD-89	PROPOSED
FRONT TO BLDG A	5.0 m 16.4'	6.20 m 20.35'
REAR	N/A	5.00 m 16.40'
SIDE NORTH	3.0 m 9.8'	2.64 m [8.67'] @ CANTILEVER 3.00m [9.85'] @ GROUND LVL
SIDE SOUTH	3.0 m 9.8'	2.54 m [8.34'] @ CANTILEVER 2.90m [9.51'] @ GROUND LVL

NOTE:
REFER TO LANDSCAPE PLAN FOR ALL LANDSCAPING

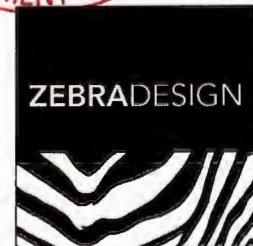
EGRESS

PRIMARY EGRESS ↑

SECONDARY EGRESS ↓

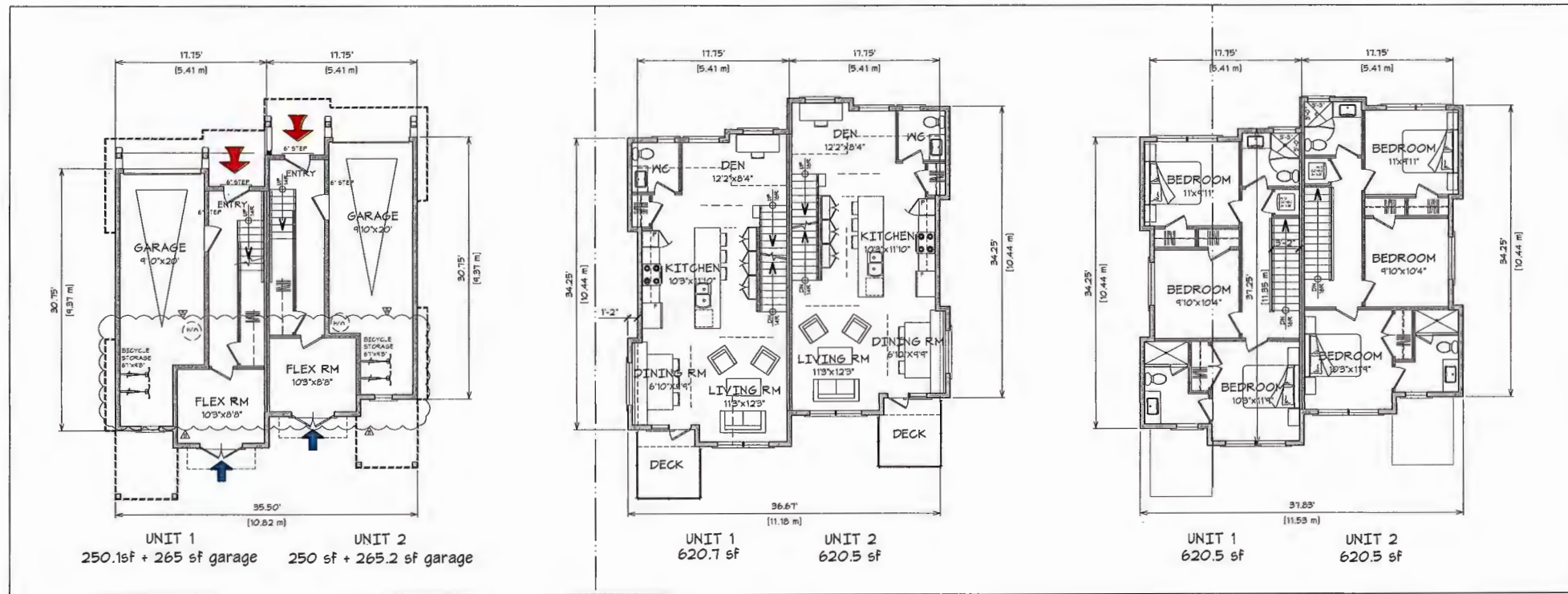


REV.	DESCRIPTION	DATE
A	RE-ZONING APPLICATION	9.18.17
B	REVISIONS FOR DRG UNITS 214 MOVED NORTH 5th & 4th, BLDGS B+C LOWER BY 3m, ACCESS DRIVE TO 119, ACCESS DRIVE SHIFTED SOUTH, PASTE BINS RE-LOCATED, ACCESS STAIR FROM ST. TO UNITS 112, ADD 2 BICYCLE STANDS, AND BICYCLE LOCK-UPS	10.26.17
C	FRONT STAIR REVISED	10.27.17



SK-1

REVISIONS & ISSUES		
REV.	DESCRIPTION	DATE
A	RE-ZONING APPLICATION	4.10.17
B	REVISIONS TO DRG UNITS 844 MOVED NORTH 5m & 48m, BLDGS BIG LOWER BY 5m	10.26.17

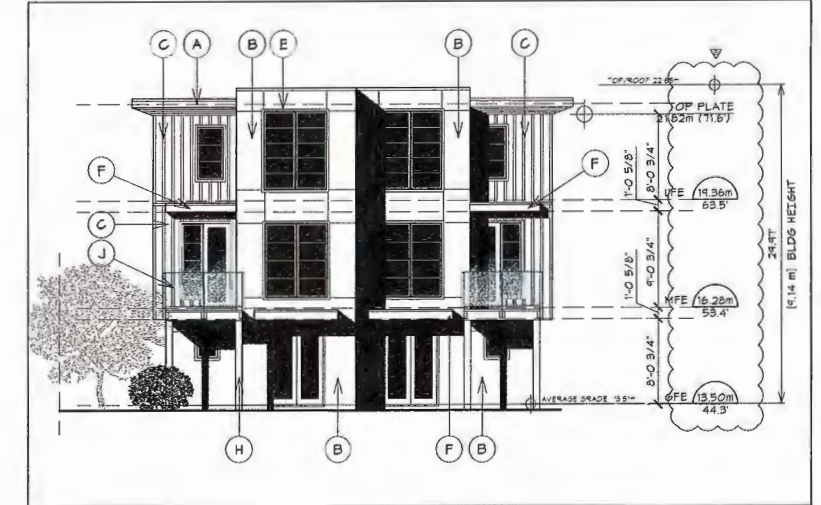
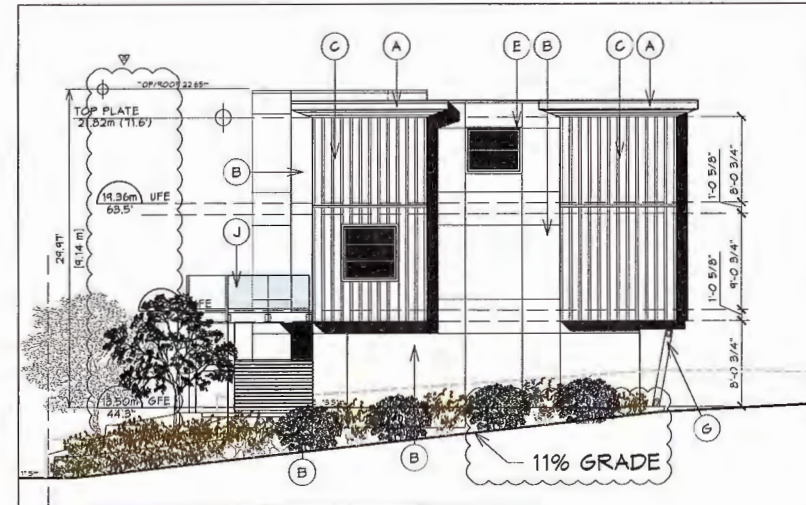
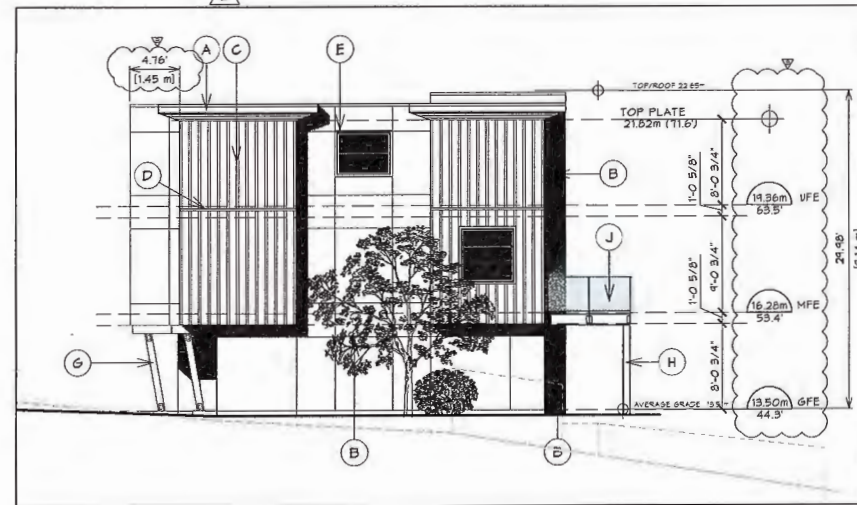


1 GROUND FLOOR PLAN
SK-2 SCALE = 1/8"=1'-0" 500.1 sf + garages

2 MAIN FLOOR PLAN
SK-2 SCALE = 1/8"=1'-0" 1241.2 sf

3 UPPER FLOOR PLAN
SK-2 SCALE = 1/8"=1'-0" 1241.0 sf

4 WEST ELEVATION
SK-2 SCALE = 1/8"=1'-0"



5 SOUTH ELEVATION
SK-2 SCALE = 1/8"=1'-0"

6 NORTH ELEVATION
SK-2 SCALE = 1/8"=1'-0"

7 EAST ELEVATION
SK-2 SCALE = 1/8"=1'-0"

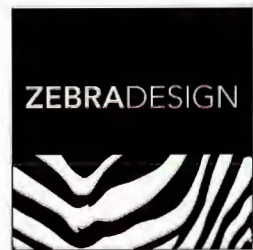
FINISH SCHEDULE	
A	1x10 PROJECTING FASCIA AND CANTED CEDAR T&G SOFFIT
B	CEMENTITIOUS PANELS c/w REVEALS
C	BOARD & BATTEN
D	2x CANTED WATERLINE
E	2x3 WINDOW/DR TRIM, WINDOW WITH HORIZONTAL MUNTIN BARS
F	1x10 FASCIA ON PROJECTING CANOPY
G	8x8 TIMBER KNEE BRACE
H	8x8 TIMBER COLUMN
J	GLAZED BALCONY GUARDRAILS
K	GLASS & ALUMINUM GARAGE DOOR

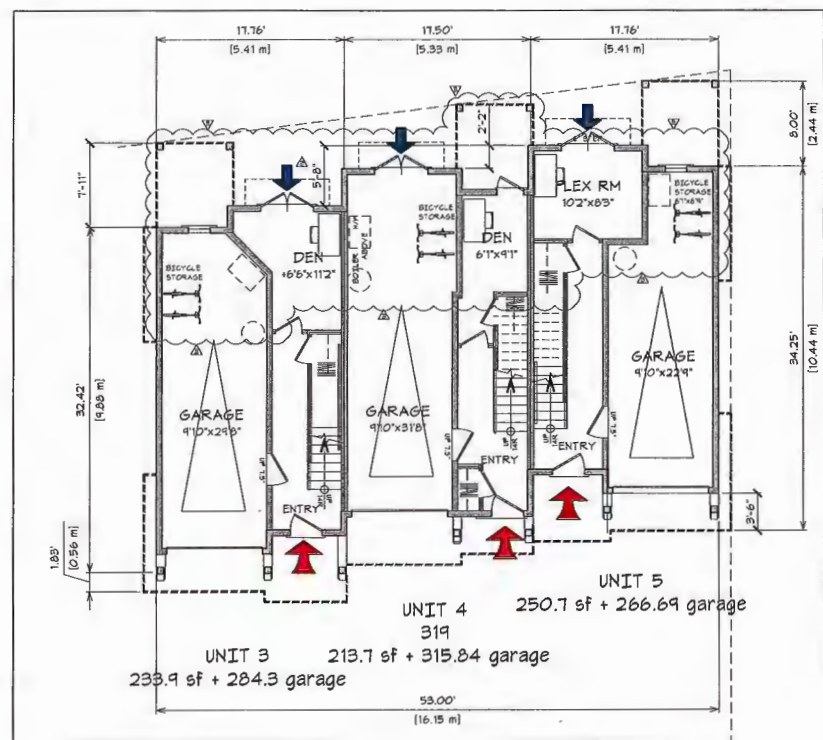
BUILDING A
PLANS AND ELEVATIONS
PROPOSED REZONING AT
1052-1054 TILlicUM RD.
ESQUIMALT B.C.

SCALE = 1/8"=1'-0"

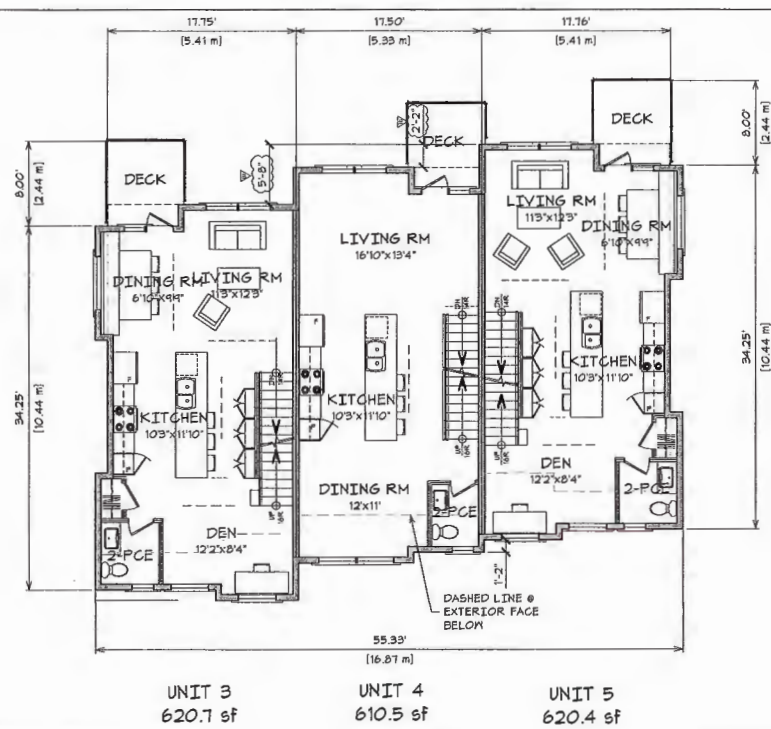


SK-2

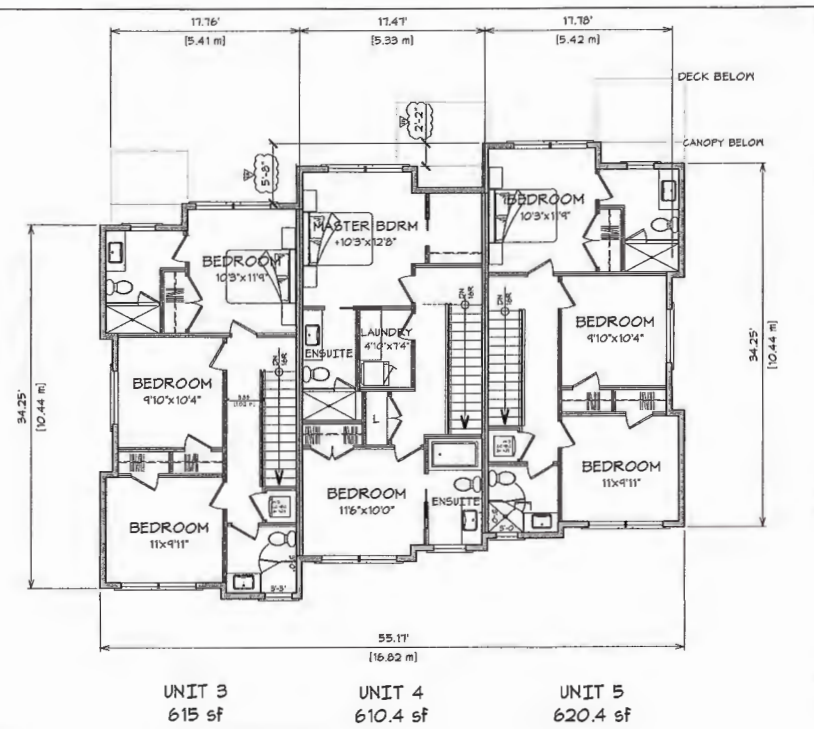




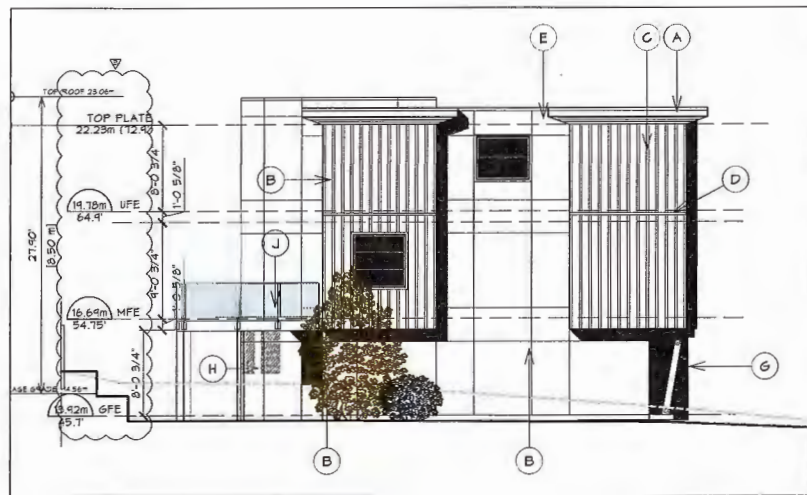
1 GROUND FLOOR PLAN
SK-3 SCALE= 1/8"=1'-0" 698.3 sf + garages



2 MAIN FLOOR PLAN
SK-3 SCALE= 1/8"=1'-0" 1850.7 sf



3 UPPER FLOOR PLAN
SK-3 SCALE= 1/8"=1'-0" 1850.4 sf



4 SOUTH ELEVATION
SK-3 SCALE= 1/8"=1'-0"



5 NORTH ELEVATION
SK-3 SCALE= 1/8"=1'-0"



6 EAST ELEVATION
SK-3 SCALE= 1/8"=1'-0"

REVISIONS & ISSUES		
REV.	DESCRIPTION	DATE
A	RE-ZONING APPLICATION	9.18.17
B	REVISIONS FOR DRG UNITS 3&4 MOVED NORTH 51m & 46m, BLDGS BEC LOWER BY 5m	10.26.17



7 WEST ELEVATION
SK-3 SCALE= 1/8"=1'-0"

BUILDING B
PLANS AND ELEVATIONS
PROPOSED REZONING AT
1052-1054 TILLICUM RD.
ESQUIMALT B.C

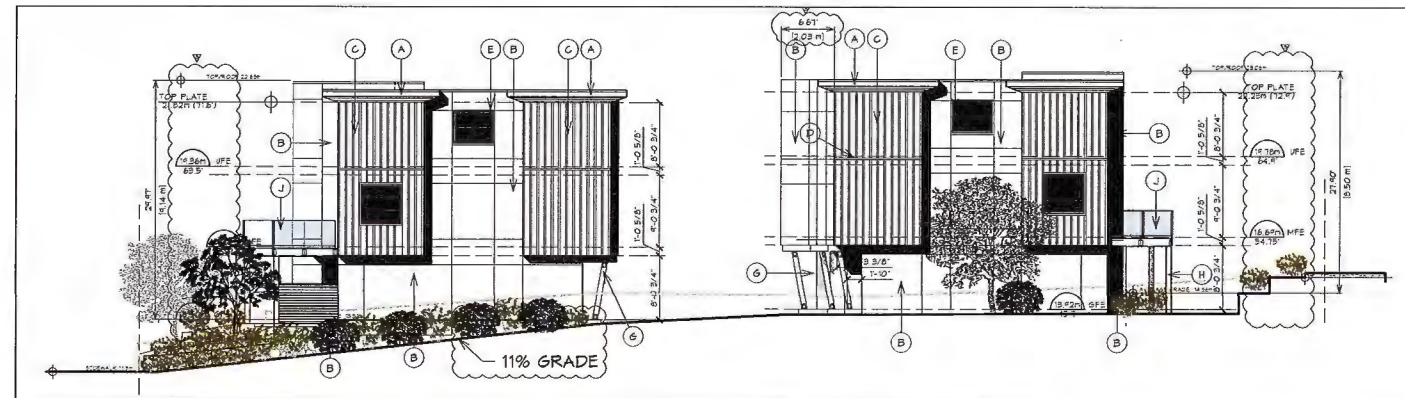
SCALE = 1/8"=1'-0"



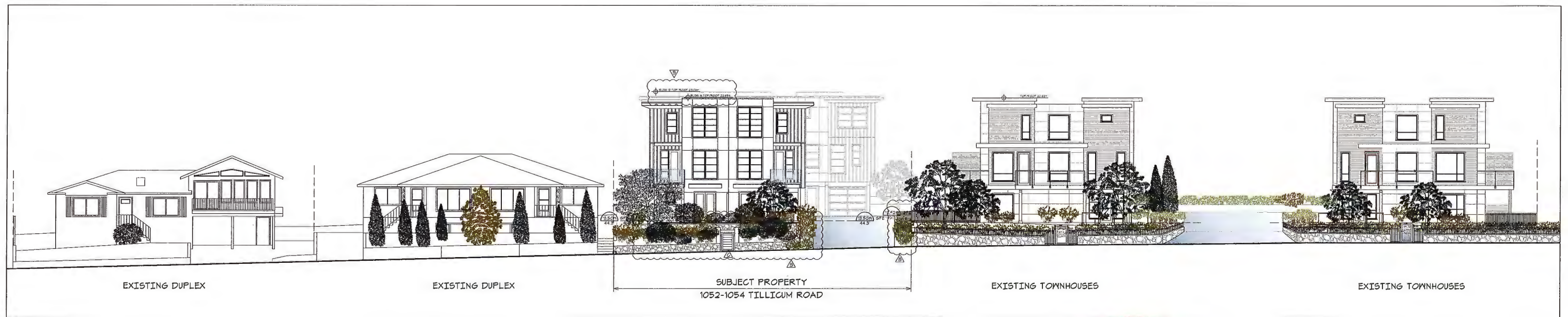
FINISH SCHEDULE	
A	1x10 PROJECTING FASCIA AND CANTED CEDAR T&G SOFFIT
B	CEMENTITIOUS PANELS c/w REVEALS
C	BOARD & BATTEN
D	2x CANTED WATERLINE
E	2x3 WINDOW/DR TRIM, WINDOW WITH HORIZONTAL MUNTIN BAR(S)
F	1x10 FASCIA ON PROJECTING CANOPY
G	8x8 TIMBER KNEE BRACE
H	8x8 TIMBER COLUMN
J	GLAZED BALCONY GUARDRAILS
K	GLASS & ALUMINUM GARAGE DOOR

SK-3





1 SECTION at ACCESS DRIVE
 SK-4 SCALE= 3/32"=1'-0"



2 STREETSCAPE at TILLICUM RD.
 SK-4 SCALE= 3/32"=1'-0"

STREETSCAPE & SITE SECTION
 PROPOSED REZONING AT
 1052-1054 TILLICUM RD.
 ESQUIMALT B.C

SCALE = 3/32"=1'-0"



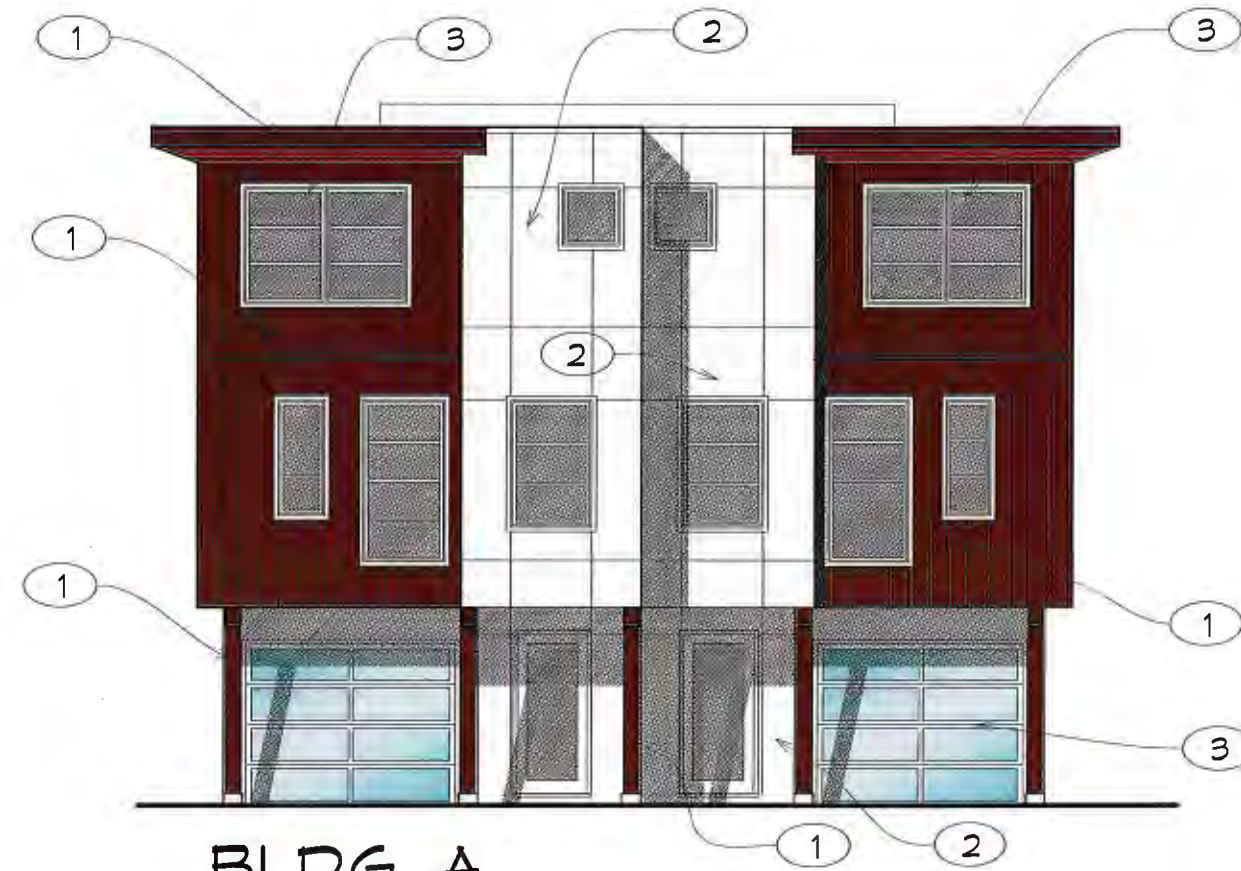
REVISIONS & ISSUES		
REV.	DESCRIPTION	DATE
A	RE-ZONING APPLICATION	9.18.17
B	BUILDING & SITE ELEVATIONS, RETAINING WALL TIERS, DRIVEWAY RELOCATION, BIN RELOCATION, ADD PLANTING BED ALONG DRIVEWAY.	10.26.17
C	REVISE FRONT STAIR ORIENTATION	10.27.17

SK-4





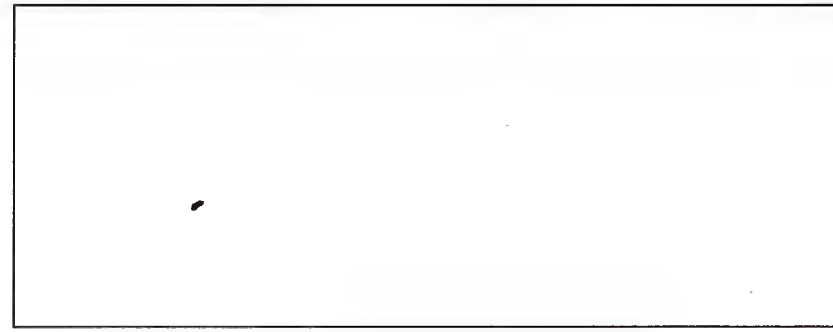
BLDG. A
EAST ELEVATION



BLDG. A
WEST ELEVATION



FINISH TYPE 1
FLOODPRO
SEMITRANSSPARENT
OIL FINISH
"NIGHT LITE"



FINISH TYPE 2
SHERWIN WILLIAMS
SW 7004
SNOWBOUND



FINISH TYPE 3
WESTECK
SILVER WINDOW FRAME
OBSCURE GLASS IN GARAGE DR

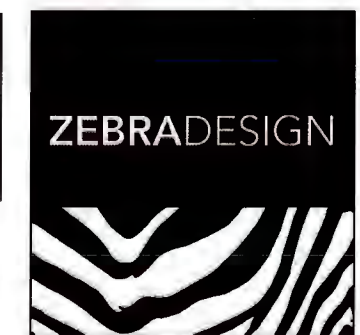
COLOUR SCHEME BUILDING A
PROPOSED REZONING AT
1052-1054 TILLICUM RD.
ESQUIMALT B.C

SCALE = 1/8"=1'-0"



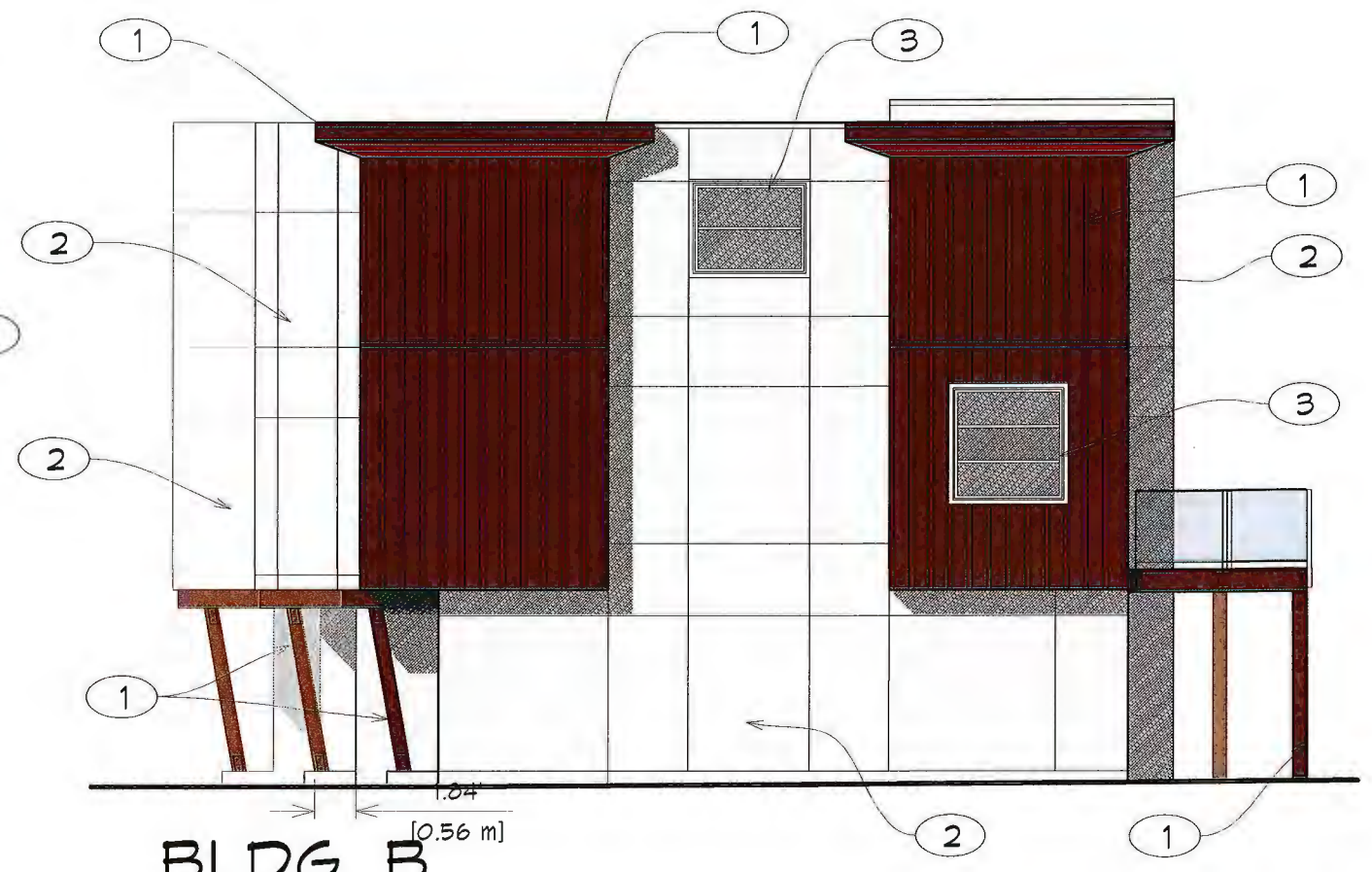
REVISIONS & ISSUES		
REV.	DESCRIPTION	DATE
A	RE-ZONING APPLICATION	9.18.17

SK-5





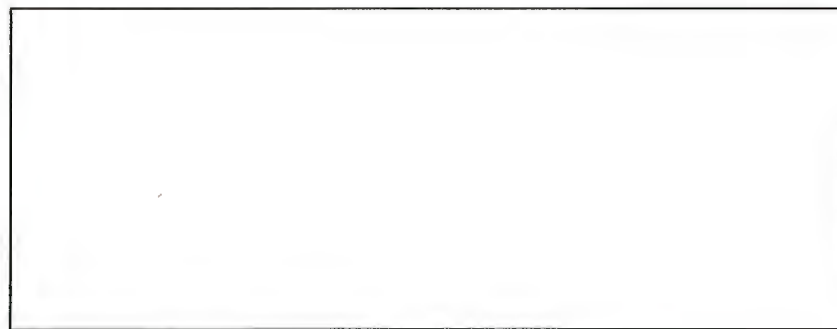
BLDG. B
EAST ELEVATION



BLDG. B
NORTH ELEVATION



FINISH TYPE 1
FLOODPRO
SEMITRANSSPARENT
OIL FINISH
"NIGHT LITE"



FINISH TYPE 2
SHERWIN WILLIAMS
SW 7004
SNOWBOUND



FINISH TYPE 3
WESTECK
SILVER WINDOW FRAME

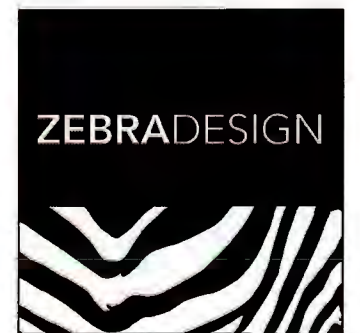
COLOUR SCHEME BUILDING B
PROPOSED REZONING AT
1052-1054 TILLICUM RD.
ESQUIMALT B.C.

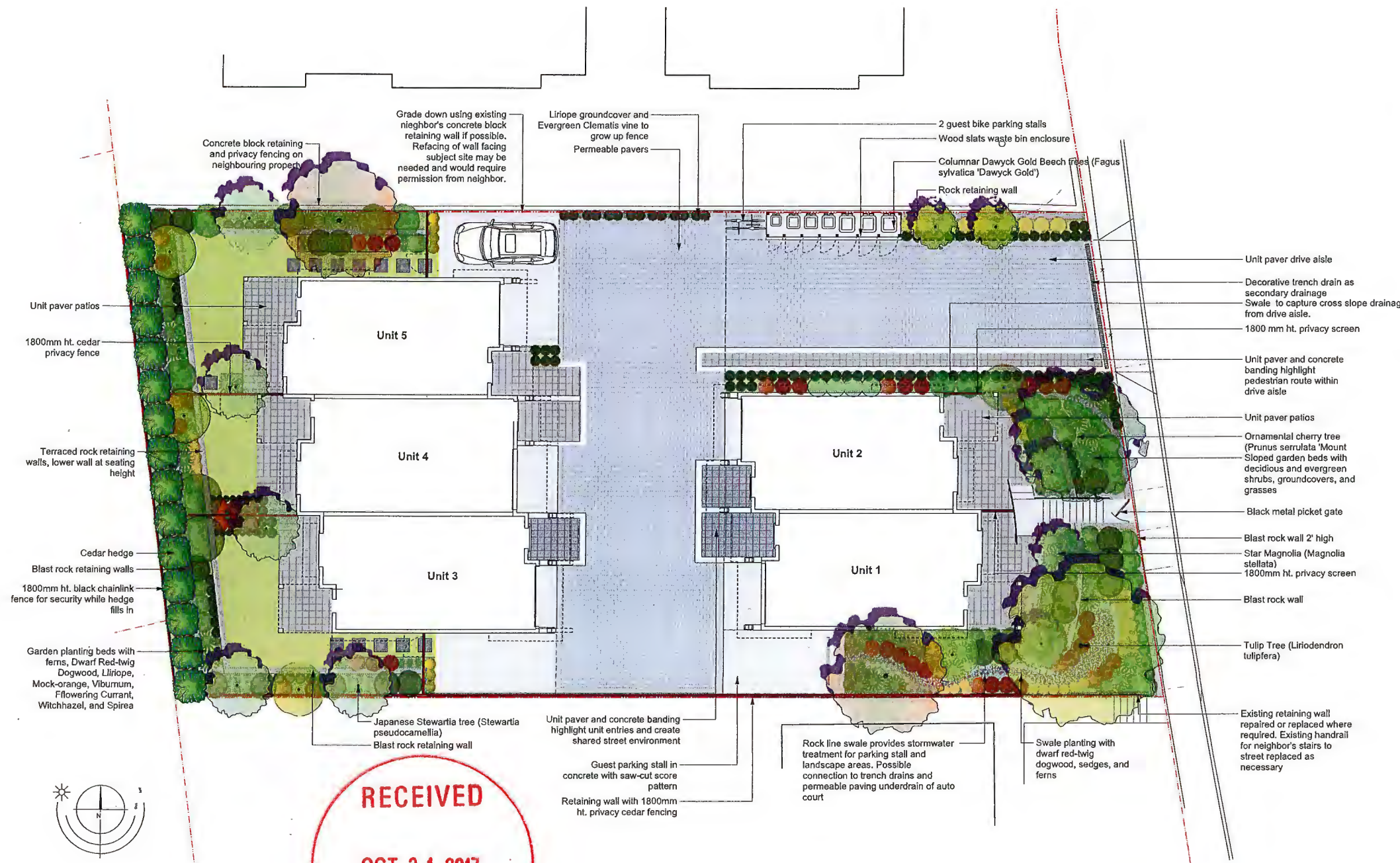


SCALE = 1/8"=1'-0"

REVISIONS & ISSUES		
REV.	DESCRIPTION	DATE
A	RE-ZONING APPLICATION	9.18.17

SK-6

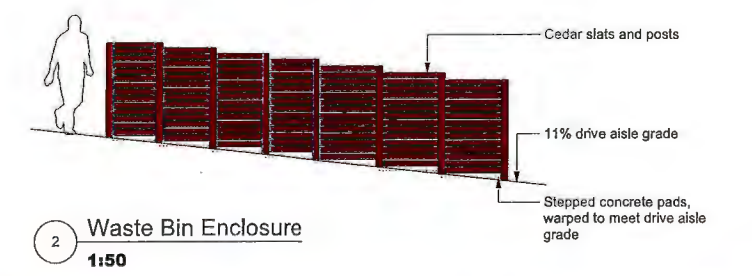




Recommended Nursery Stock

Category	Total	Botanical Name	Common Name	Size		
Trees	Total: 31	Cercidiphyllum japonicum	Katsura Tree	8cm cal		
		Fagus sylvatica 'Dawyck Gold'	Dawyck Beech	8cm cal.		
		Liriodendron tulipifera	Tulip Tree	8cm cal.		
		Prunus serrulata 'Mount Fuji'	Mount Fuji Japanese Flowering Cherry	8cm cal.		
		Stewartia pseudocamellia	Japanese Stewartia	8cm cal.		
		Thuja 'Green Giant'	Green Giant Western Arborvitae	#15 pot		
		Large Shrubs	Total: 37	Hamamelis mollis 'Pallida'	Pallida Chinese Witch Hazel	#7 pot
				Magnolia stellata 'Royal Star'	Royal Star Magnolia	#25 pot, 1.25m
Viburnum plicatum tomentosum 'Mariesii'	Doublefile Viburnum			#10 pot		
Medium Shrubs	Total: 20			Cholaya temata 'Sundance'	Sundance Mexican Orange Blossom	#5 pot
				Ribes sanguineum 'White Icicle'	White Icicle Flowering Currant	#7 pot
		Salix purpurea 'Nana'	Dwarf Arctic Blue Leaf Willow	#5 pot		
Spiraea thunbergii 'Ogon'	Golden Bridalweath Spirea	#7 pot				
Small Shrubs	Total: 35	Cornus sericea 'Kelsey'	Kelsey's Dwarf Red-Osier Dogwood	#5 pot		
		Perennials, Annuals and Ferns	Total: 407	Anemanthe Lessoniana	Pheasant Tail Grass	#1 pot
Blechnum spicant	Deer Fern			#1 pot		
Calamagrostis x acutiflora 'Karl Foerster'	Foerster's Feather Reed Grass			#1 pot		
Carex glauca 'Blue Zinger'	Blue Sedge			#1 pot		
Carex testacea	Orange New Zealand Sedge			#1 pot		
Liriope muscari 'Variegata'	Variegated Lilyturf			#1 pot		
Ophiopogon japonicus 'Nana'	Dwarf Mondo Grass			#1 pot		
Polystichum munlum	Sword Fern			#5 pot		
Groundcovers	Total: 44			Ceanothus griseus horizontalis	Carmel Creeper California Lilac	#3 pot
				Rubus calyculoides	Creeping Bramble	#1 pot
		Vines	Total: 17	Clematis armandi	Evergreen Clematis	#5 pot

- Notes:
- All work to be completed to current BCSLA Landscape Standards
 - All soft landscape to be irrigated with an automatic irrigation system



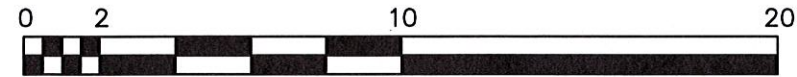
1052-1054 Tillicum Road | Landscape Concept Plan

BC LAND SURVEYORS SITE PLAN OF:

Civic: 1052 & 1054 Tillicum Road

**Legal Lot C, Section 10,
Esquimalt District, Plan 11683**

Parcel Identifier: 001-863-185 in the Municipality of Esquimalt



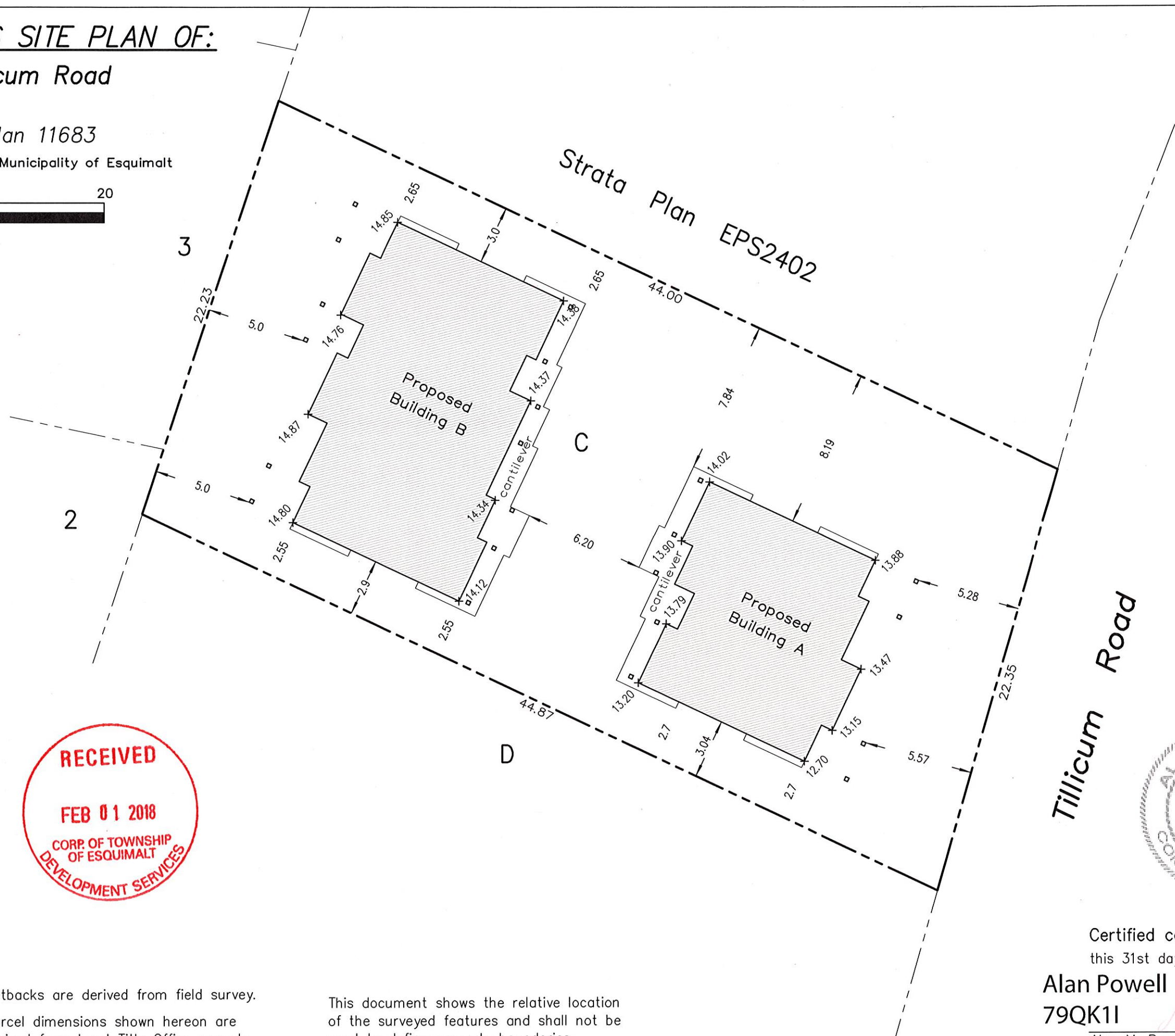
The intended print size is 11" by 17".

LEGEND

Elevations are to geodetic datum.

+ - denotes - existing elevation

Lot Area = 980 m2



File : 12,451-35
POWELL & ASSOCIATES
B C Land Surveyors
250-2950 Douglas Street
Victoria, BC V8T 4N4
phone (250) 382-8855

Setbacks are derived from field survey.
Parcel dimensions shown hereon are derived from Land Title Office records.

This document shows the relative location of the surveyed features and shall not be used to define property boundaries.

Certified correct
this 31st day of January, 2018
Alan Powell
79QK11
Alan M. Powell, B.C.L.S.

Digitally signed by Alan Powell 79QK11
DN: c=CA, cn=Alan Powell 79QK11, o=BC
Land Surveyor, ou=Verify ID at
www.juricert.com/LKUP.cfm?id=79QK11
Date: 2018.02.01 09:33:41 -08'00'