

June 23rd, 2026

The Township of Esquimalt
Attn: Development Services
1229 Esquimalt Road
Esquimalt, BC, V9A 3P1

RE: 1219 Old Esquimalt Road
Building Code Report for Subdivision Application

To Whom It May Concern,

Please see below a summary of the review completed of the building located at
1217-1219 Old Esquimalt Road.

Purpose

This report outlines Building Code issues in respect to life safety and health, and items as required per the Township of Esquimalt's Council Policy No. Plan - 23 *Conversion of Single, Two-Family, Multi-Family and Heritage Dwellings to Strata Title* as it relates to 1217-1219 Old Esquimalt Road. This report is being completed in support of a subdivision and strata conversion application for the existing duplex home in to two distinct strata properties. The existing single family dwelling at 1219 Old Esquimalt Road includes a secondary suite, and second unit of the duplex at 1217 Old Esquimalt Road is currently under construction under BP014261.

This report is based on a walkthrough of the building completed on June 18th, 2026, as well as drawings as provided by Hoffman Design of the previously completed secondary suite at 1219 Old Esquimalt Road, and proposed work for 1217 Old Esquimalt Road. Note that no destructive exploratory work to confirm existing conditions was completed as part of the production of this report. The existing building is assumed to be constructed in general conformance with the applicable building codes at time of construction, including the secondary suite completed under BP013608 with final inspection completed in 2018. The work at 1217 Old Esquimalt Road is understood to be under construction per building permit documents as provided by Hoffman Design and work completed under appropriate building permits with the Township of Esquimalt. Inspections of work not yet completed are anticipated to be completed by the Township of Esquimalt to confirm conformance with the building permit documents and the Building Code.

Applicable Building Code

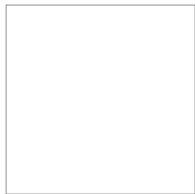
The current Building Code is the British Columbia Building Code 2024 (BCBC 2024), and reference are to this edition unless otherwise noted.

Building Analysis

Occupancy	Group C - Residential
Building Height	3 storeys
Building Area	260 m ² *
	*per proposed Strata Plan EPS12244
Applicable Part	Part 9
Construction	Combustible
Sprinklered	Not Required
Fire Alarm	Not Required

Report Format

The following sections of the report provide code references and summaries of existing conditions for pertinent life safety and health items as well as items as outlined in the Township of Esquimalt's Council Policy No. Plan - 23 *Conversion of Single, Two-Family, Multi-Family and Heritage Dwellings to Strata Title*. The report is organized by relevant code sections and subsections.



Seal

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Section 9.5 - Design of Areas and Spaces

9.5.3.1 Ceiling Heights of Rooms or Spaces

(1) The ceiling heights and clear heights in rooms or spaces in residential occupancies shall conform to Table 9.5.3.1.

Table 9.5.3.1 Room Ceiling Heights		
Room or Space	Minimum Ceiling Height or Clear Height (m)	Minimum Area Over Which Minimum Ceiling Height Shall Be Provided (m ²)
Living Room or Space	2.1 m	Lesser of area of the space or 10.0 m ²
Dining room or space	2.1 m	Lesser of area of the space or 5.2 m ²
Kitchen or kitchen space	2.1 m	Lesser of area of the space or 3.2 m ²
Master bedroom or bedroom space	2.1 m	Lesser of area of the space or 4.9 m ²
Other bedroom or sleeping space	2.1 m	Lesser of area of the space or 3.5 m ²
Unfinished basement including laundry area therein	2.0 m	Clear height under beams and in any location that would normally be used for passage
Bathroom, water-closet room or laundry area above grade	2.1 m	Lesser of area of the space or 2.2 m ²
Passage, hall or main entrance vestibule	2.1 m	Area of the space
Habitable rooms and spaces not specifically mentioned above	2.1 m	Lesser of area of the space or 2.2 m ²

Existing Conditions

1217 Old Esquimalt Road

Ceiling height throughout dwelling unit approximately 2.74 m per site measure and drawings as provided by Hoffman Design. Lowest ceiling height at dropped beams approximately 2.60 m

1219 Old Esquimalt Road

Lowest ceiling height at main floor approximately 2.28 m with all other areas above this height.
Lowest ceiling height at secondary suite approximately 2.31 m with all other areas above this height.

Section 9.7. Windows, Doors and Skylights

9.7.2 Required Windows, Doors and Skylights

9.7.2.1 Entrance Doors

(1) A door shall be provided at each entrance to a dwelling unit.

(2) Main entrance doors shall be provided with (a) a door viewer or transparent glazing in the door, or (b) a sidelight.

Existing Conditions

1217 Old Esquimalt Road

Doors provided at both entrances to dwelling unit. Doors at both main entry and lower entry include areas of transparent glazing on doors.

1219 Old Esquimalt Road

Doors provided at main entry and rear entry from deck. Doors at both main entry and rear entry include areas of transparent glazing on doors. Exterior entry to secondary suite include areas of transparent glazing on doors.

Section 9.8. Stairs, Ramps, Landings, Handrails and Guards

9.8.2.1 Stair Width

(1) Exit stairs serving a single dwelling unit or a house with a secondary suite including their common spaces shall have a width of not less than 860 mm.

Existing Conditions

1217 Old Esquimalt Road

All stairs throughout dwelling unit are 860 mm or wider. No stairs contained within secondary suite.

1219 Old Esquimalt Road

All stairs throughout dwelling unit are 860 mm or wider.

9.8.2.2 Height over Stairs

(3) The clear height over stairs serving a single dwelling unit or a house with a secondary suite including their common staples shall not be less than 1950 mm.

Existing Conditions

1217 Old Esquimalt Road

Clear height over stairs minimum 2250 mm at flight between rear entry level and main floor.

1219 Old Esquimalt Road

Clear height over stairs minimum 1980 mm at flight between main floor and master bedroom.

9.8.4.1 Dimensions for Risers

(1) Except for stairs serving areas only used as service rooms or service spaces, the rise, which is measured as the nosing-to-nosing distance shall comply with Table 9.8.4.1.

Table 9.8.4.1 Rise for Rectangular Treads and Tapered Treads (Including Winders)		
	Rectangular Treats and Tapered Treads (Including Winders)	
	Rise, mm	
Stair Type	Max.	Min.
Private	200	125
Public	180	125

9.8.4.2 Dimensions for Rectangular Treads

(1) Except for Stairs serving areas only used as service rooms or service spaces, the run shall comply with Table 9.8.4.2.

Table 9.8.4.2 Run for Rectangular Treads		
	Rectangular Treads	
	Run, mm	
Stair Type	Max.	Min.
Private	355	255
Public	no limit	280

Existing Conditions

1217 Old Esquimalt Road

Rise of stairs approximately 194 mm and run of stairs approximately 255 mm.

1219 Old Esquimalt Road

Rise of interior stairs approximately 194 mm and run of stairs approximately 255 mm. Exterior stairs in general conformance with Tables 9.8.4.1 and 9.8.4.2.

9.8.7.1 Required Handrails

(1) Except as provided in Sentences (2) to (4), handrails shall be installed on stairs and ramps in accordance with Table 9.8.7.1.

Per Table 9.8.7.1, single handrail required.

9.8.7.4 Height of Handrails

(2) Except as provided in Sentence (3) and Clause 3.8.5.(1)(e), required handrails shall be 865 mm to 1070 mm high.

Existing Conditions

1217 Old Esquimalt Road

Handrails not yet installed at time of review. Handrails to be installed at all stairs at a height between 865 mm and 1070 mm.

1219 Old Esquimalt Road

Handrails installed at all interior and exterior stairs. Typical installation at approximately 915 mm in height.

9.8.8.3 Height of Guards

(4) Guards for flights of steps, except in required exit stairs, shall be not less than 900 mm high.

Existing Conditions

1217 Old Esquimalt Road

Guards not yet installed at time of review. Per building permit drawings as provided by Hoffman design, guards to be minimum 1070 mm in height at deck and entry porch.

1219 Old Esquimalt Road

Guards provided at all stairs and decks. Height of guards at all locations approximately 1070 mm.

Section 9.9. Means of Egress

9.9.10.1 Egress Windows or Doors for Bedrooms

(1) Except where the suite is sprinklered, each bedroom or combination bedroom shall have at least one outside window or exterior door openable from the inside without use of keys, tools, or special knowledge and without the removal of sashes or hardware.

(2) The window referred to in Sentence (1) shall (a) provide an unobstructed opening of not less than 0.35 m² in area with no dimensions less than 380 mm, and (b) maintain the required opening during an emergency without the need for additional support.

Existing Conditions

1217 Old Esquimalt Road

Egress windows and doors provided per the summary below. Opening width, heights, and areas for windows as indicated per site measure completed on June 18th, 2026.

Office (Bedroom)	Width - 647 mm ; Height - 1168 mm ; Area - 0.76 m ²
Primary Bedroom	Door to exterior deck area provided
Bedroom 1	Width - 635 mm ; Height - 1168 mm ; Area - 0.74 m ²
Bedroom 2	Width - 635 mm ; Height - 1168 mm ; Area - 0.74 m ²

1219 Old Esquimalt Road

Egress windows and doors provided per the summary below. Opening width, heights, and areas for windows as indicated.

Dwelling Unit	
Primary Bedroom	Door to exterior deck area provided
Bedroom 1	Width - 590 mm ; Height - 1016 mm ; Area - 0.60 m ²
Bedroom 2	Width - 830 mm ; Height - 812 mm ; Area - 0.67 m ²
Bedroom 3	Width - 610 mm ; Height - 711 mm ; Area - 0.43 m ²

Secondary Suite

Primary Bedroom	Door to exterior deck area provided
Bedroom 1	Width - 590 mm ; Height - 1016 mm ; Area - 0.60 m ²
Bedroom 2	Width - 830 mm ; Height - 812 mm ; Area - 0.67 m ²
Bedroom 3	Width - 610 mm ; Height - 711 mm ; Area - 0.43 m ²

Section 9.10. Fire Protection

9.10.9.2 Continuous Barrier

(1) Except as permitted in Article 9.10.9.3, a wall or floor assembly required to be a fire separation shall be constructed as a continuous barrier against the spread of fire and retard the passage of smoke.

(3) The continuity of a fire separation shall be maintained where it abuts another fire separation, a floor, a ceiling, a roof, or an exterior wall assembly.

9.10.3.3 Fire Exposure

(1) Floor, roof and ceiling assemblies shall be rated for exposure to fire on the underside.

(2) Exterior walls shall be rated for exposure to fire from inside the building, except that such walls need not comply with the temperature rise limitations required by the standard tests referred to in Article 9.10.3.1. if such walls have a limiting distance of not less than 1.2 m, and due allowance is made for the effects of heat radiation in accordance with the requirements in Part 3.

(3) Interior vertical fire separations required to have fire-resistance ratings shall be rated for exposure to fire on each side.

9.10.9.6 Penetration of Fire Separations

(1) Piping, tubing, ducts, chimneys, wiring, conduit, electrical outlet boxes and other similar service equipment that penetrate a required fire separation shall be tightly fitted or fire stopped to maintain the integrity of the separation.

9.10.9.14 Separation of Residential Suites

(3) Except as provided in Sentence (4), dwelling units that contain 2 or more storeys including basements as well as houses with a secondary suite including their common staples shall be separated from the remainder of the building by a fire separation having a fire resistance rating of not less than 1 h.

Existing Conditions

1217 Old Esquimalt Road & 1219 Old Esquimalt Road

Suite separation Between 1217 Old Esquimalt Road and 1219 Old Esquimalt Road constructed as a combined assembly of the existing exterior wall at 1219 Old Esquimalt Road, and new exterior assembly at 1217 Old Esquimalt Road without exterior cladding. Although both are exterior assemblies individually, the overall assembly is acting as an interior vertical fire separation and protection should be provided for exposure on each side.

Assembly as outlined below:

[1217 Old Esquimalt Road Side]

5/8" (15.9 mm) Type 'X' Gypsum Board

6 mil Poly Vapour Barrier

2 x 6 (38 x 140 mm) Wood Studs @ 16" (400 mm) o.c.

R20 Batt Insulation

1/2" (12.7 mm) Plywood Sheathing

1" (25 mm) Airspace

5/16" (8 mm) Fibre Cement Board

Building Paper

1/2" (12.7 mm) Plywood Sheathing

2 x 6 (38 x 140 mm) Wood Studs @ 16" (400 mm) o.c.

R20 Batt Insulation

6 mil Ply Vapour Barrier

5/8" (15.9 mm) Type 'X' Gypsum Board

[1219 Old Esquimalt Road Side]

Assembly at 1217 Old Esquimalt Road provides 1 h rating per Appendix D Fire-Performance Ratings Tables D-2.3.4.-A and D-2.3.4.-E with 5/8" (15.9 mm) Type 'X' Gypsum Board contributing 40 mins and wood studs spaced at 400 mm o.c. contributing 20 mins to the rating to provide a rating of 1 h.

Assembly at 1219 Old Esquimalt Road in primary bedroom provides 1 h rating per Appendix D Fire-Performance Ratings Tables D-2.3.4.-A and D-2.3.4.-E with 5/8" (15.9 mm) Type 'X' Gypsum Board contributing 40 mins and wood studs spaced at 400 mm o.c. contributing 20 mins to the rating to provide a rating of 1 h. This is understood as the only area where the two units overlap and require a separation.

Due to the method of construction of the new dwelling unit at 1217 Old Esquimalt Road, it is noted there were no penetrations to the fire separations between the two suites.

1219 Old Esquimalt Road

The secondary suite at 1219 Old Esquimalt Road was constructed within the existing building, and noted per owner that work was completed with appropriate permits with the Township of Esquimalt. It has been noted that the wall assembly between the dwelling unit and secondary suite was constructed with a 30 minute fire-resistance rating and meets W7a per Table 9.10.3.1.-A which provides a 45 minute rating. The assembly was constructed with 2x6 staggered studs on 2x8 sill plate rather than 2x4 studs on 2x6 as indicated. It has been noted that the floor assembly over the secondary suite was also constructed with a 30 minute fire-resistance rating and meets F8d per Table 9.10.3.1.-B. At time of site walkthrough the self-closing device on the door between the dwelling unit and secondary suite was not operational as the space is not currently being used as a secondary suite. Owner was instructed to replace self-closing device at time of future use as secondary suite.

9.10.15.4 Glazed Openings in Exposing Building Face

Table 9.10.15.4 Maximum Area of Glazed Openings in Exterior Walls of Houses								
Maximum Total Area of Exposing Building Face, m ²	Maximum Aggregate Area of Glazed Openings, % of Exposing Building Face Area							
	Limiting Distance, m							
	1.2	1.5	8.0	10.0	12.0	16.0	20.0	25.0
50	7	8	100	-	-	-	-	-
100	7	8	56	84	100	-	-	-
*Note: only relevant sections of table included.								

(1) Except as provided in Sentence (6), the maximum aggregate area of glazed openings in an exposing building face shall (a) conform to Table 9.10.15.4,...

Existing Conditions

1217 Old Esquimalt Road & 1219 Old Esquimalt Road (North and South Elevations)

At the north and south elevations of both 1217 and 1219 Old Esquimalt Road, the exposing building faces are facing either a road or a lane. In completing a review of the site survey plan, considering approximate exposing building faces of each unit at both elevations, and limiting distances, allowable area of glazed openings are 100%. Both north and south elevations considered in conformance.

1217 Old Esquimalt Road (East Elevation)

Area of Exposing Building Face	97 m ²
Limiting Distance	1.7 m
Allowable Aggregate Area of Glazed Openings	8.4% (8.14 m ²)

Existing Aggregate Area of Glazed Openings	5.3% (5.12 m ²)
1219 Old Esquimalt Road (West Elevation)	
Area of Exposing Building Face	54 m ²
Limiting Distance	1.42 m
Allowable Aggregate Area of Glazed Openings	7.7% (4.15 m ²)
Existing Aggregate Area of Glazed Openings	15.7% (8.5 m ²)

The west elevation is not in conformance for area of glazed openings. Note the above non-conforming condition as per existing and has not been altered as part of the current work for construction of 1217 Old Esquimalt Road.

9.10.19.1 Required Smoke Alarms

(1) Except as permitted by Article 9.10.19.8., smoke alarms conforming to CAN/ULC-S531, "Standard for Smoke Alarms," shall be installed in (a) each dwelling unit, (b) each sleeping room not within a dwelling unit, and (c)...

9.10.19.3 Location of Smoke Alarms

(1) Within dwelling units, sufficient smoke alarms shall be installed so that (a) there is at least one smoke alarm installed on each storey, including basements, and (b) on any storey of a dwelling unit containing sleeping rooms, a smoke alarm is installed (i) in each sleeping room, and. (ii) a location between the sleeping rooms and the remainder of the storey, and if the sleeping rooms are served by a hallway, the smoke alarm shall be located in the hallway.

9.10.19.5 Interconnection of Smoke Alarms

(1) Where more than one smoke alarm is required in a dwelling unit, the smoke alarms shall be interconnected so that the actuation of one arm will cause all alarms within the dwelling unit to sound.

Existing Conditions

1217 Old Esquimalt Road

Combined carbon monoxide and smoke alarms not installed at time of review. Wiring completed, and appeared to be located as per drawings provided by Hoffman Design. Installation to be completed.

1219 Old Esquimalt Road

Combined carbon monoxide and smoke alarms installed in all bedrooms, outside each bedroom within 5 m of door in both dwelling unit and secondary suite. Confirmed to be interconnected.

Section 9.11. Sound Transmission

9.11.1.1 Required Protection

(1) Except as provided in Sentences (2) and (3), a dwelling unit shall be separated from every other space in a building in which noise may be generated by (a) a separating assembly and adjoining constructions, which together provide an apparent sound transmission class (ASTC) rating of not less than 47, or (b) a separating assembly providing a sound transmission (STC) rating of not less than 50 and adjoining construction that conform to article 9.11.1.4.

Existing Conditions

1217 Old Esquimalt Road & 1219 Old Esquimalt Road

Suite separation Between 1217 Old Esquimalt Road and 1219 Old Esquimalt Road constructed as a combined assembly of the existing exterior wall at 1217 Old Esquimalt Road, and new exterior assembly at 1219 Old Esquimalt Road without exterior cladding. For use of Table 9.10.3.1-A the assembly is being compared to Wall Type W13a and not considering contribution of other assembly components. With this comparison, the wall assembly type is assumed to meet STC 57.

1219 Old Esquimalt Road

The secondary suite at 1219 Old Esquimalt Road was constructed within the existing building, and noted per owner that work was completed with appropriate permits with the Township of Esquimalt. It has been noted that the wall assembly between the dwelling unit and secondary suite was constructed per W7a per Table 9.10.3.1.-A which provides an STC rating of 47. The assembly was constructed with 2x6 staggered studs on 2x8 sill plate rather than 2x4 studs on 2x6 as indicated. It has been noted that the floor assembly over the secondary suite was constructed per F8d per Table 9.10.3.1.-B which provides an STC rating of 50.

Section 9.19 - Roof Spaces

9.19.2.1 Access

(1) Every attic or roof space shall be provided with an access hatch where the open space in the attic or roof measures (a) 3 m² or more in area, (b) 1 m or more in length or width, and 600 mm or more in height over at least the area described in Clauses (a) and (b).

(2) The hatch required in Sentence (1) shall not be less than 550 mm by 900 mm except that, where the hatch serves not more than one dwelling unit, the hatch may be reduced to 0.2 m² in area with no dimensions less than 500 mm.

(3) Hatchways to attic or roof spaces shall be fitted with doors or covers.

Existing Conditions

1217 Old Esquimalt Road

No attic or roof space above 600 mm in height. Height of roof space at peak of roof sloped at 12:1/2 is approximately 600 mm. No access provided.

1219 Old Esquimalt Road

No attic or roof space above 600 mm in height. No access provided.

Section 9.31. Plumbing Facilities

9.31.4.1 Required Fixtures

(1) A kitchen sink, lavatory, bathtub or shower, and water closet shall be provided for every dwelling unit where a piped water supply is available.

9.31.4.2 Hot Water Supply

(1) Where a piped water supply is available a hot water supply shall be provided in every dwelling unit.

Existing Conditions

1217 Old Esquimalt Road

Kitchen includes sink, and three full bathrooms provided. Hot water supply to be provided to dwelling unit. Installation of appliances for water heating in progress.

1219 Old Esquimalt Road

Kitchen in dwelling unit includes sink, and 3 bathrooms plus powder room provided. Kitchen in secondary suite includes sink, and one full bathroom provided. Hot water provided to both dwelling unit and secondary suite.

Section 9.32. Ventilation

9.32.1.3 Venting of Laundry-Drying Equipment

(1) Exhaust ducts or vents connected to laundry-drying equipment shall discharge directly to the outdoors.

(2) Exhaust ducts connected to laundry-drying equipment shall be (a) independent of other exhaust ducts, (b) accessible for cleaning, and (c) constructed of a smooth corrosion resistant material.

9.32.3.6 Kitchen and Bathroom Exhaust Fans

(1) An exhaust fan that provides at least the air-flow rate specified in Table 9.32.3.6 shall be installed in every kitchen, and (b) every bathroom or water-closet room, unless the bathroom or water-closet room is served by the principal ventilation system exhaust fan that complies with Article 9.32.3.5.

Existing Conditions

1217 Old Esquimalt Road

Ventilation rough-in provided at laundry-drying equipment. Installation to be completed.

1219 Old Esquimalt Road

Ventilation provided at laundry-drying equipment at both dwelling unit and secondary suite.

9.32.2 Non-Heating-Season Ventilation

9.32.2.1 Required Ventilation

(1) Rooms or spaces in dwelling units shall be ventilated during the non-heating season by (a) natural ventilation in accordance with Article 9.32.2.2, or (b) a mechanical ventilation system in accordance with Article 9.32.2.3.

(2) Where a habitable room or space is not provided with natural ventilation as described in Clause (1)(a), mechanical ventilation shall be provided to exhaust inside air from, or to introduce outside air to, that room or space at the rate of (a) one-half air change per hour if the room or space is mechanically cooled during the non-heating season, or (b) one air change per hour if the room or space is not mechanically cooled during the non-heating season.

Existing Conditions

1217 Old Esquimalt Road

Heat recovery ventilation system provided for non-heating-season and heating-system ventilation.

1219 Old Esquimalt Road

Windows provided at both the dwelling unit and secondary suite within dining, living, bedrooms, kitchens, and other finished rooms. Exhaust provided by fans in bathrooms in both the dwelling unit and secondary suite.

9.32.3 Heating-Season Mechanical Ventilation

9.32.3.1 Required Ventilation

1) Every dwelling unit that is supplied with electrical power shall be provided by a mechanical ventilation system that conforms to (a) CAN/CSA-F326-M, "Residential Mechanical Ventilation Systems," (b) this Subsection, or (c) for ducted mechanical ventilation systems serving more than one dwelling unit in a house with a secondary suite including their common spaces, the mechanical ventilation system shall comply with this Subsection or Part 6.

Existing Conditions

1217 Old Esquimalt Road

Heat recovery ventilation system provided for non-heating-season and heating-season ventilation.

1219 Old Esquimalt Road

Heating-season ventilation system not provided in dwelling unit or secondary suite. Single family dwelling constructed in 1951, and mechanical ventilation was not required in the National Building Code A Code for Dwelling Construction for Buildings Housing One or Two Families published in 1950. Recommendation provided to owner to install passive ventilation per 9.32.3.4.(6)(b) at secondary suite as would have been required at the time of construction per British Columbia Building Code 2012.

Exhaust provided by fans in bathrooms in both the dwelling unit and secondary suite.
Recommendation provided to owner to ensure exhaust fan in bathroom set for continuous operation.

9.32.4.2 Carbon Monoxide Alarms

(1) This Article applies to every building that contains a residential occupancy, a business and personal services occupancy, or a mercantile occupancy and that (a) is served by or contains a fuel-burning appliance, or (b) contains a storage garage.

*(4) Where a fuel-burning appliance is installed in a suite of residential occupancy, a CO alarm shall be installed (a) inside each bedroom, or
(b) outside each bedroom within 5 m of each bedroom door, measured following corridors and doorways.*

Existing Conditions

1217 Old Esquimalt Road

Combined carbon monoxide and smoke alarms not installed at time of review. Wiring completed, and appeared to be located as per drawings provided by Hoffman Design. Installation to be completed.

1219 Old Esquimalt Road

Combined carbon monoxide and smoke alarms installed in all bedrooms, outside each bedroom within 5 m of door in both dwelling unit and secondary suite.

Section 9.33. Heating and Air-Conditioning

9.33.2.1 Required Heating and Cooling Systems

(1) Residential buildings intended for use in the winter months on a continuing basis shall be equipped with heating facilities conforming to this Section.

(2) Except where determination according to Article 9.33.5.1. or good engineering practice according to Article 6.2.1.1. can show it to be unnecessary, dwelling units intended for use in the summer months on a continuing basis shall be equipped with cooling facilities conforming to this Section.

(See Note A-9.33.2.1.(2).)

Existing Conditions

1217 Old Esquimalt Road

Heating provided by heat pump unit, baseboard heaters, and gas fireplace. Cooling provided by heat pump unit.

1219 Old Esquimalt Road

Heating provided at dwelling unit by baseboard heaters, and gas fireplace. Heating provided at secondary suite by baseboard heaters. Construction of single family dwelling completed per National Building Code A Code for Dwelling Construction for Buildings Housing One or Two Families published in 1950 ahead of requirement for cooling, and construction of the secondary suite completed per British Columbia Building Code 2012 also ahead of the requirement for cooling. Owner has noted they have provided portable cooling units in each bedroom of the dwelling unit.

Summary

Note that this report is not a comprehensive review of all Building Code issues within the building, and only provides a summary of items as outlined pertaining to life safety and health, and items as required per the Township of Esquimalt's Council Policy No. Plan - 23 *Conversion of Single, Two-Family, Multi-Family and Heritage Dwellings to Strata Title*.

Based on review of existing conditions at 1219 Old Esquimalt Road, and work in progress at 1217 Old Esquimalt Road, both dwelling units are in general conformance with the British Columbia Building Code except as indicated for ventilation and spatial separation at 1219 Old Esquimalt Road. It is noted these conditions were non-conforming ahead of the proposed work for construction at 1217 Old Esquimalt Road. No destructive review was completed to confirm existing conditions, and findings of this report are relying on owner provided information, visual review, and drawings as provided by Hoffman Design. Condition of any building components including but not limited to structural, envelope, and mechanical and electrical systems were not reviewed for condition or anticipated life span. Owner to provide separate document outlining building condition.

NES Architecture Ltd. is not to be held liable for any non-conforming conditions based on the completion of this report. Per Section 1.2 Compliance, it is the owner's responsibility for carrying out the provisions of the building code in relation to the building.

Non Code Related Existing Conditions

Any existing conditions pertaining to the Township of Esquimalt Zoning Bylaw requirements are outside the scope of this report and are to be reviewed by other registered professionals as required as part of the subdivision to the Township of Esquimalt. Hazmat remediation, and any associated work to be the responsibility of the owner.

Please contact me if you have any questions regarding this report or if you require anything further at this time.

Kind Regards,

A handwritten signature in black ink, appearing to read 'Nicole Showers', followed by a horizontal line.

Nicole Showers | Architect AIBC | MRAIC | Principal