

BC LAND SURVEYORS SITE PLAN OF:

640 Drake Avenue

Legal: Lot 2, Suburban Lots 50 and 41, Esquimalt District, Plan 25565

Parcel Identifier: 002-923-157 in the Municipality of Esquimalt

The following non-financial charges are shown on the current title and may affect the property.

- A84872 - Right of Way
- A79868 - Right of Way
- C4872 - Easement

636 Drake Avenue

Legal: Lot 3, Suburban Lot 41, Esquimalt District, Plan 25565

Parcel Identifier: 002-923-211 in the Municipality of Esquimalt

The following non-financial charges are shown on the current title and may affect the property.

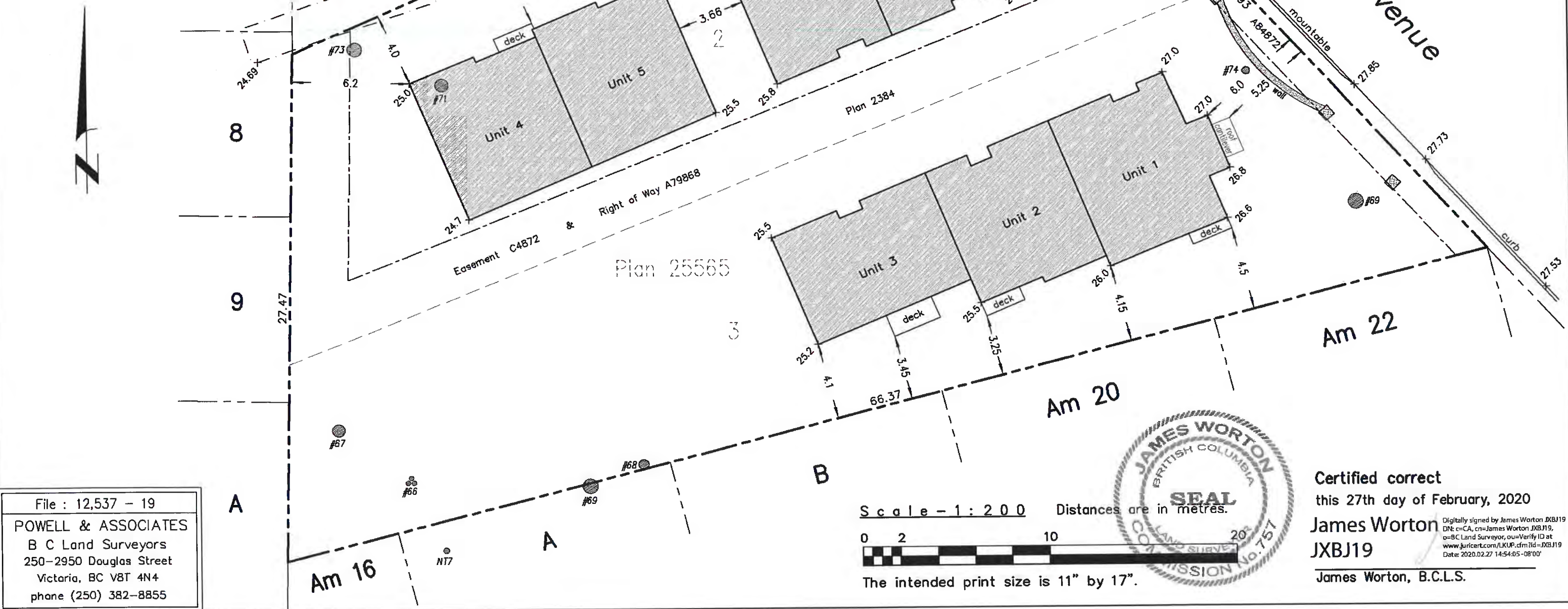
- A84872 - Right of Way

LEGEND

Elevations are to geodetic datum.

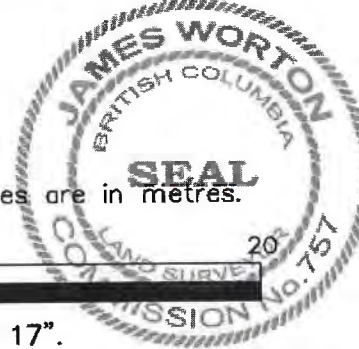
+ - denotes - geodetic elevation

- denotes - tree & tag number



File : 12,537 - 19
POWELL & ASSOCIATES
B C Land Surveyors
250-2950 Douglas Street
Victoria, BC V8T 4N4
phone (250) 382-8855

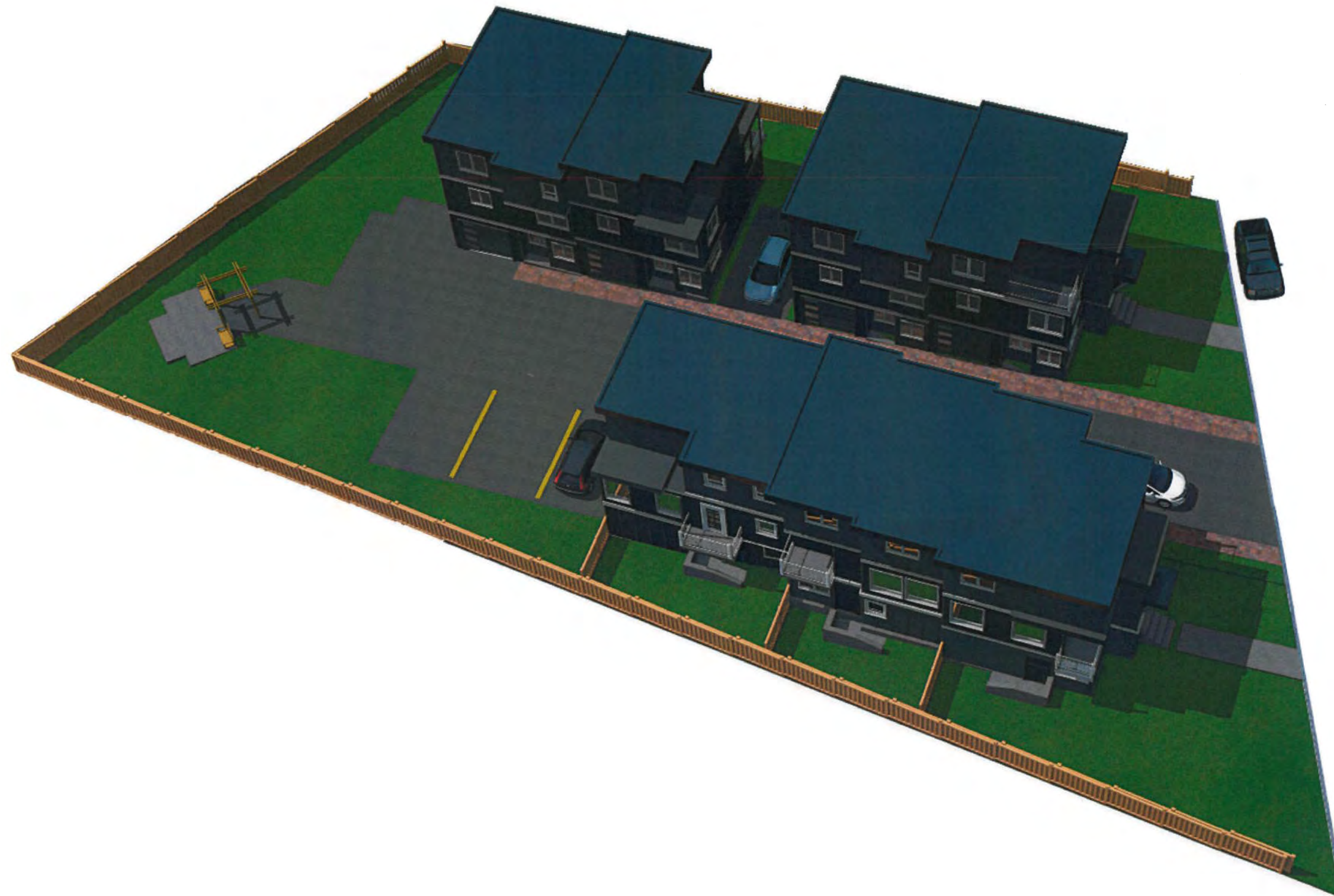
Scale - 1 : 200 Distances are in metres.
0 2 10 20
The intended print size is 11" by 17".



Certified correct
this 27th day of February, 2020
James Worton JXBJ19
James Worton, B.C.L.S.

RECEIVED
NOV 18 2020
CORP. OF TOWNSHIP
OF ESQUIMALT
DEVELOPMENT SERVICES





ROBERTS MEWS

DRAKE CONCEPTS FOR COLOURS



EAST ELEVATION
30'1"



EAST ELEVATION
30'1"



NORTH ELEVATION
30'1"

METAL RAILINGS

GENTEK BRIGHT WHITE
BLANC PUR
431

SUGGESTED FEATURES:
BLACK LOCKSMITH LAMPS ABOVE GARAGE DOORS AND 10'15"15"
TOP OF THE GARAGE DOOR 1/4" RAMP
BLACK WALL MOUNTED LIGHT FIXTURES AT FRONT DOORS



SOFFITS

DOWNSPOUTS

GENTEK



CULTURED STONE

Silver Lining Stacked stone



GARAGE DOORS



VINYL DECK



HORIZONTAL SIDING



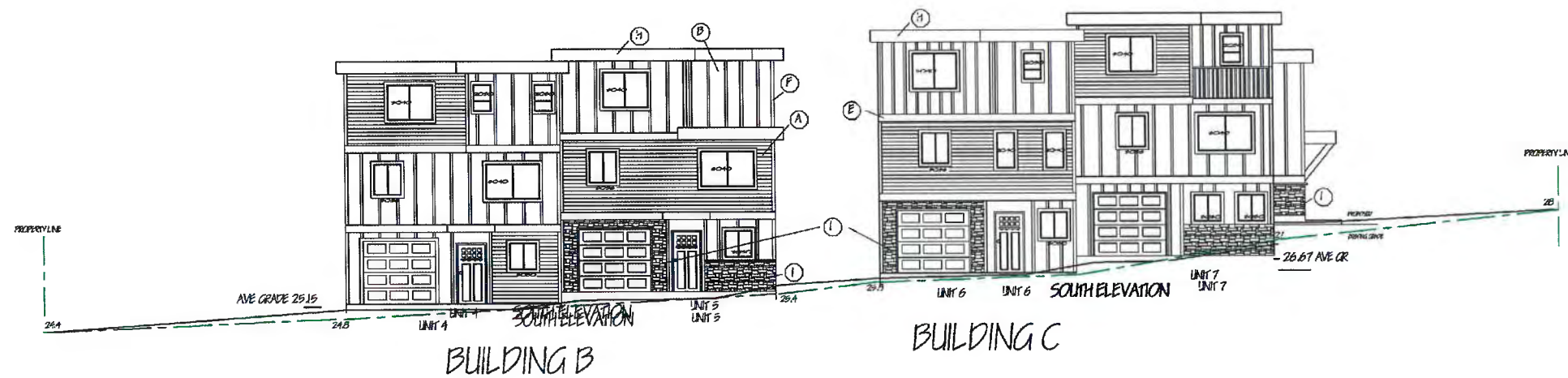
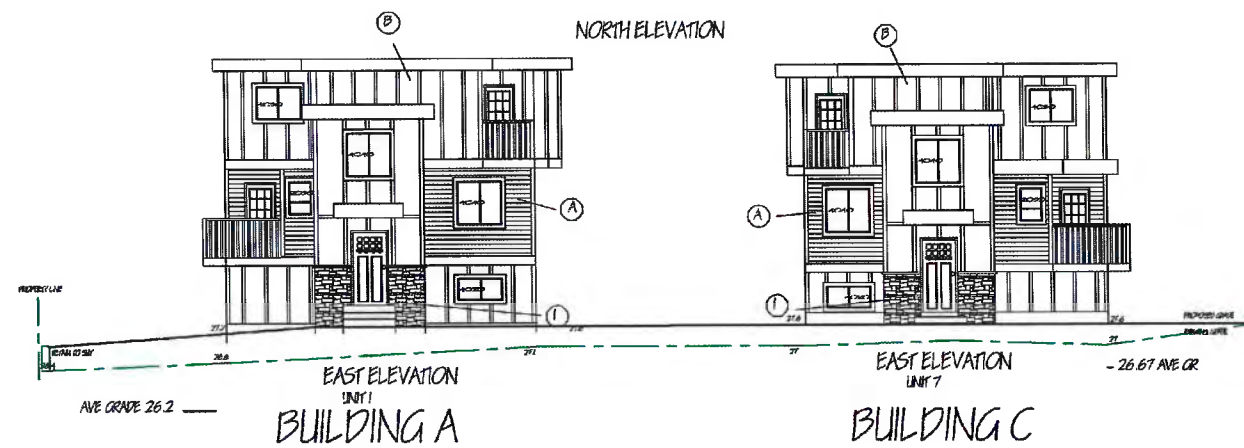
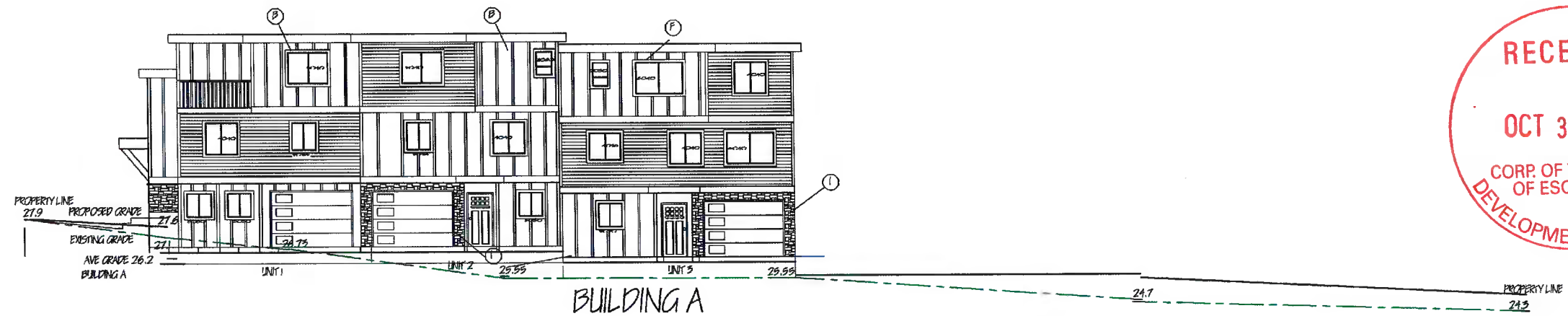
WINDOW TRIMS

FASCIA

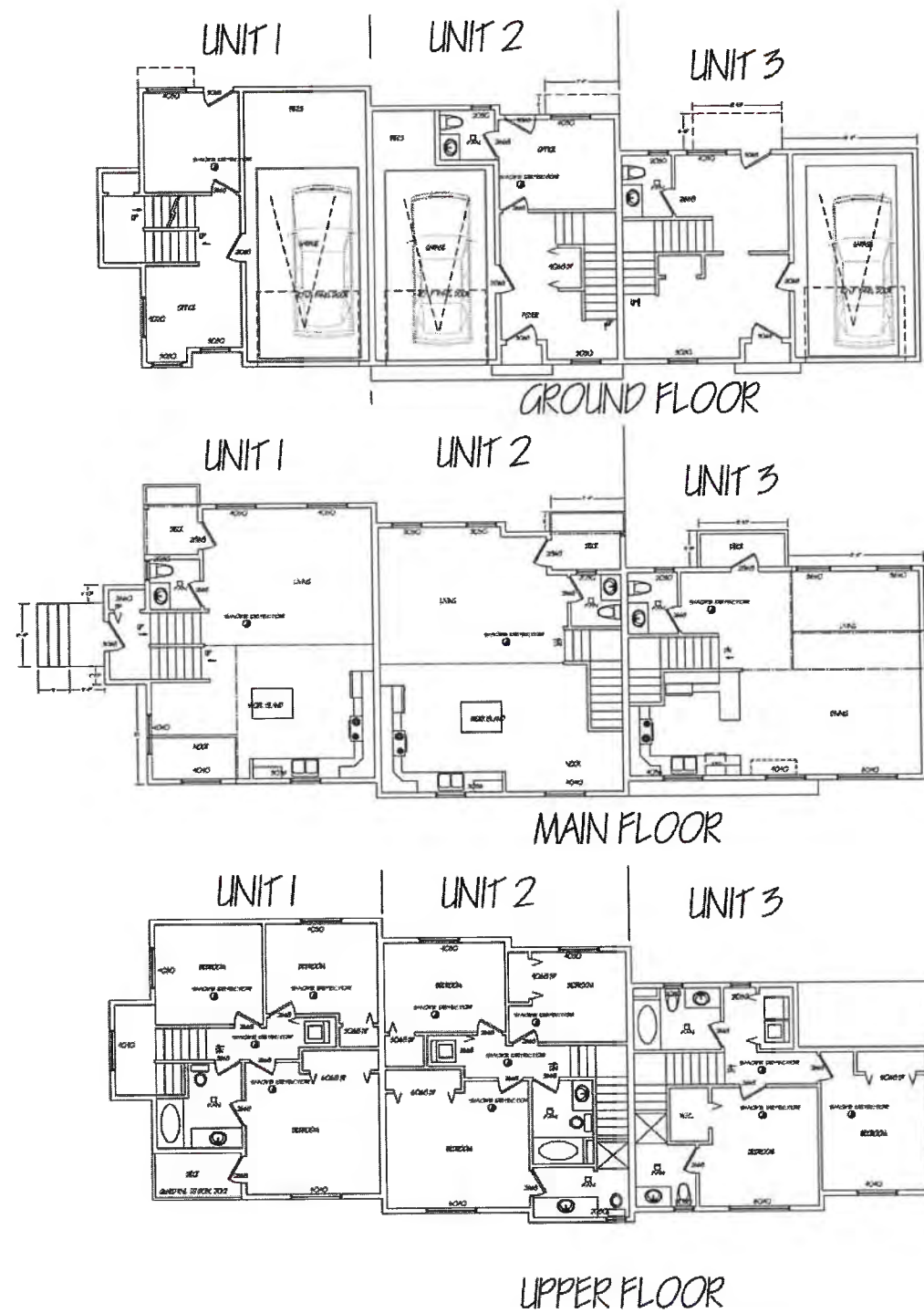


FRONT & GARAGE

DOOR TRIMS



No.	Revision/Issue	Date
Burrows Holdings Ltd 2614 Oker Pt Rd Seke BC V9Z 0J3 250-642-3715		
Project Name and Address 656-642 GRAVE AVE DAWA PACIFIC PROPERTIES LTD		
Project	Robert's Menus	Sheet
Date	Oct 30 / 2020	1
Scale	1:100	



General Notes

1. Contractor to verify all dimensions and details prior to start of construction and notify designer of any errors or discrepancies.
2. Dimensions to take precedence over scaled drawings.
3. Exterior dimensions from face of sheathing/concrete.
4. Where Eng. is specified, all structural components shall be certified by a structural engineer.
5. All work to be carried out using good construction practice and shall conform to local bylaws and current British Columbia Building Code.
6. It is Owner/Contractors responsibility to ensure site is inspected for substandard soil conditions resulting in special foundation design.
7. Provide attic and crawl space ventilation and access in accordance with BCBC Part 9.
8. All wood framing to be #2 or better SPF unless otherwise noted.
9. Provide 8" min. clearance from grade to wood cladding materials.
10. All wood lintels and joists to conform to current wood council of BC span tables.
11. Install smoke detectors in accordance with BCBC Part 9.
12. All wood plies in contact with concrete shall be pressure treated or shall be separated by a sill gasket.
13. Concrete shall be min. 20 MPa for walls and 30 MPa for slabs.
14. Windows shall be installed according to details outlined by warranty provider.
15. All hand rails to be graspable and installed 36" above nosing.
16. All guard rails to be installed as per BCBC.
17. Garage door shall come with self closer and weatherstripping to provide gas tight seal.
18. Provide heating and ventilation in accordance with local bylaws and BCBC.
19. All Bedrooms to have min egress as detail in BCBC.
20. Bathroom fans to be 1.5 some 100 cfm and have 3" smoothwall ducting.

	Remove unit 4	1/20
	Added 3rd floor deck unit 1	11/18
No.	Revision/Issue	Date

Burrows Holdings Ltd
2614 Otter Pt Rd Sooke BC V9Z 0J1
250-642-9719

Project Name and Address

656-642 DRUM AVE
DANNA PACIFIC PROPERTIES LTD

Project Robert's News

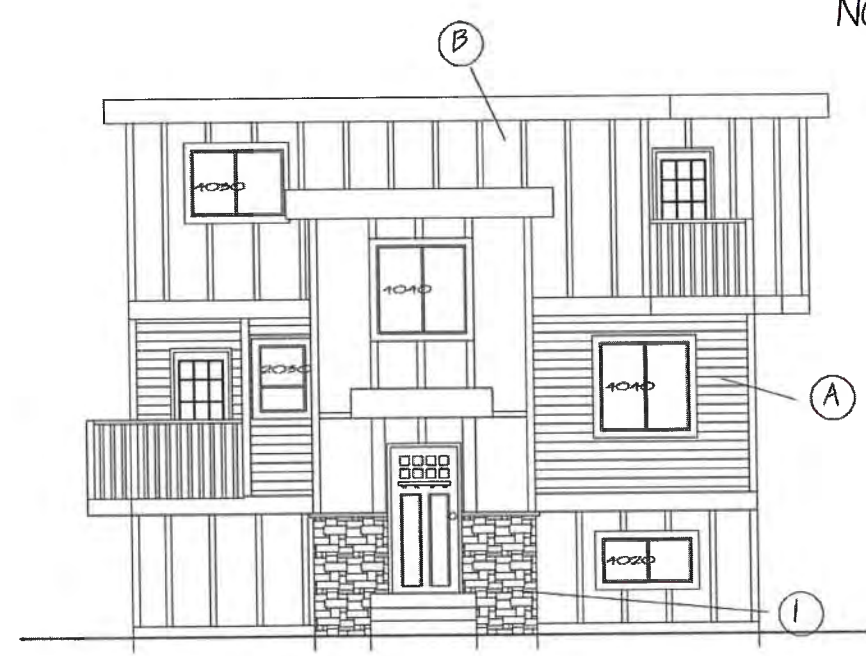
Date Oct 20 / 2020
Scale 1/100

Sheet
2

USER
REVDATE
FNAME



NORTH ELEVATION



EAST ELEVATION
UNIT 1



EAST ELEVATION
UNIT 7

- A HARDPLANK SIDING
- B HARDIPANEL SIDING C/ W 1X4 BATTENS
- C HARDI SHINGLE
- D HARDIPANEL SIDING C/ W 1X2 BATTENS
- E 2X10 COMB FACE
- F 1X4 TRIM BOARDS
- G LAMINATE SHINGLES
- H HARDI PANEL
- I CULTURED STONE VENEER



No.	Revision/Issue	Date
	Revise roof Lines remove unit 4	1/20
	Added 3rd floor deck unit 1,B	11/18

Project Name and Address

656-642 CRANE AVE
DIHMA PACIFIC PROPERTIES LTD

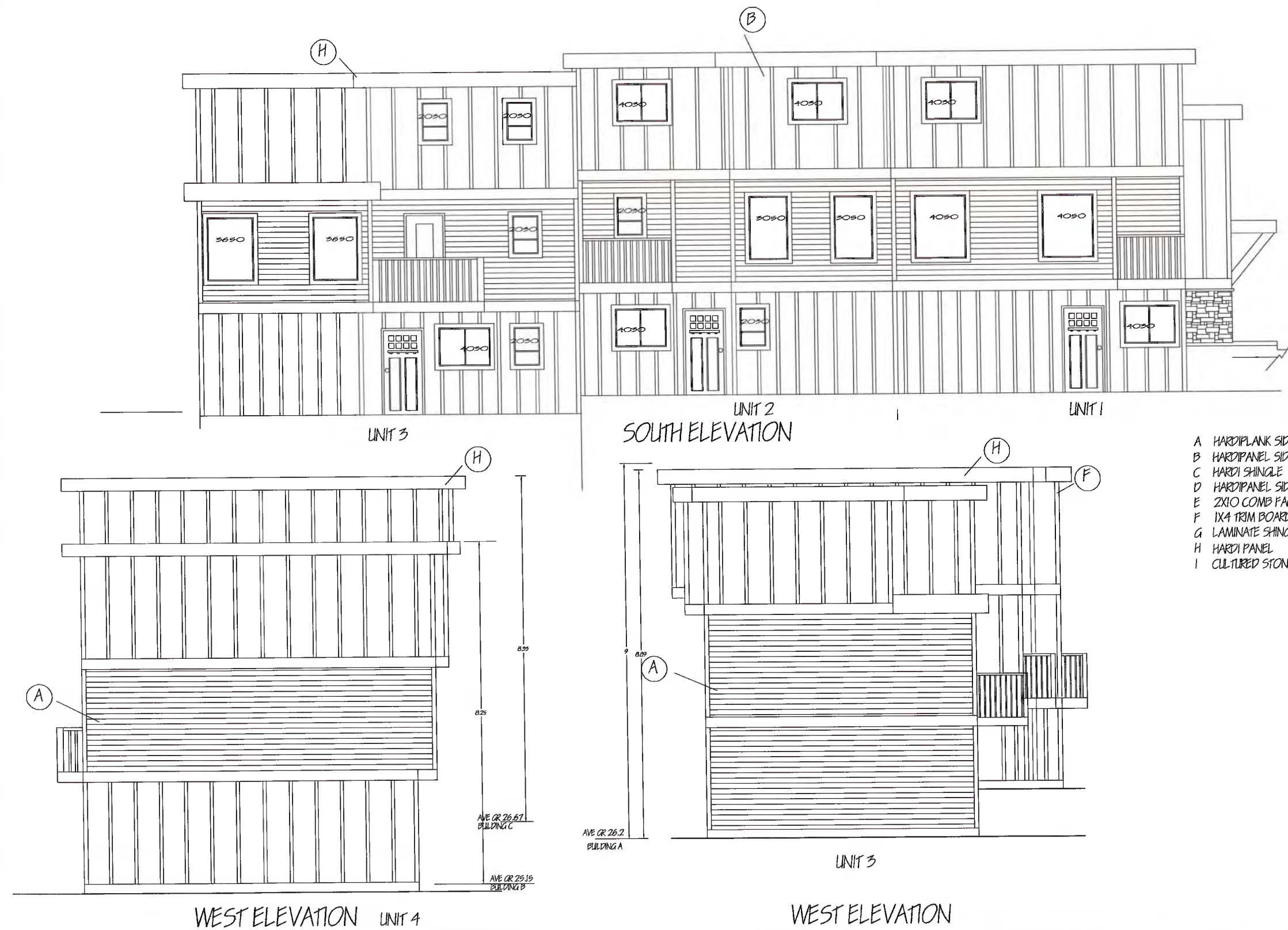
Project: Robert's Mews
Date: Oct. 20/ 2020
Scale: 1:50

Sheet: 3

PNAME

REVDATE

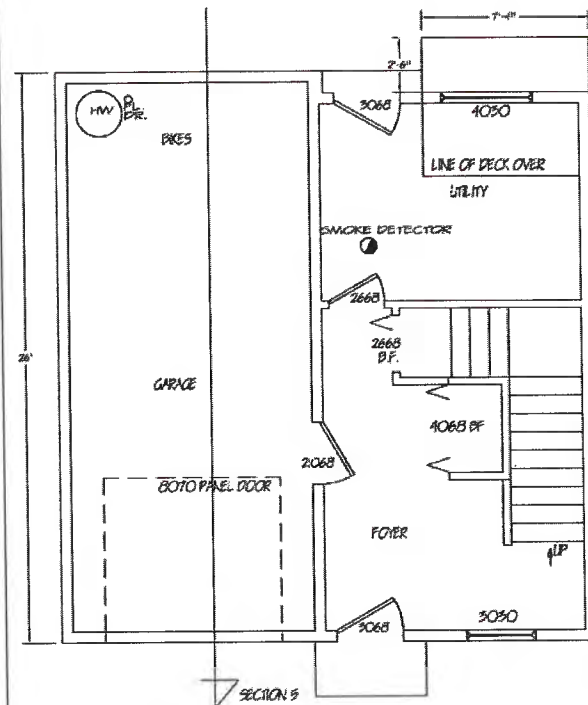
USER



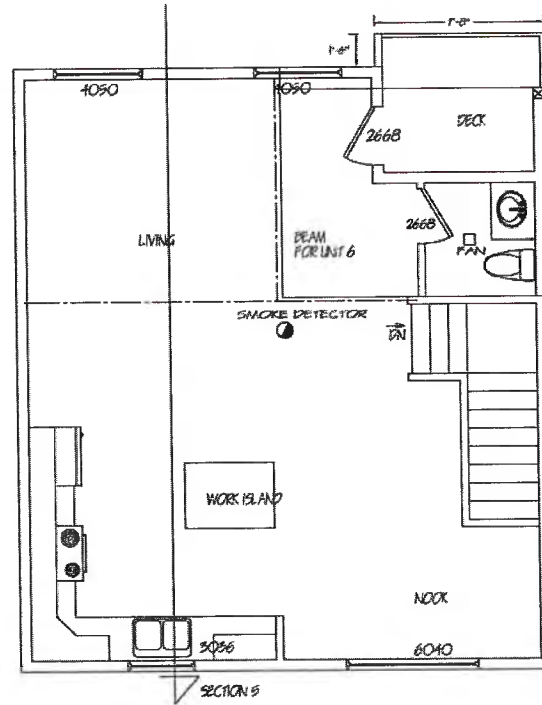
- A HARDPLANK SIDING
- B HARDIPANEL SIDING C/ W 1X4 BATTENS
- C HARDI SHINGLE
- D HARDIPANEL SIDING C/ W 1X2 BATTENS
- E 2X10 COMB FACE
- F 1X4 TRIM BOARDS
- G LAMINATE SHINGLES
- H HARDI PANEL
- I CULTURED STONE VENEER

No.	Revision/Issue	Date
	Remove unit 4 adjust height	11/20
	Added 3rd floor deck unit 1	11/18
Burrows Holdings Ltd 2614 Otter Pt Rd Sooke BC V9Z 0J1 250-642-3715		
Project Name and Address 656-642 DRAKE AVE DIMMA PACIFIC PROPERTIES LTD		
Project	Robert's News	Sheet
Date	Oct 20 / 2020	4
Scale	1:50	

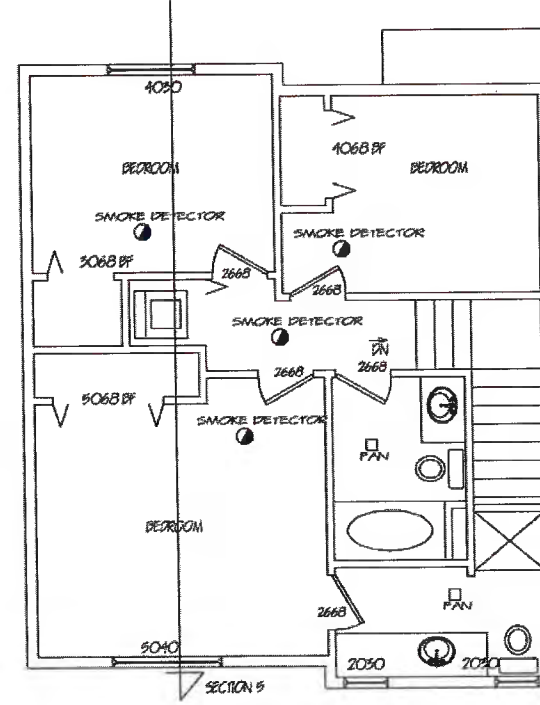
UNIT 4 & 5



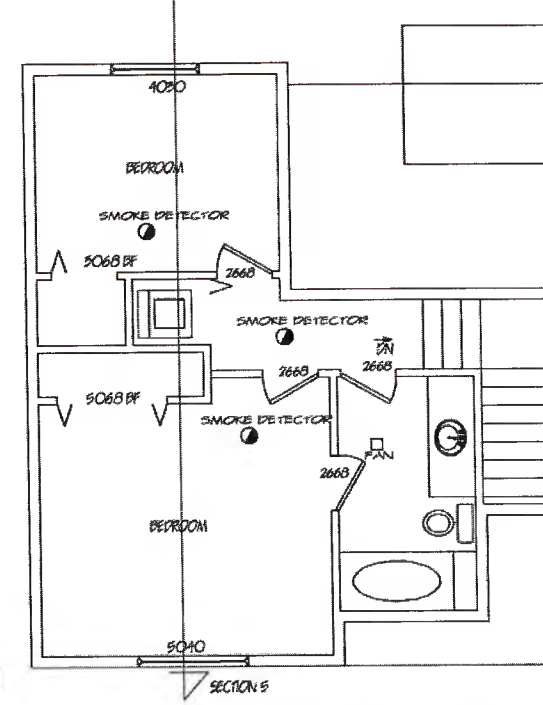
GROUND FLOOR



MAIN FLOOR



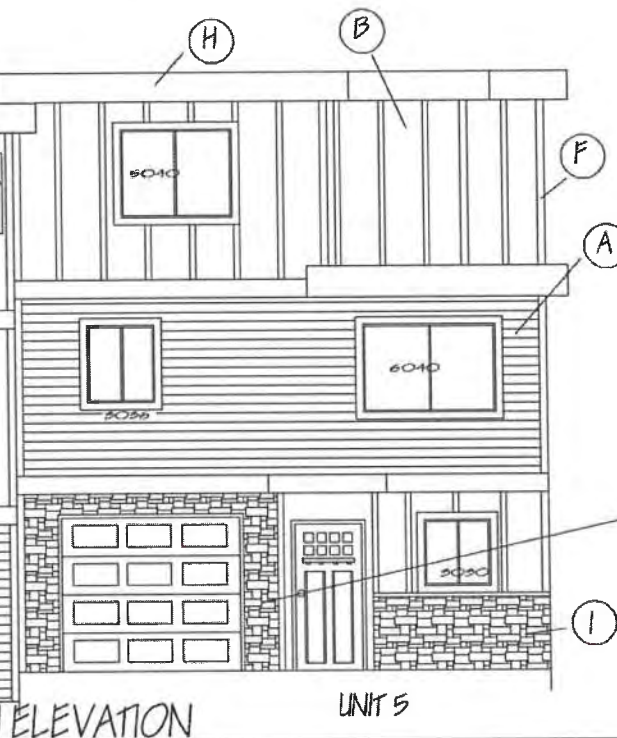
UPPER FLOOR 4



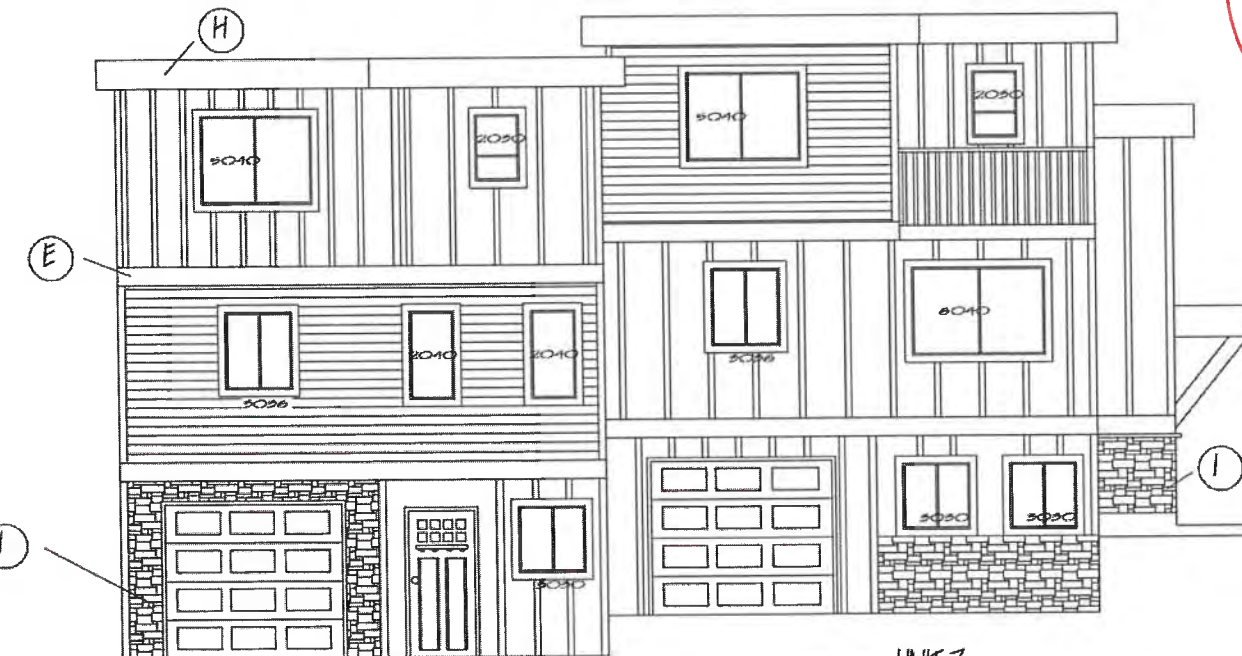
UPPER FLOOR 5



UNIT 4 SOUTH ELEVATION



UNIT 5



UNIT 6

SOUTH ELEVATION

UNIT 7

more laundry to third floor		01/20
No.	Revision/Issue	Date
Burrows Holdings Ltd 2614 Oster Pt Rd Suite BC V9Z 0J1 250-642-5719		
Project Name and Address 656-642 DRIVE AVE DUMMA PACIFIC PROPERTIES LTD		
Project	Robert's Mews	Sheet
Date	Oct 20/2020	5
Scale	1:50	

- A HARDPLANK SIDING
- B HARDIPANEL SIDING C/ W 1X4 BATTENS
- C HARDI SHINGLE
- D HARDIPANEL SIDING C/ W 1X2 BATTENS
- E 2X10 COMB FACE
- F 1X4 TRIM BOARDS
- G LAMINATE SHINGLES
- H HARDI PANEL
- I CULTURED STONE VENEER



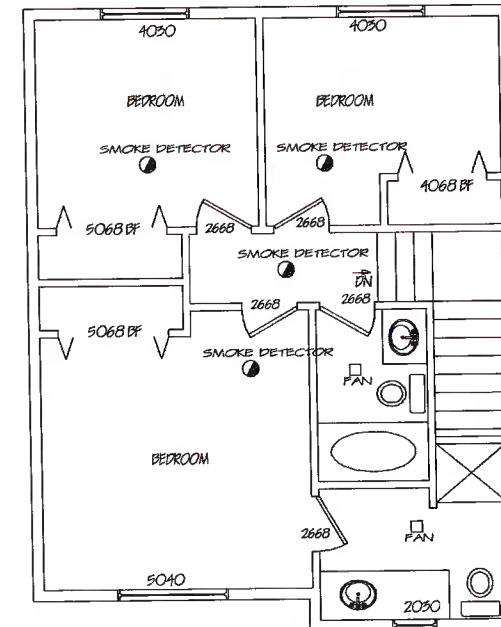
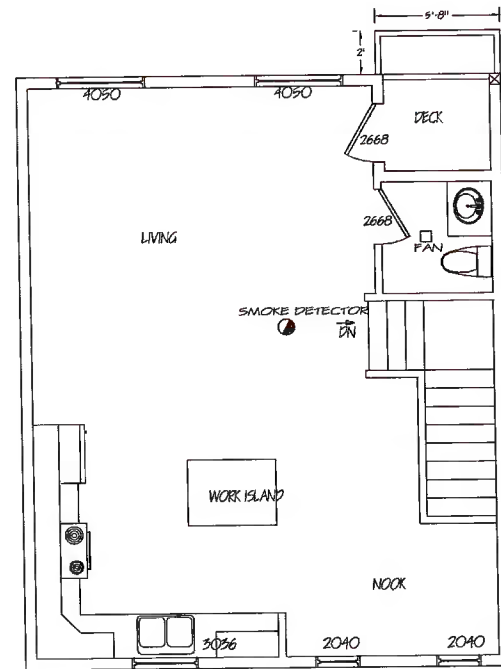
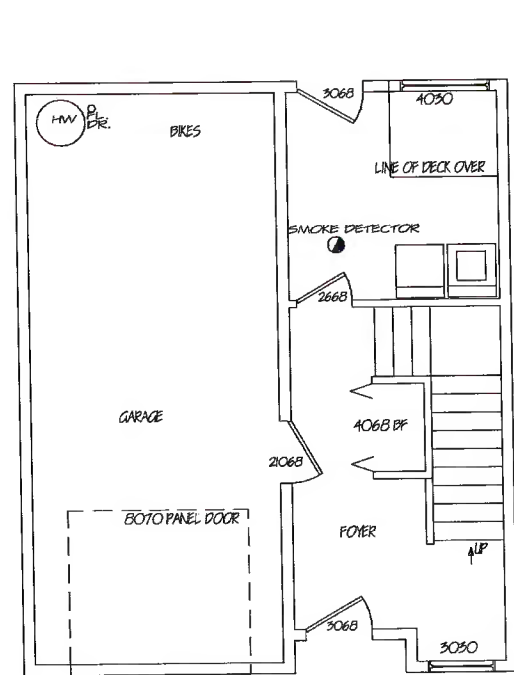
FNAM

REVDATE

USER

UNIT 6

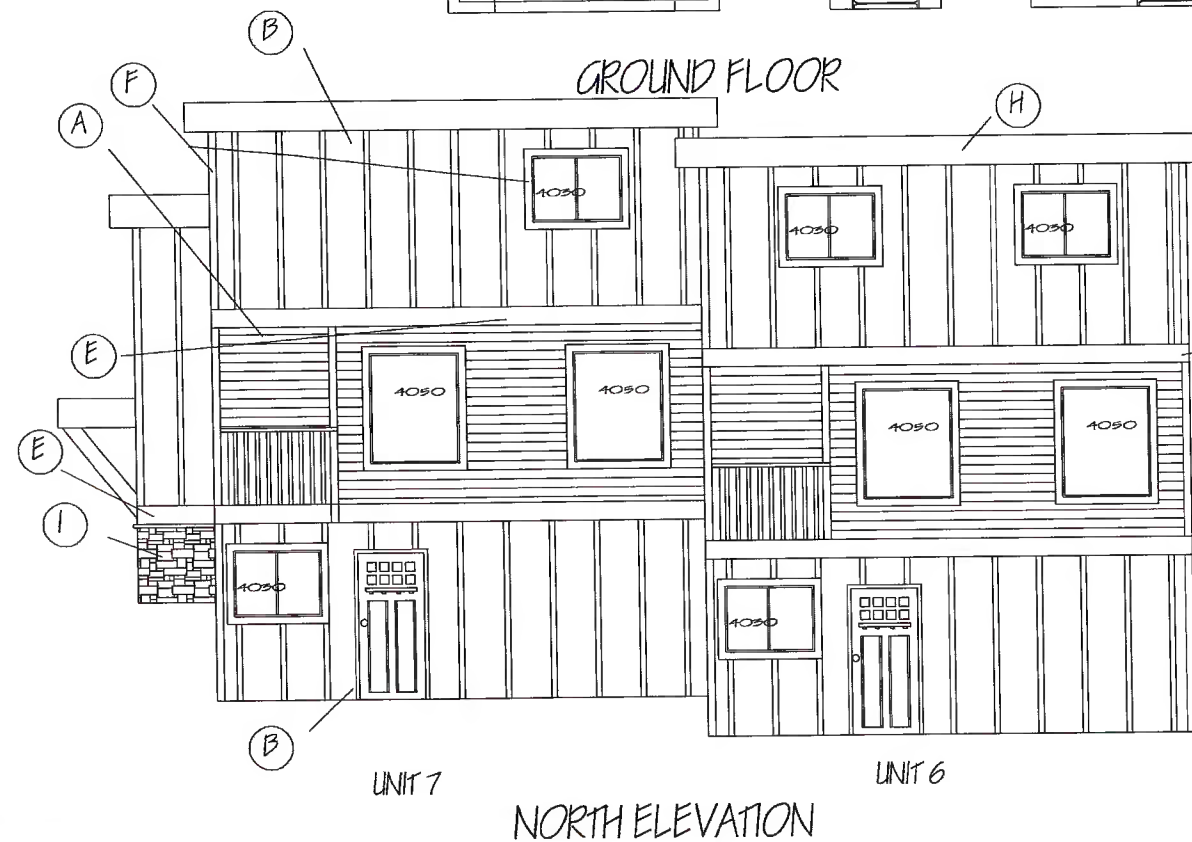
- A HARDPLANK SIDING
- B HARDIPANEL SIDING C/ W 1X4 BATTENS
- C HARDI SHINGLE
- D HARDIPANEL SIDING C/ W 1X2 BATTENS
- E 2X10 COMB FACE
- F 1X4 TRIM BOARDS
- G LAMINATE SHINGLES
- H HARDI PANEL
- I CULTURED STONE VENEER



GROUND FLOOR

MAIN FLOOR

UPPER FLOOR



NORTH ELEVATION



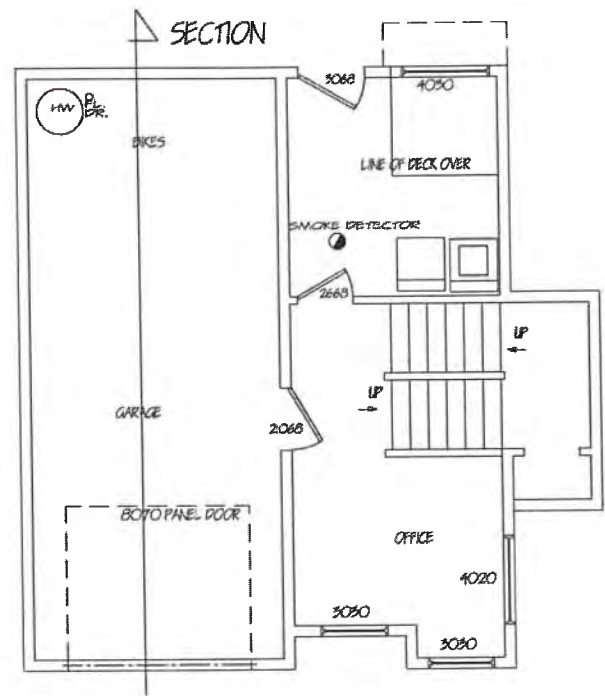
UNIT 5

NORTH ELEVATION

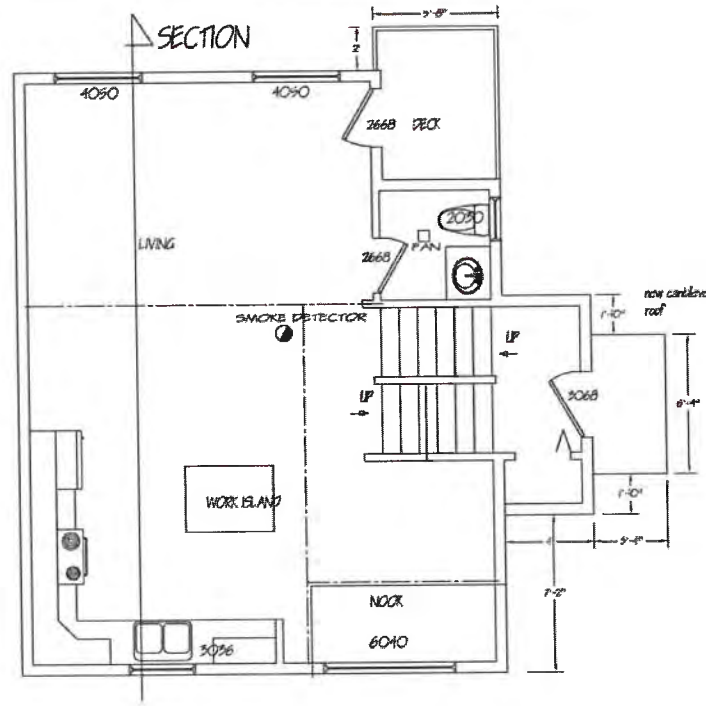
UNIT 4

Added 3rd floor deck unit B		11/18
No.	Revision/Issue	Date
Barrows Holdings Ltd 2614 Oliver Pl Rd Sooke BC V9Z 0J1 250-642-3715		
Project Name and Address		
656-642 DRAKE AVE DINAMIA PACIFIC PROPERTIES LTD		
Project	Robert's Mews	Sheet
Date	Oct 20/2020	6
Scale	1:50	

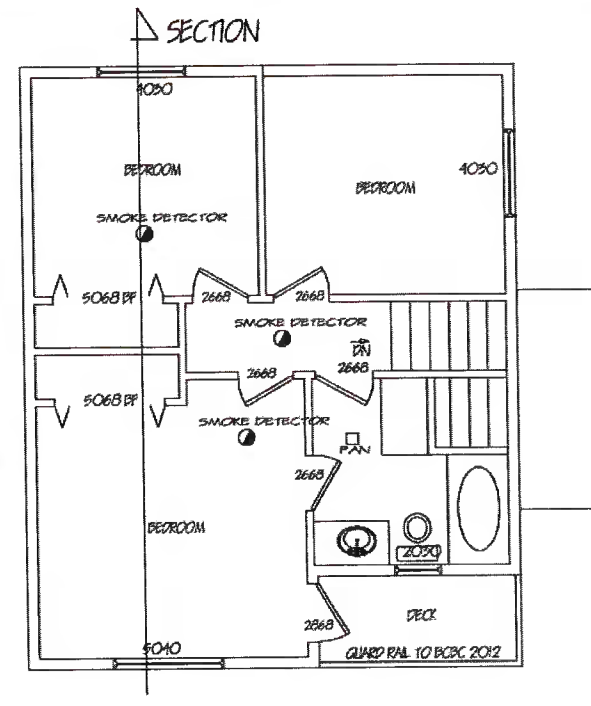




GROUND FLOOR

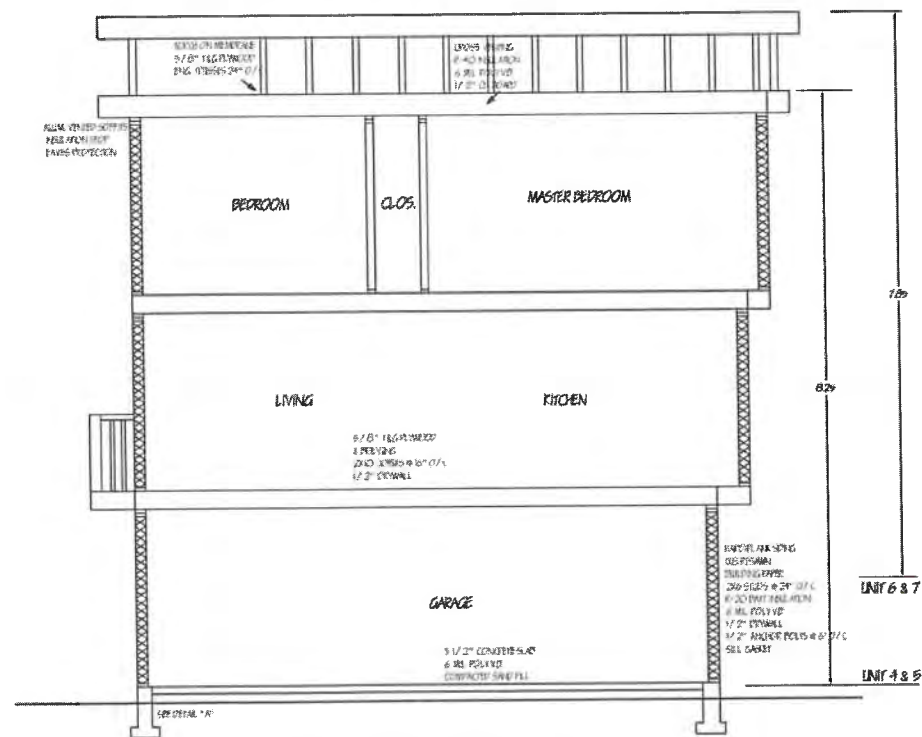


MAIN FLOOR



UPPER FLOOR

UNIT 7



TYP CROSS SECTION

UNIT 4



Added 3rd floor deck unit 8		11/18
No.	Revision/Issue	Date
Burrows Holdings Ltd 2614 Oster Pk Rd Suite BC V9Z 0J1 250-642-3715		
Project Name and Address 656-642 DRYE AVE DRYE PACIFIC PROPERTIES LTD		
Project	Robert's Home	Sheet
Date	Oct 20 / 2020	7
Scale	1:50	

FINAME

REVDATE

USER

No.	Revision/Issue	Date
Burrows Holdings Ltd 2814 Oker Pk Rd Seale BC V9Z 0J1 250-642-9719		
Project Name and Address 656-642 DRAKE AVE DUNN PACIFIC PROPERTIES LTD		
Project	Robert's Mews	Sheet
Date	Oct 20 / 2020	8
Scale	1:100	



CONTEXT DRAWING FROM DRAKE AVE



REVDATE

USER

LEGEND

Elevations are to geodetic datum.

- ///O - denotes - tree & tag number
- ///S - denotes - Manhole - Sanitary Sewer
- ///D - denotes - Manhole - Storm Drain
- ///C - denotes - Catch Basin

LEGEND

LARGE DECIDUOUS TREES
QUERCUS COCCINEA (SCARLET OAK),
ACER RUBRA (RED MAPLE),
SIZE 5.0 CM. CAL. QUANTITY - 4.

SMALL DECIDUOUS TREES
ACER CIRCINATUM (VINE MAPLE),
SYRINJA VULGARIS (LILAC),
VIBURNUM X BETTY (BETTY VIBURNUM),
SIZE 2.5 CM. CAL. QUANTITY - 8.

MEDIUM SHRUBS
RHODODENDRON SP. (RHODODENDRON),
VIBURNUM OXIFOLIUM (RED-BERRY),
SPIRÆA JAPONICA (JAPANESE SPIRÆA),
MAHONIA AQUIFOLIUM (FOREIGN MAHONIA),
SHIMADA JAPONICA (JAPANESE SHIMADA),
SIZE #2 & #3 POTS QUANTITY - 18.

SMALL SHRUBS
MAHONIA NERVOZA (DWARF MAHONIA),
CORNUS KILSEYI (DWARF REDTID BUSHWOOD),
LAVANDULA SPICA (JAPANESE),
POLYSTICHUM MUNITZ (SWORD FERN),
PASTICA BLAUCA (ORIENTAL GRASS),
SIZE #1 POTS QUANTITY - 208.

GROUND COVER
ARCTOSTAPHYLOS UVA-URSI (KINKIDINKI),
SIZE 10 CM. POT, QUANTITY - 48 CM. O.C.



LANDSCAPE PLAN

DRAKE AVENUE TOWNHOUSES
696-640 DRAKE AVENUE, VICTORIA, B.C.

KEITH N. GRANT
LANDSCAPE
ARCHITECTURE LTD.
1100 PLOT 1 = 100



DATE	REVISION	BY	DATE
10/05/20	1	KEITH N. GRANT	10/05/20
11/05/20	2	KEITH N. GRANT	11/05/20
12/05/20	3	KEITH N. GRANT	12/05/20
01/06/21	4	KEITH N. GRANT	01/06/21
02/06/21	5	KEITH N. GRANT	02/06/21
03/06/21	6	KEITH N. GRANT	03/06/21
04/06/21	7	KEITH N. GRANT	04/06/21
05/06/21	8	KEITH N. GRANT	05/06/21
06/06/21	9	KEITH N. GRANT	06/06/21
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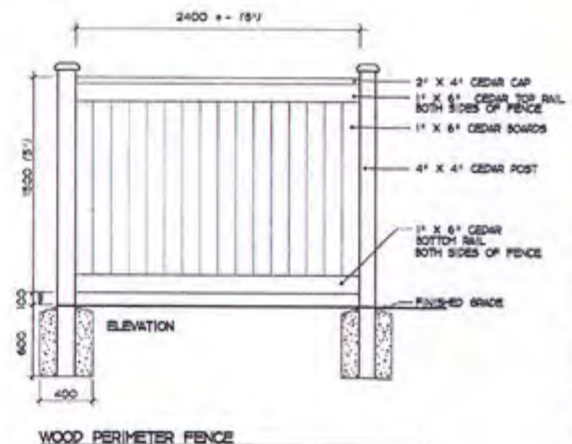
NOTES

- SEE DRAWING L2 FOR SOFT LANDSCAPE GRADING INFORMATION.
- SEE ARBORIST REPORT PREPARED BY TALBOT HACKETT & ASSOCIATES DATED APRIL 2018 FOR TREE RESOURCE INFORMATION.
- NEW ON SITE PLANTING AREAS TO BE IRRIGATED WITH A WATER EFFICIENT AUTOMATIC UNDERGROUND IRRIGATION SYSTEM.
- PLANTING TO BE INSTALLED TO THE STANDARDS IDENTIFIED IN THE BRITISH COLUMBIA LANDSCAPE STANDARD - 2012 EDITION.

RECEIVED

AUG 06 2020

CORP. OF TOWNSHIP
OF ESQUIMALT
DEVELOPMENT SERVICES



LEGEND

Deviations are to grade/height/width

- denotes - existing elevation
- #110 denotes - tree & tag number
- denotes - Manhole - Sanitary Sewer
- denotes - Manhole - Storm Drain
- denotes - Catch Basin

- ## LEGEND
- EXISTING CONIFEROUS TREE TO BE RETAINED
 - EXISTING DECIDUOUS TREE TO BE RETAINED
 - EXISTING TREES TO BE REMOVED
 - EXISTING SPOT ELEVATIONS
 - PROPOSED SPOT ELEVATIONS
 - PROPOSED BOLLARD WALL

RECEIVED

AUG 06 2020

CORP. OF TOWNSHIP OF ESQUIMALT
DEVELOPMENT SERVICES

DRAKE AVENUE
TOWNHOUSES

KEITH N. GRANT
LANDSCAPE ARCHITECTURE LTD.
1100 PLOT 100
ESQUIMALT, BC V9C 1A1



1100 PLOT 100

KEITH N. GRANT
FEBRUARY 10, 2020
570 18 01

NOTES

- SEE DRAWING J FOR PLANTING PLAN.
- SEE ARCHITECT REPORT PREPARED BY TALBOT HACKBIE & ASSOCIATES DATED APRIL 2018 FOR TREE REMOVE INFORMATION.

2" X 8" ROUGH CEDAR BOARDS
2" X 6" ROUGH CEDAR BOARDS
4" X 6" ROUGH CEDAR POST
PIN SHED BRACE
CONCRETE FOOTING
END ELEVATION
WOOD ARBOUR

SIDE ELEVATION

Existing Screening

Existing Screening as seen from Drake Ave

Legend

 Thrift Shop



Google Earth

© 2018 Google

50 ft