

Project Data

Owner:	Victoria Apartment Properties Ltd. 1188 Esquimalt Road, Victoria B.C.		
Architect:	Joseph R. Newell, MAIBC, B Arch, B.E.S. Joe Newell Architect Inc, 612 Yates Street, Victoria B.C. Telephone: 382-4240 Fax: 382-5733		
Civic Address of Property:	1188 Esquimalt Road, Township of Esquimalt, B.C.		
Legal Description of Property:	Lot 9, Block 4, Plan VIP83, Section 11, Land District 21 Lot 10, Block 4, Plan VIP83, Section 11, Land District 21 - EXCEPT Parcel A (DD 390241)		
Zoning:	RM-4C - Multiple Family Residential - Congregate Care		
Site Area:	5061.70 m ²	(54,483.68 s.f.)	
Building Footprint:	Existing: 1661.56 m ² Proposed: 1719 m ²	(17,885.00 s.f.) (18,500.00 s.f.)	
Site Coverage:	Permitted: 30.00 % Proposed: 33.96 %		
Floor Area:	Sunroom: 71.53 m ² First Floor: 1643.63 m ² Second Floor: 1601.64 m ² Third Floor: 1601.64 m ² Total: 4918.43 m ²	(770.00 s.f.) (17,692.00 s.f.) (17,240.00 s.f.) (17,240.00 s.f.) (52,942 s.f.)	Proposed Existing Existing Existing Proposed
Floor Space Ratio:	Permitted: 1.0 : 1.0 Proposed: 0.97 : 1.00		
Setbacks:			
Front:	Required: 7.50 m Existing: 8.10 m	(24.6 ') (26.6 ')	
Side (West):	Required: 6.00 m Existing: 7.20 m	(19.7 ') (23.6 ')	
Rear:	Required: 7.50 m Existing: 30.75 m	(24.6 ') (100.9 ')	
Side (East):	Required: 6.00 m Existing: 4.02 m	(19.7 ') (13.2 ')	
Building Height:	Maximum: 11.00 m Existing: 9.14 m	(36.1 ') (30.0 ')	
Open Site Space:	Minimum: 7.5 % Proposed: 21.5 %		
Parking:	Required: 0.50 parking spaces per dwelling unit / 59 dwelling units = 30 Existing: 33		

Building Code Information

Design Code:	British Columbia Building Code, 2012, Part 3		
Major Occupancy:	Base Building: Residential - Group C Classifications as per BCBC'12 - 3.1.2.1 Building facing 1 street - 3.2.2.10 (4)		
Building Height / Construction:	3 Storey Building Combustible construction		
Exits:	Existing Base Building: 2 exits required - 2 exits provided. Exits are not less than 9 meters apart. Travel distance is under the allowed maximum 45 meters. Proposed Sunroom: 1 exit required - 1 exit provided. Travel distance is under the allowed maximum 15 meters.		
Fire Separations:	1 hr. FRR required for Floors and Roof 1 hr. FRR walls required to support floors 1 hr. FRR Suites and between Suites/Corridors		

Drawing List

A1	Project Data and Site Plan
A2	Existing Main Floor Plan
A3	Existing 2nd & 3rd Floor Plans
A4	Foundation, Floor, Roof & Reflected Ceiling Plan
A5	Elevations, Sections, Window & Door Schedule (Reserved)
A6	Wall Sections & Details (Reserved)

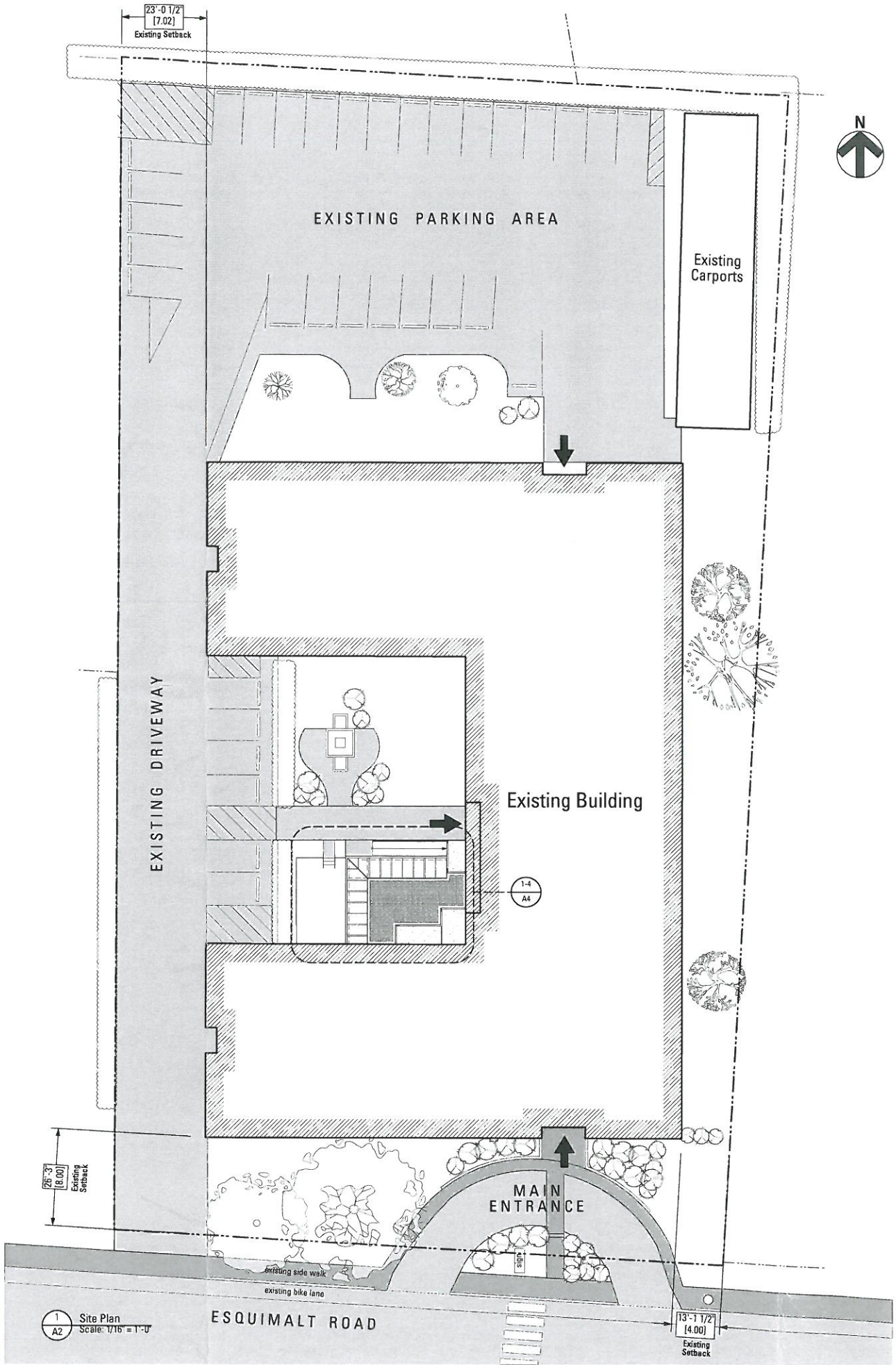
General Notes

- The contractor shall verify all dimensions and conditions on site and shall report any discrepancies or variations to the architect.
- Dimensions on floor plans are to face of stud of interior walls or outside face of exterior sheathing unless noted otherwise.
- All construction is to be performed in good workmanlike manner, to the best standard trade practice.
- All finished slopes are away from the building to the drains, all slopes and drain locations are to be confirmed on site.
- Existing finishes are to be maintained and infill walls are to match existing finishes.
- Protect natural components which are to remain part of the finished landscaping, including existing trees, boulevards, curbs, etc.

RECEIVED

FEB 16 2016

CORP. OF TOWNSHIP
OF ESQUIMALT
DEVELOPMENT SERVICES



Symbol Key

- door type
- window type
- wall/floor/roof type
- material
- revision
- detail number
sheet number
- section number
sheet number
- elevation number
sheet number
- structural gridlines

GENERAL NOTES:

- Interior dimensions are to the face of stud unless otherwise noted.
- Exterior dimensions are to the face of sheathing unless otherwise noted.
- Insulation shown in sections does not necessarily represent the full extent of the area to be insulated. Where a wall, floor, or roof is shown with insulation it is intended that the entire section of the wall, floor or roof is to be insulated. This is typical for all details.
- PT denotes pressure-treated; SAM denotes self-adhering membrane; CS denotes combed spruce.
- Preservative treatment of the PT strapping, blocking at plywood sheathing is to be CCA.
- Fully insulate all rough opening void spaces.

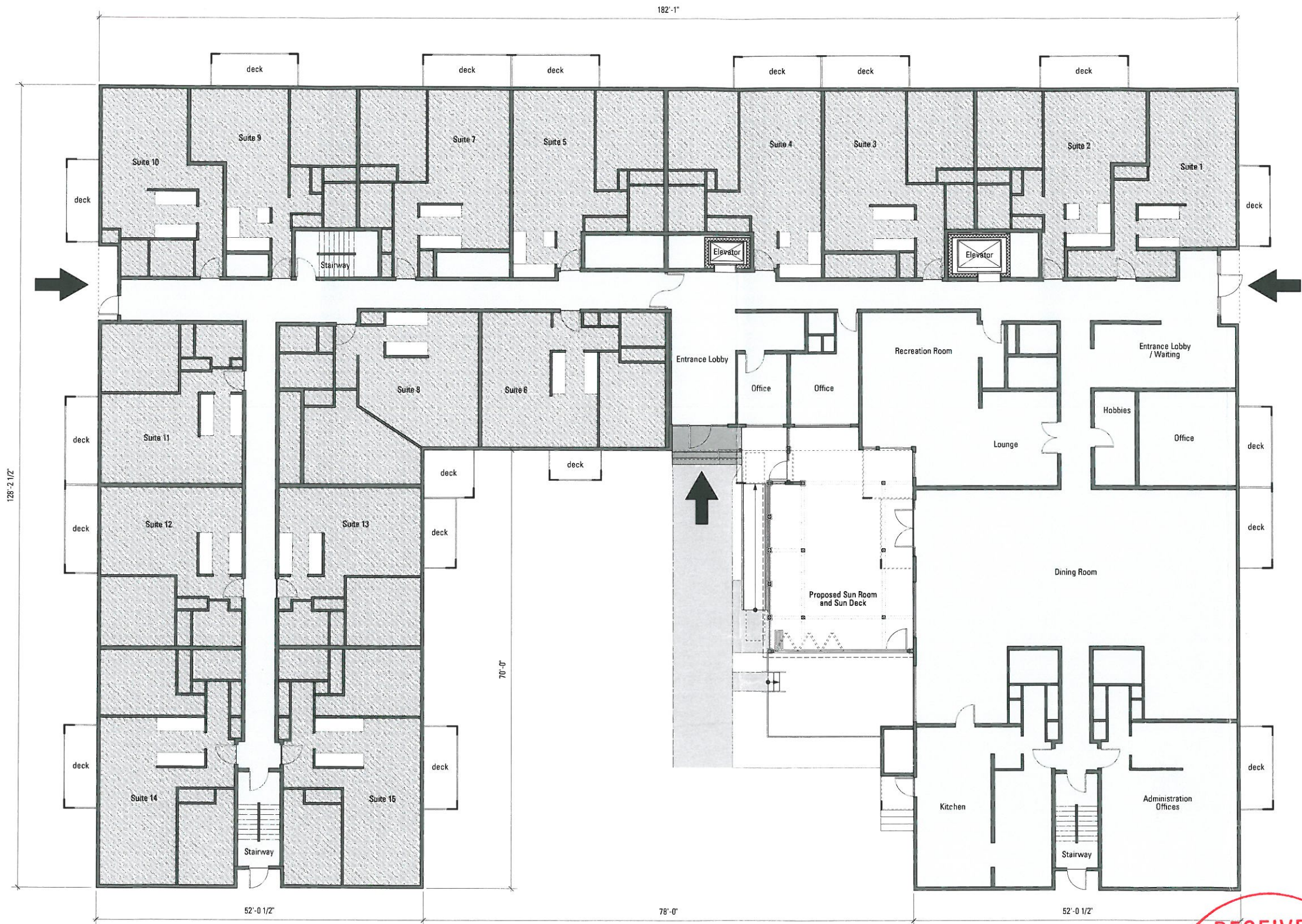
#	REVISION	DATE
A	Description of Revisions:	yyyy.mm.dd

ISSUED FOR:	DATE
Review, 90% complete	2016.02.12
Development Permit Amendment	2016.02.15
Building Permit Submission	yyyy.mm.dd
Construction	yyyy.mm.dd

© Copyright reserved. This drawing remains the exclusive property of the Architect and may not be re-used or reproduced without written consent of the Architect.

Joe Newell
architect inc. JNA
612 Yates Street, Victoria, BC, V8W 1K9
p. 250.382.4240, f. 250.382.5733
www.joewellarchitect.com

PROJECT	No.: 150605
1188 Esquimalt Road, Victoria, B.C. Sunroom Addition for Renaissance Retirement Residence	
TITLE Site Plan, Project Data, General Notes, Code Info	
DATE: February 2015	SHEET
SCALE: 1/16" = 1'-0"	A1
DRAWN BY: JE	REV. of



1
A2 Existing Main Floor Plan
Scale: 1/8" = 1'-0"

Legend	
Fill	Description
	Existing Public Space
	Existing Private Space

Symbol Key	
	door type
	window type
	wall/floor/roof type
	material
	revision
	detail number sheet number
	section number sheet number
	elevation number sheet number
	structural gridlines

- GENERAL NOTES:
- Interior dimensions are to the face of stud unless otherwise noted.
 - Exterior dimensions are to the face of sheathing unless otherwise noted.
 - Insulation shown in sections does not necessarily represent the full extent of the area to be insulated. Where a wall, floor, or roof is shown with insulation it is intended that the entire section of the wall, floor or roof is to be insulated. This is typical for all details.
 - PT denotes pressure-treated; SAM denotes self-adhering membrane; CS denotes combed spruce.
 - Preservative treatment of the PT strapping, blocking at plywood sheathing is to be CCA.
 - Fully insulate all rough opening void spaces.

REVISION	DATE
A Description of Revisions.	yyyy.mm.dd
ISSUED FOR:	
Review, 90% complete	2016.02.12
Development Permit Amendment	2016.02.15
Building Permit Submission	yyyy.mm.dd
Construction	yyyy.mm.dd
© Copyright reserved. This drawing remains the exclusive property of the Architect and may not be copied or reproduced without written consent of the Architect.	

Joe Newell
architect inc.
612 Yates Street, Victoria, BC, V8W 1K9
p. 250.382.4240, f. 250.382.5733
www.joenevellarchitect.com

RECEIVED
FEB 16 2016
CORP. OF TOWNSHIP
OF ESQUIMALT
DEVELOPMENT SERVICES

PROJECT	No. 150605
1188 Esquimalt Road, Victoria, B.C. Sunroom Addition for Renaissance Retirement Residence	
TITLE Existing Main Floor Plan	
DATE: February 2015	SHEET
SCALE: 1/8" = 1'-0"	A2
DRAWN BY: JE	REV. of



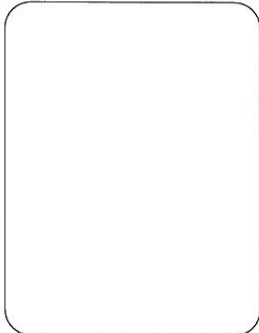
Symbol Key

- door type
- window type
- wall/floor/roof type
- material
- revision
- detail number
sheet number
- section number
sheet number
- elevation number
sheet number
- structural gridlines

GENERAL NOTES:

- Interior dimensions are to the face of stud unless otherwise noted.
- Exterior dimensions are to the face of sheathing unless otherwise noted.
- Insulation shown in sections does not necessarily represent the full extent of the area to be insulated. Where a wall, floor, or roof is shown with insulation it is intended that the entire section of the wall, floor or roof is to be insulated. This is typical for all details.
- PT denotes pressure-treated, SAM denotes self-adhering membrane, CS denotes combed spruce.
- Preservative treatment of the PT strapping, blocking at plywood sheathing is to be CCA.
- Fully insulate all rough opening void spaces.

REVISION	DATE
A Description of Revisions.	yyyy mm dd
ISSUED FOR:	
Review, 90% complete	2016.02.12
Development Permit Amendment	2016.02.15
Building Permit Submission	yyyy mm dd
Construction	yyyy mm dd
© Copyright reserved. This drawing contains the exclusive property of the Architect and may not be used or reproduced without written consent of the Architect.	

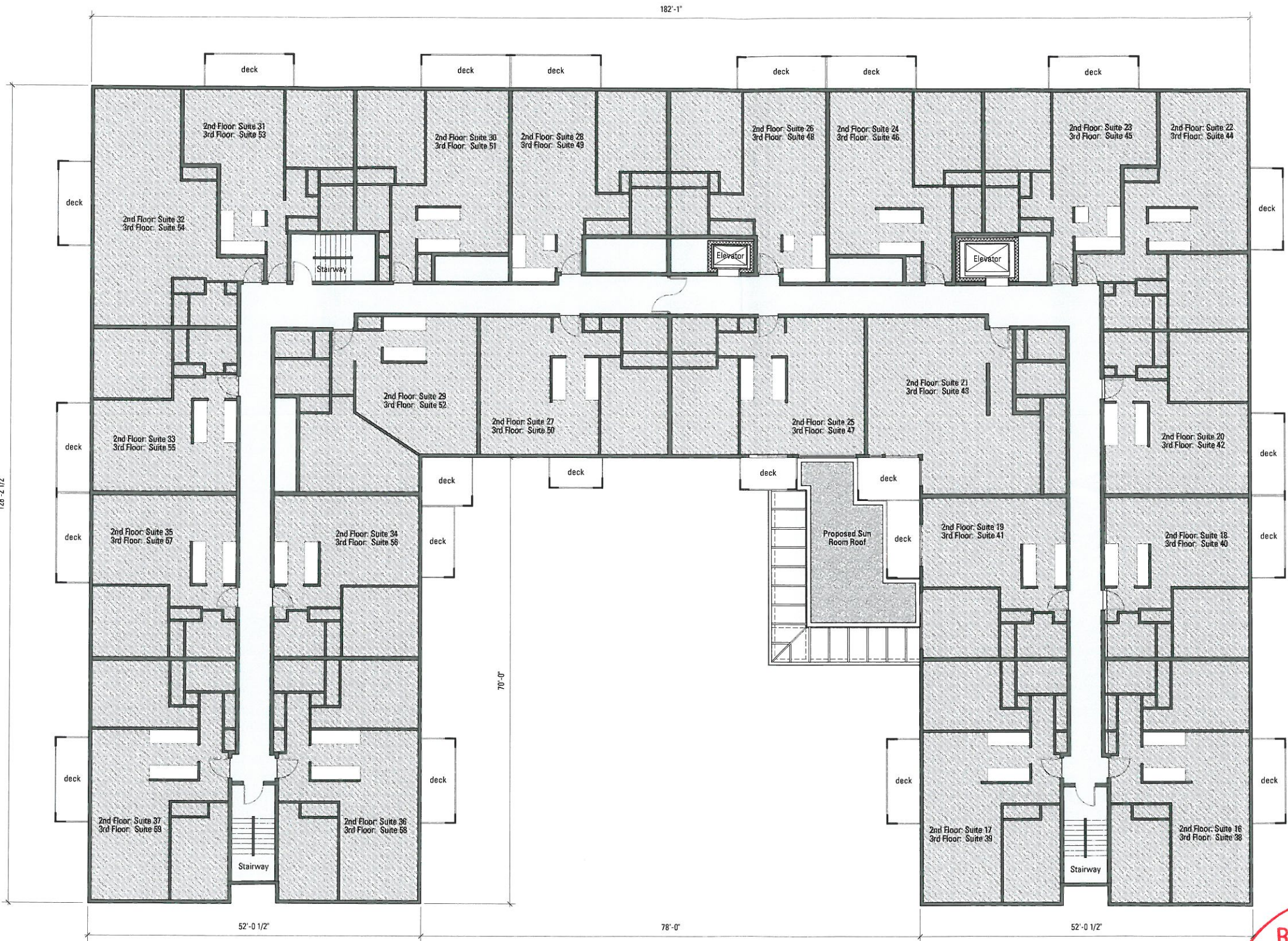


Joe Newell
architect inc.
612 Yates Street, Victoria, BC, V8W 1K9
p. 250.382.4240, f. 250.382.5733
www.joewellarchitect.com

PROJECT No.: 150605
1188 Esquimalt Road, Victoria, B.C.
Sunroom Addition
for
Renaissance Retirement Residence

TITLE
Existing 2nd & 3rd Floor Plans

DATE: February 2015	SHEET
SCALE: 1/8" = 1'-0"	A3
DRAWN BY: JE	REV. of

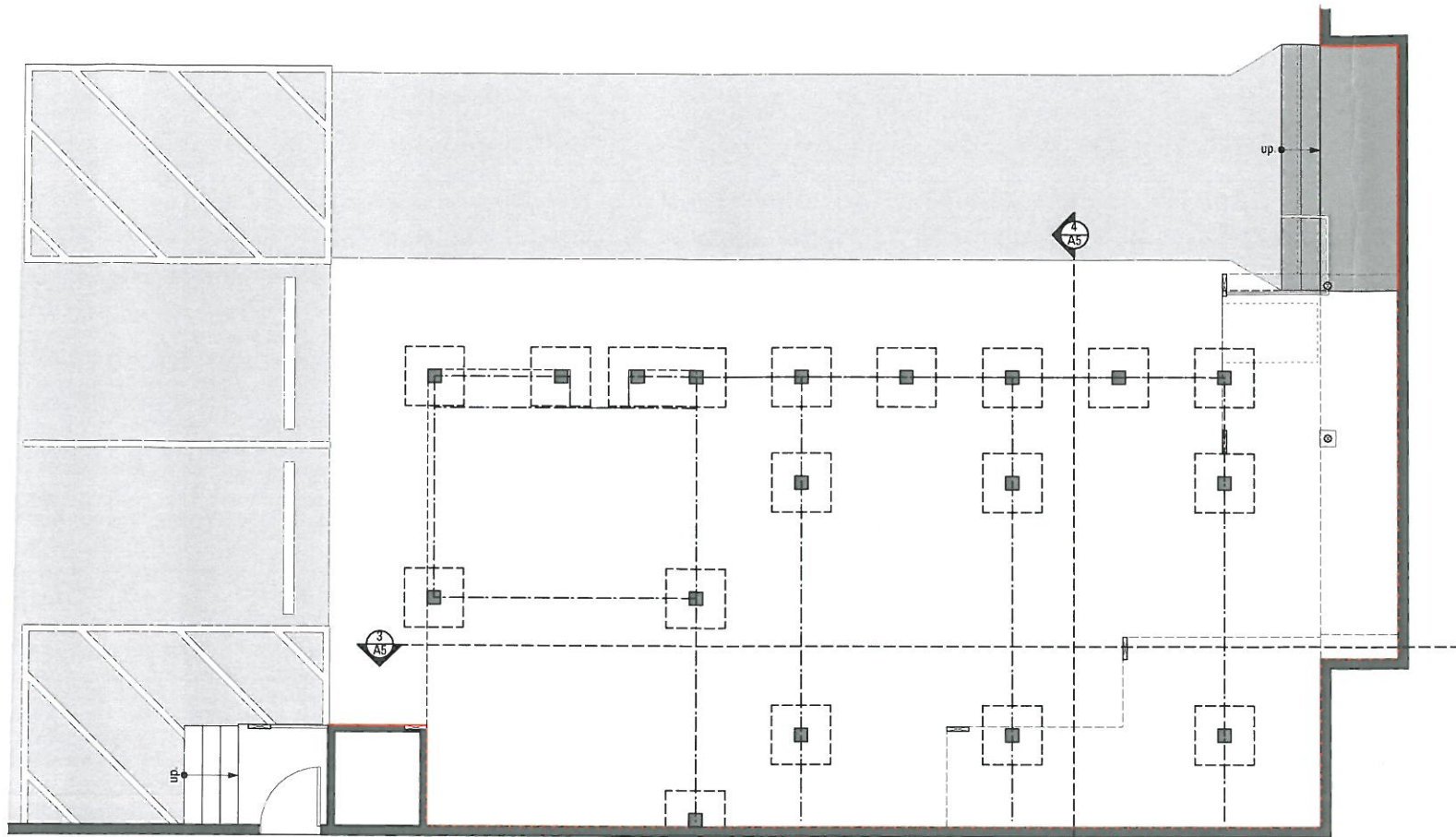


1
A2 Existing 2nd and 3rd Floor Plans
Scale: 1/8" = 1'-0"

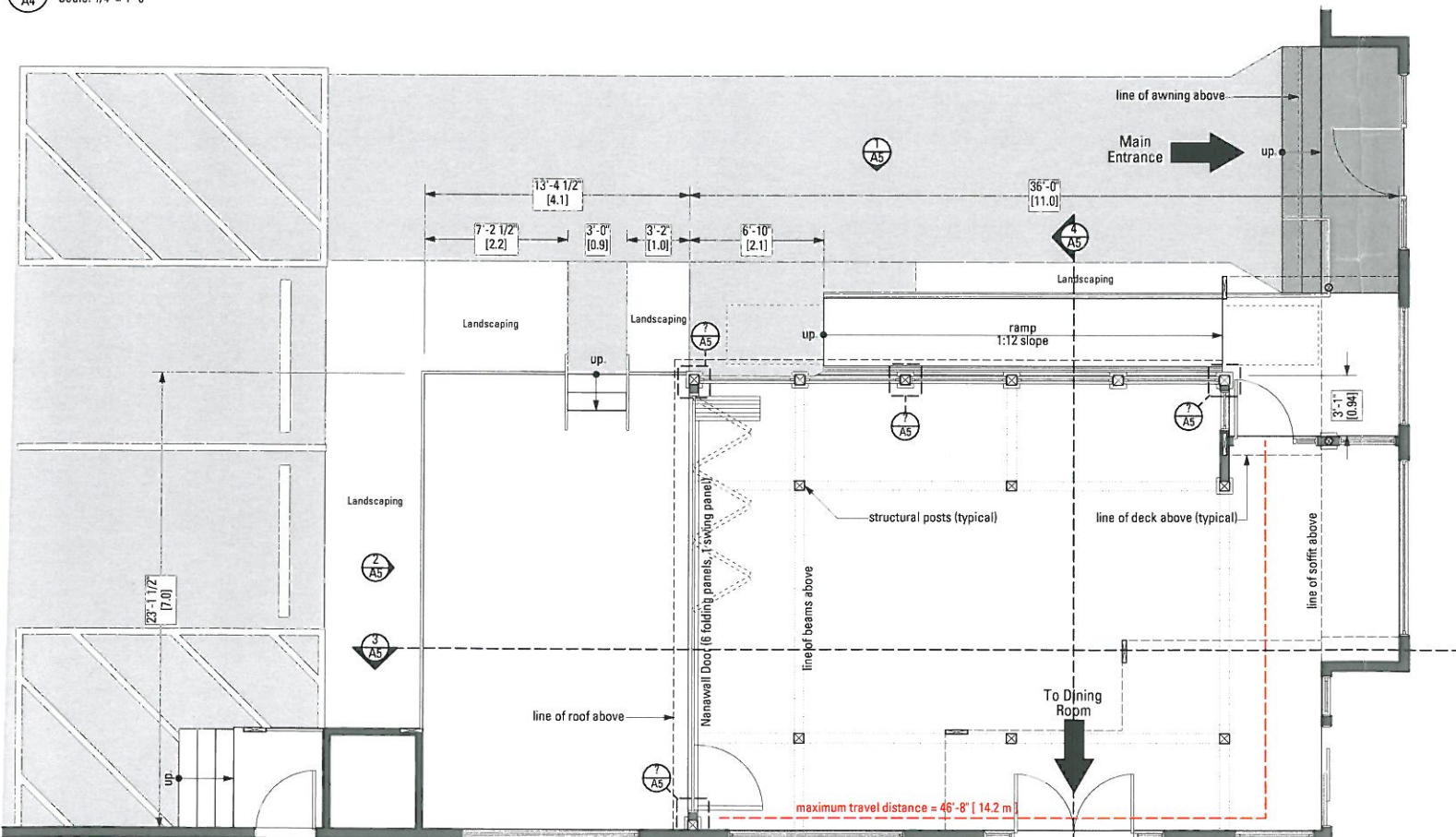
Legend

Fill	Description
[Pattern]	Existing Public Space
[Pattern]	Existing Private Space

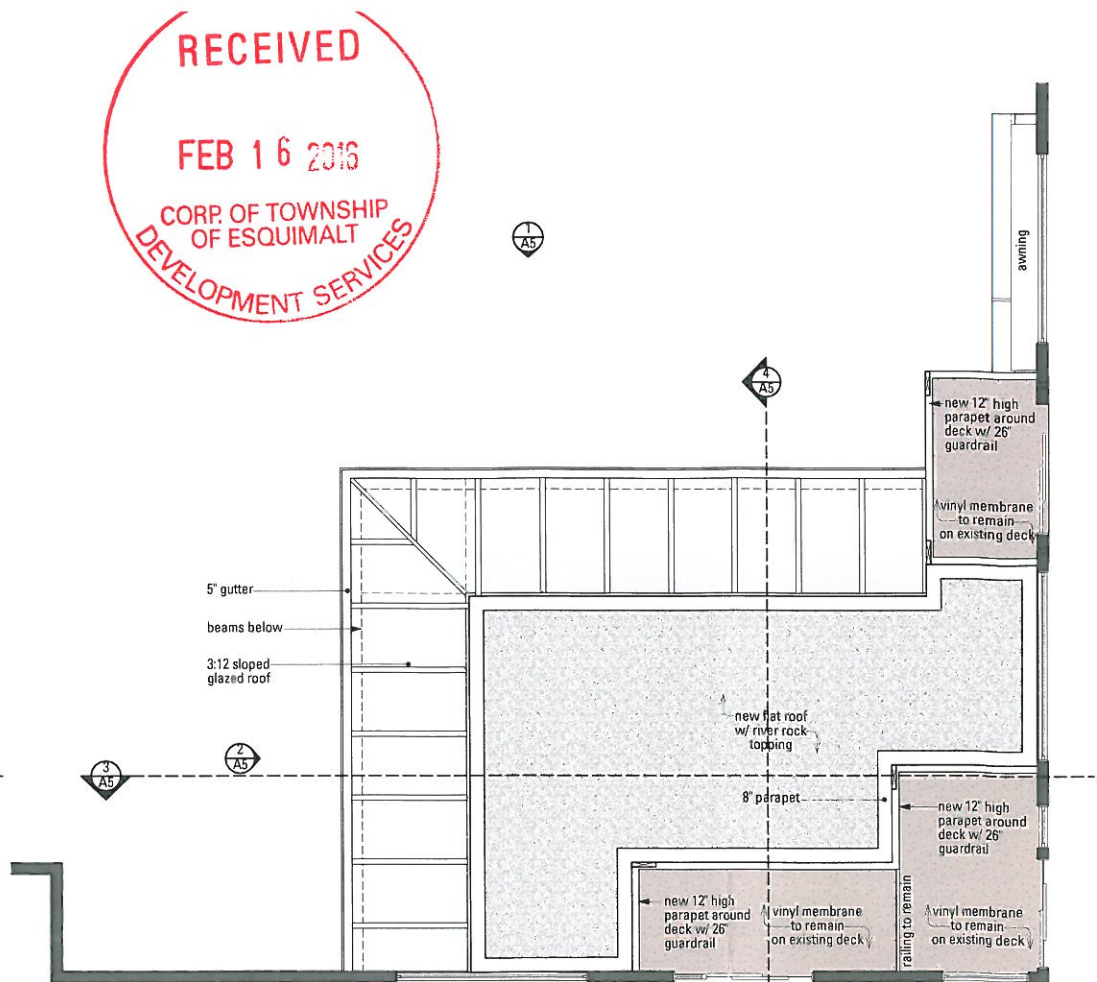
RECEIVED
FEB 16 2016
CORP. OF TOWNSHIP OF ESQUIMALT
DEVELOPMENT SERVICES



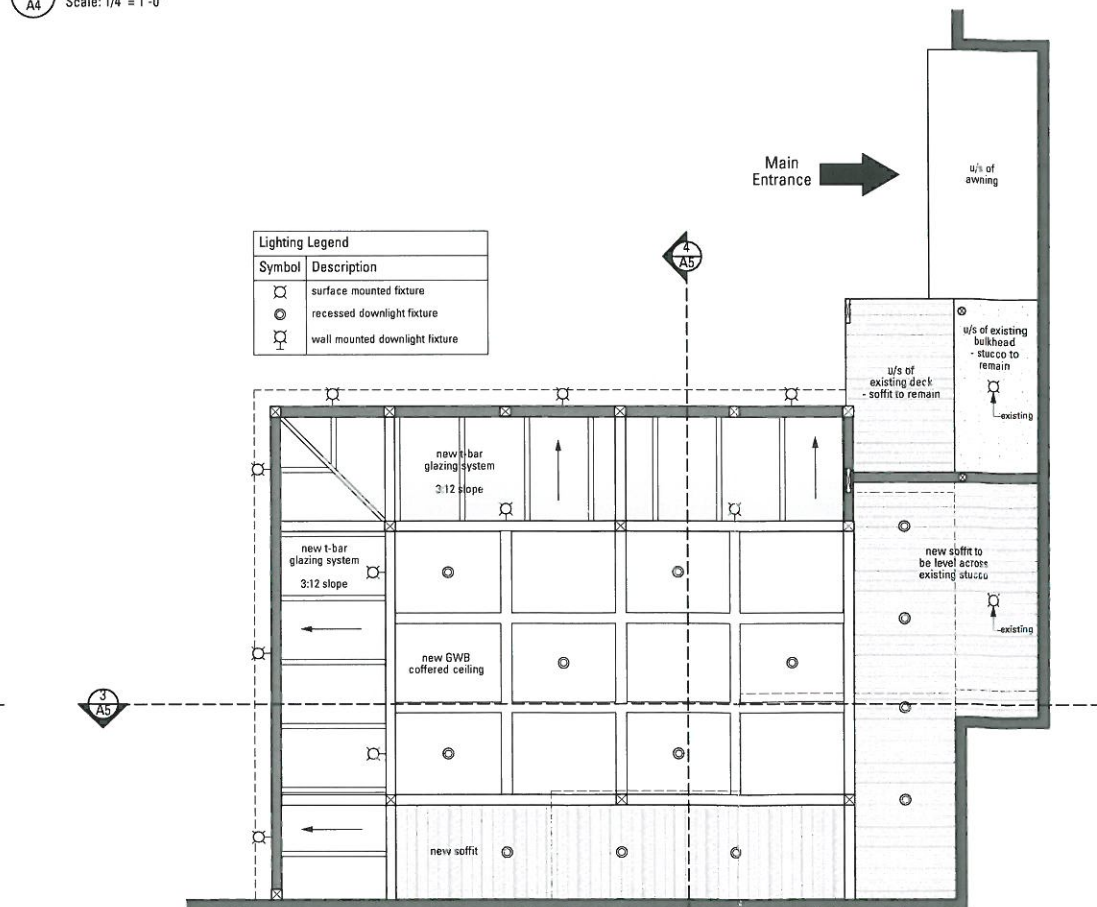
1 Foundation Plan
Scale: 1/4" = 1'-0"



2 Main Floor Plan
Scale: 1/4" = 1'-0"



3 Roof Plan
Scale: 1/4" = 1'-0"



4 Reflected Ceiling Plan
Scale: 1/4" = 1'-0"



Symbol Key

- door type
- window type
- wall/floor/roof type
- material
- revision
- detail number sheet number
- section number sheet number
- elevation number sheet number
- structural gridlines

GENERAL NOTES:

- Interior dimensions are to the face of stud unless otherwise noted.
- Exterior dimensions are to the face of sheathing unless otherwise noted.
- Insulation shown in sections does not necessarily represent the full extent of the area to be insulated. Where a wall, floor, or roof is shown with insulation it is intended that the entire section of the wall, floor or roof is to be insulated. This is typical for all details.
- PT denotes pressure-treated; SAM denotes self-adhering membrane; CS denotes combed spruce.
- Preservative treatment of the PT strapping, blocking at plywood sheathing is to be CCA.
- Fully insulate all rough opening void spaces.

REVISION	DATE
A Description of Revisions.	yyyy.mm.dd
ISSUED FOR:	DATE
Review, 90% complete	2016.02.12
Development Permit Amendment	2016.02.15
Building Permit Submission	yyyy.mm.dd
Construction	yyyy.mm.dd

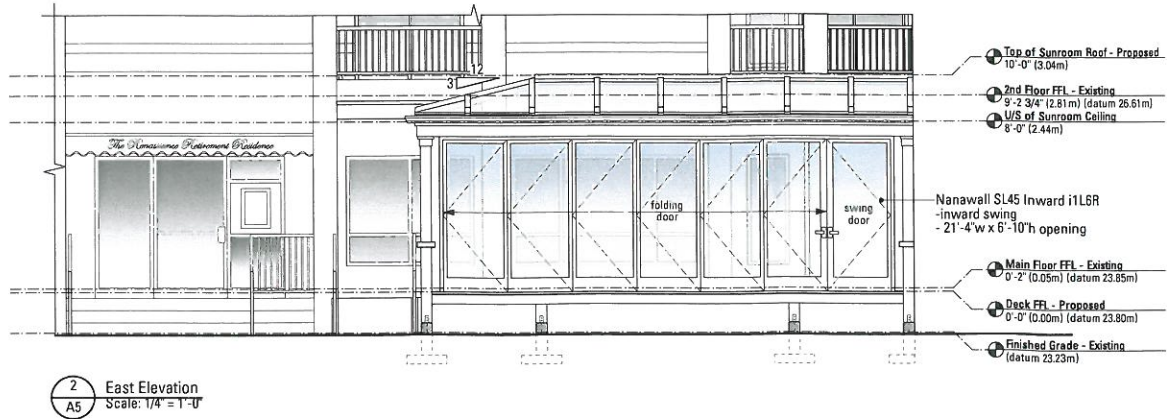
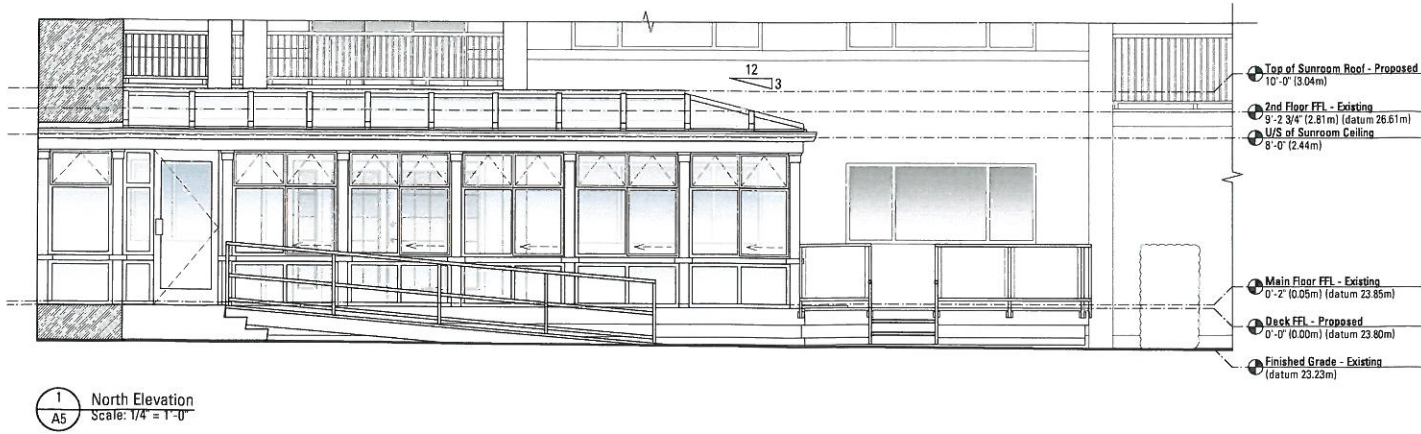
Joe Newell
architect inc.

612 Yates Street, Victoria, BC, V8W 1K9
p. 250.382.4240, f. 250.382.5733
www.joewellarchitect.com

PROJECT 1188 Esquimalt Road, Victoria, B.C.
Sunroom Addition
for Renaissance Retirement Residence

TITLE
Foundation, Floor, Roof and R.C. Plans

DATE: February 2015 SHEET
SCALE: 1/4" = 1'-0" A4
DRAWN BY: JE REV. of



Symbol Key

- door type
- window type
- wall/floor/roof type
- material
- revision
- detail number
sheet number
- section number
sheet number
- elevation number
sheet number
- structural gridlines

GENERAL NOTES:

- Interior dimensions are to the face of stud unless otherwise noted.
- Exterior dimensions are to the face of sheathing unless otherwise noted.
- Insulation shown in sections does not necessarily represent the full extent of the area to be insulated. Where a wall, floor, or roof is shown with insulation it is intended that the entire section of the wall, floor or roof is to be insulated. This is typical for all details.
- PT denotes pressure-treated; SAM denotes self-adhering membrane; CS denotes combed spruce.
- Preservative treatment of the PT strapping, blocking at plywood sheathing is to be CCA.
- Fully insulate all rough opening void spaces.

#	REVISION	DATE
A	Description of Revisions.	yyyy.mm.dd
ISSUED FOR:		DATE
Review, 90% complete		2016.02.12
Development Permit Amendment		2016.02.15
Building Permit Submission		yyyy.mm.dd
Construction		yyyy.mm.dd
© Copyright reserved. This drawing remains the exclusive property of the Architect and may not be re-used or reproduced without written consent of the Architect.		



Joe Newell
architect inc.

612 Yates Street, Victoria, BC, V8W 1K9
p. 250.382.4240, f. 250.382.5733
www.joewellarchitect.com

PROJECT	No.: 150605
1188 Esquimalt Road, Victoria, B.C. Sunroom Addition	
for Renaissance Retirement Residence	
TITLE	
Proposed Elevations	
DATE: February 2016	SHEET
SCALE: 1/4" = 1'-0"	A5
DRAWN BY: JE	REV. of

BC LAND SURVEYORS SITE PLAN OF:

Civic: 1188 Esquimalt Road

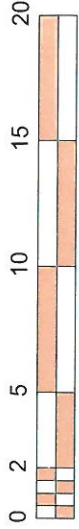
Legal Lot 9, Block 4, Section 11, Esquimalt District, Plan 83

Parcel Identifier: 006-074-448 in the Municipality of Esquimalt

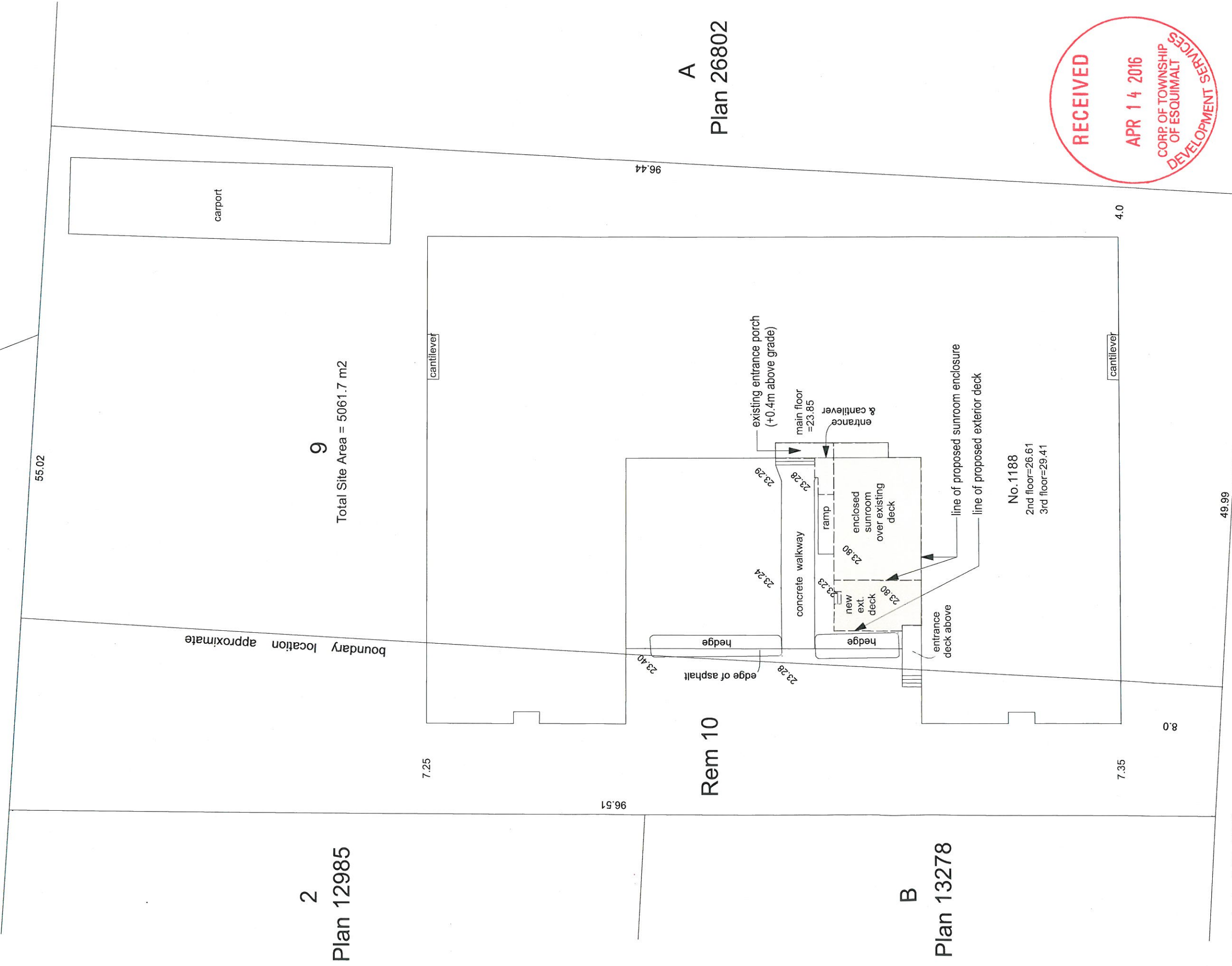
& Lot 10, Block 4, Section 11, Esquimalt District, Plan 83, Except Parcel A (DD 39024I)

Parcel Identifier: 006-074-464 in the Municipality of Esquimalt

Scale - 1 : 300
Distances are in metres.



The intended print size is 11" by 17".



Revised - April 14, 2016
November 27, 2015

Esquimalt Road

File : 12,228 - 19

POWELL & ASSOCIATES

B C Land Surveyors
250-2950 Douglas Street
Victoria, BC V8T 4N4
phone (250) 382-8855

LEGEND

Elevations are to geodetic datum.

- denotes - existing elevation

Setbacks are derived from field survey.

Parcel dimensions shown hereon are

derived from Land Title Office records.

This document shows the relative location
of the surveyed features and shall not be
used to define property boundaries.