



861-865 ESQUIMALT ROAD | VICTORIA, BC

15 NOV 2024



ZONING BYLAW SUMMARY

ZONE:
EXISTING: RM-4

SITE COVERAGE:
EXISTING: F.A.R. : 1.0
LOT COVERAGE (30%): 463.41

SETBACKS:
FRONT SETBACK: 7.5m
SIDE SETBACK: 6m
REAR SETBACK: 7.5m

MAX BUILDING HEIGHT: 11m

PARKING ANALYSIS:
PARKING STALLS REQUIRED: 44 STALLS

ACCESSIBLE STALLS REQUIRED (2 FOR EVERY 50 STALLS) : 2
SMALL CARS STALLS ALLOWED (UP TO 50% OF REQ. PARKING)

LOADING STALL: NOT REQUIRED

PROPOSED NEW ZONING

SITE COVERAGE:
PROPOSED: F.A.R. : 1.99
LOT COVERAGE (50%)

SETBACKS:
FRONT SETBACK: 5.3m
WEST SIDE SETBACK: 6.4m
EAST SIDE SETBACK: 5.25m
REAR SETBACK: 6.2m

MAX BUILDING HEIGHT: 21.4m

PARKING ANALYSIS:
PARKING RATIO - PER DWELLING UNIT
PARKING STALLS PROPOSED: 44 STALLS

ACCESSIBLE STALLS PROPOSED (2 FOR EVERY 50 STALLS) : 2
SMALL CARS STALLS ALLOWED (UP TO 50% OF REQ. PARKING) : 45%

LOADING STALL PROPOSED: 1

BICYCLE PARKING:
BICYCLE STALLS PROPOSED: 77 + 6 VISITORS @ GROUND LEVEL

BUILDING DESCRIPTION:
THE PROPOSED SIX STOREY BUILDING HAS FIVE LEVELS OF RESIDENTIAL APARTMENTS OVER 2 LEVELS OF SURFACE AND UNDERGROUND PARKING. THE MAIN FLOOR HAS THE ENTRY LOBBY, AMENITIES AND A LIVE-WORK UNIT.

USES:
NEIGHBOURHOOD COMMERCIAL MIXED-USE

SITE AREA: 1,544.71 sm (16,627 s.f.)

FLOOR SPACE RATIO:
PERMITTED: 2.0 : 1 FAR
PROPOSED: 1.99 : 1 FAR. (33,195 s.f.)

SITE COVERAGE: 50 %

OPEN SITE SPACE: 50 %

USABLE OPEN SPACE: 115.95 sm (1,248 s.f.)

GRADE OF BUILDING:
25.50 (Esquimalt Road)

HEIGHT OF BUILDING:
PROPOSED: 21.4 m
17.2 m per BC Building Code

NUMBER OF STOREYS: 06

SUITE SUMMARY:

Studio: 08 suites @ 418 sf = 3,344
1 Bed: 15 suites @ 480 sf = 7,200
1 Bed (Angle): 08 suites @ 505 sf = 4,040
1Bed/ 1Den: 05 suites @ 570 sf = 2,850
2 Bed: 20 suites @ 680 sf = 13,600
3 Bed: 02 suites @ 923 sf = 1,840
Live-Work: 01 suite @ 620 sf = 620

TOTAL: 59 SUITES

PROJECT DESCRIPTION

CIVIC ADDRESS:
861-865 ESQUIMALT ROAD
VICTORIA, BC V9A 3M5

LEGAL DESCRIPTION:
LOT 9-10, SECTIONS 11, ESQUIMALT DISTRICT, PLAN 265

CURRENT ZONING: RM-4

PROJECT DIRECTORY

REGISTERED OWNER

861-865 Esquimalt Holdings Ltd.
968 Starling Lane
Victoria, B.C.
V9E 2A9

tel: 250-213-7999
email: mail@mcclash.ca

ARCHITECT

dHKarchitects
977 Fort Street,
Victoria, BC
V8V 3K3

tel: 250-658-3367
email: raw@dnhk.ca

PLANNER

TownSquare
Victoria, BC

tel: Jennifer Kay
email: jennifer@town-square.ca

CIVIL

JEA
4212 Glenford Ave,
Victoria, BC
V8Z 4B7

tel: Ross Tuck
250-727-2214
email: rtuck@jeanderson.com

STRUCTURAL

RJC
1515 Douglas St #330,
Victoria, BC
V8W 2G4

tel: Leon Plett
250-361-6044
email: lplettr@rjc.ca

ELECTRICAL

AES
3795 Carey Rd #500,
Victoria, BC
V8Z 6T8

tel: Bal Klear
250-744-0752
email: Bal.Klear@aessengr.com

MECHANICAL

AME
721 Johnson Street,
Victoria, BC
V8W 1M8

tel: Talo Walchhaus
250-382-5999
email: TaloWalchhaus@amegroup.ca

LANDSCAPE

LADR
864 Queens Ave Unit 3,
Victoria, BC
V8T 1M5

tel: Chris Windjack
250-598-0105
email: cwindjack@ladkta.ca

ARBORIST

GYE&ASSOC
Suite #432, 108-800 Kelly Rd,
Victoria, BC
V9B 6J8

tel: Jeremy Gye
250-883-4533
email: jeremy@gyeandassociates.ca

15 NOV 24		ISSUED FOR DP	
Rev	Date	Description	
001	15 NOV 24	Issued for DP	A001
002	EDS	Issued for DP	RAW
003	1:100	Sheet Number	2361

NOTE: All dimensions are shown in millimeters

861 Esquimalt

861-865 Esquimalt Rd
Esquimalt BC

Data Summary

dHKa A001

dHKarchitects
Victoria
977 Fort Street V8V 3K3 T 1 - 250 - 658 - 3367
Nanaimo
102-5190 Dublin Way V9T 0H2 T 1 - 250 - 585 - 5810
COPYRIGHT: REPRODUCED THESE PLANS AND DESIGNS ARE AND ALL RIGHTS RESERVED.
THE PROPERTY OF: dHKARCHITECTS LTD. IS TO BE USED FOR THE PROJECT SHOWN AND
NOT BE REPRODUCED WITHOUT WRITTEN CONSENT.



1 Site Plan
A002 Scale: 1:200




	15 NOV 24	ISSUED FOR DP	
Rev	Date	Description	
plot date	15 NOV 24	drawing file	A002
drawn by	EDS	checked by	RAW
scale	1:200	project number	2361

NOTE: All dimensions are shown in millimeters.

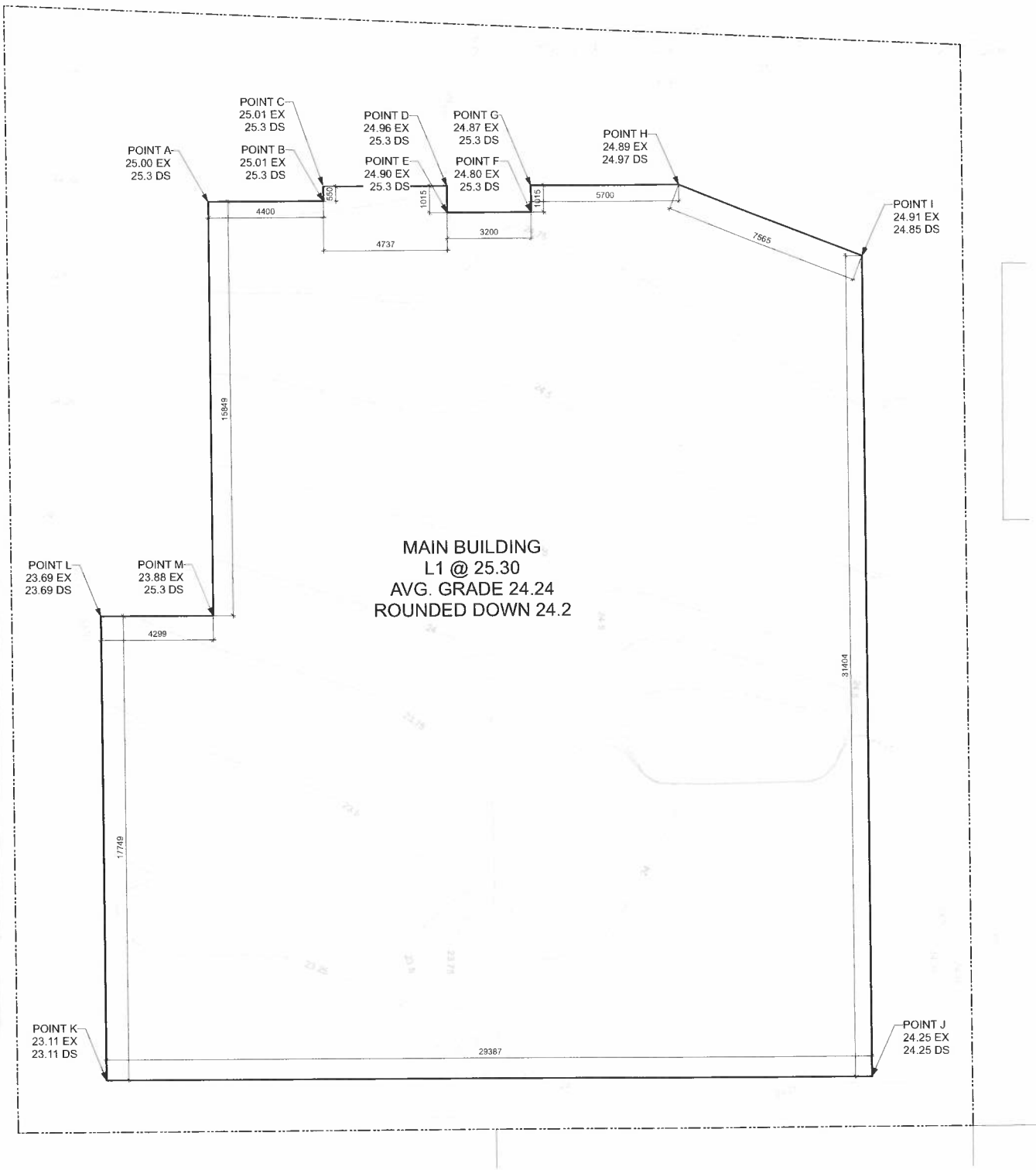
NOTE: All dimensions are shown in millimeters.

861 Esquimalt
861-865 Esquimalt Rd
Esquimalt BC
Site Plan

**A002**

dHKA architects
Victoria
977 Fort Street V8V 3K3 T 1 - 250 - 658 - 3367
Nanaimo
102-5190 Dublin Way V9T 0H2 T 1 - 250 - 585 - 5810

COPYRIGHT RESERVED: THESE PLANS AND DESIGN ARE AND ALL THEIR PARTS REMAIN THE PROPERTY OF dHKA ARCHITECTS. TO BE USED FOR THE PROJECT SHOWN AND MAY NOT BE REPRODUCED WITHOUT WRITTEN CONSENT.



AVERAGE GRADE CALCULATION (in meters)					
FAST BUILDING GRADE POINT	DISTANCE	START	END	AVERAGE	TOTAL
A-B	4.40	25.0	25.3	25.2	110.7
B-C	0.55	25.0	25.0	25.0	13.8
C-D	4.73	25.0	25.0	25.0	118.2
D-E	1.01	25.0	24.9	24.9	25.2
E-F	3.20	24.9	24.8	24.9	79.5
F-G	1.01	24.8	24.9	24.8	25.1
G-H	5.70	24.9	24.9	24.9	141.8
H-I	7.56	24.9	24.9	24.9	188.2
I-J	31.40	24.9	24.3	24.6	771.8
J-K	29.38	24.3	23.1	23.7	695.7
K-L	17.74	23.1	23.7	23.4	415.1
L-M	4.29	23.7	23.9	23.8	102.0
M-A	15.84	23.9	25.0	24.4	387.1
TOTAL	126.81				3,074.3
				AVERAGE GRADE	24.24

1
A003
Average Grade
Scale: 1:100



Rev	15 NOV 24	Issued for DP
Rev	15 NOV 24	Issued for A003
Rev	EDS	Issued for RAW
Rev	1:100	Issued for 2361

861 Esquimalt
861-865 Esquimalt Rd
Esquimalt BC
Average Grade



dHK Architects
Victoria
977 Fort Street V8V 3K3 T 1 - 250 - 658 - 3367
Nanaimo
102-5190 Dublin Way V9T 0H2 T 1 - 250 - 585 - 5810
Copyright Reserved: These plans and designs are not to be used for the project shown and may not be reproduced without written consent.

BC LAND SURVEYORS SITE PLAN OF:

Civic: 861 and 863 Esquimalt Road

**Legal Lots 9-10, Section 11,
Esquimalt District, Plan 265**

Parcel Identifier: 001-180-991 (Lot 9) and
015-233-227 (Lot 10)
in the Township of Esquimalt

SCALE 1 : 150



All distances are shown in metres.

Plot on 18" x 24" (Arch C) sheet.

LEGEND

Elevations are to geodetic datum.

- denotes - existing elevation
- + denotes - existing elevation on to of retaining wall
- MH - denotes - Manhole
- MHD - denotes - Manhole - Drain
- UP - denotes - Utility Pole
- WM - denotes - Water Meter

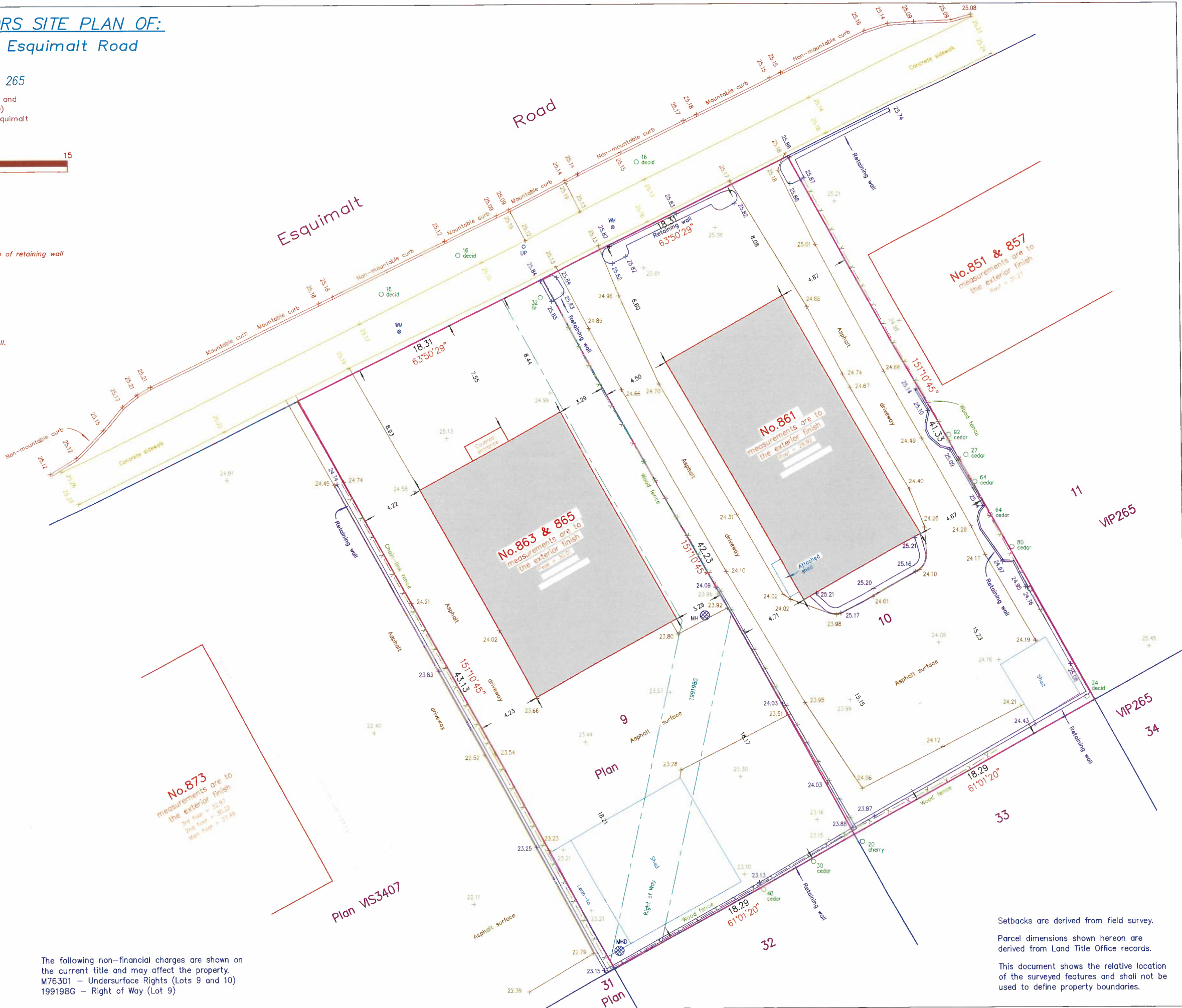
Tree diameters are in centimetres.

Shown retaining wall elevations are
measured at the top of the retaining wall.

Area (Lot 9) = 780.6 m²

Area (Lot 10) = 764.1 m²

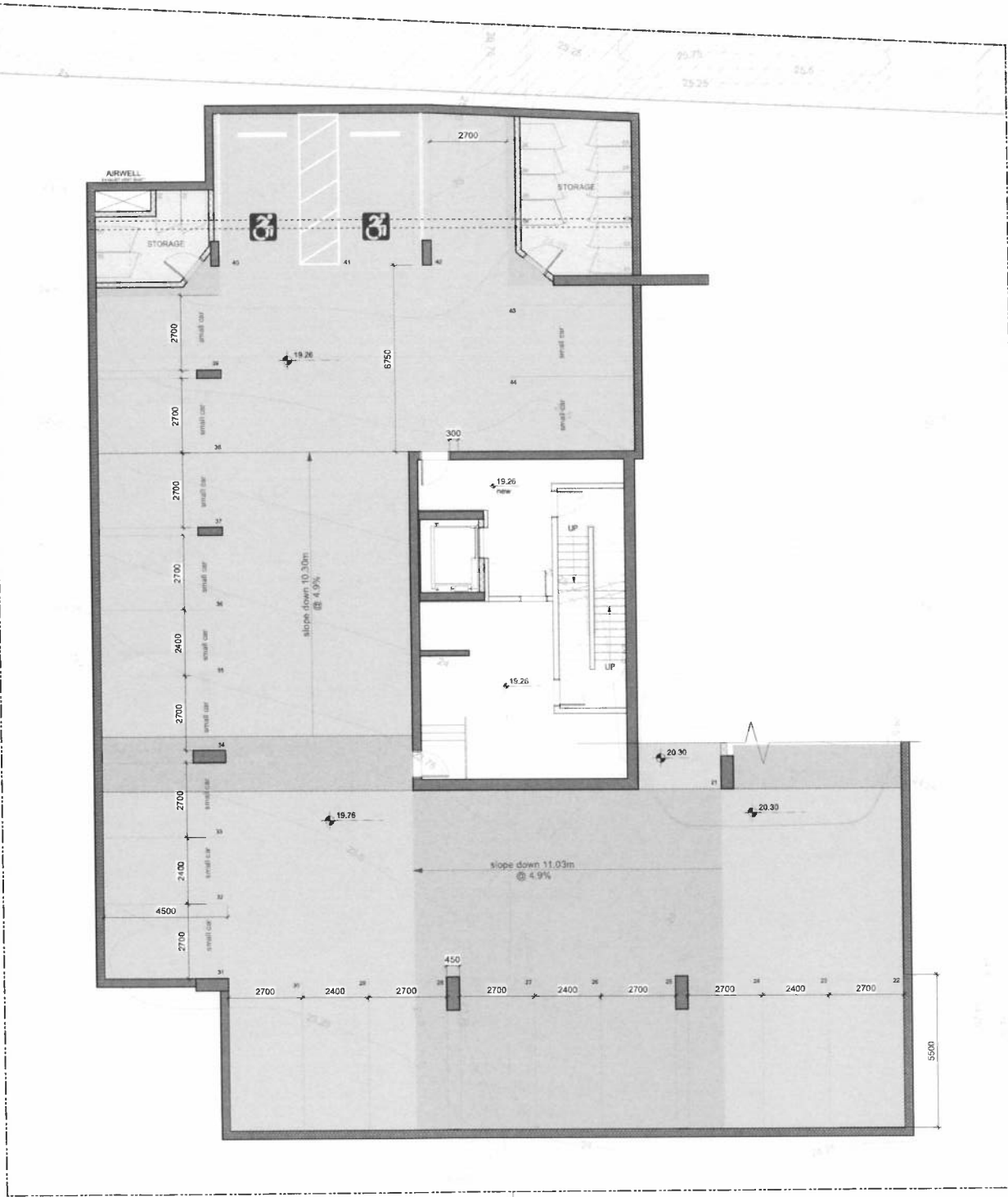
Total Site Area = 1544.7 m²



Date	June 26, 2019
Drawing	2991 SITE 861 ESQUIMALT
File	12991 - 18
POWELL & ASSOCIATES	
B C Land Surveyors	
250-2950 Douglas Street	
Victoria, BC V8T 4N4	
phone (250) 382-8855	

The following non-financial charges are shown on
the current title and may affect the property.
M76301 - Undersurface Rights (Lots 9 and 10)
199198G - Right of Way (Lot 9)

Setbacks are derived from field survey.
Parcel dimensions shown hereon are
derived from Land Title Office records.
This document shows the relative location
of the surveyed features and shall not be
used to define property boundaries.



1 Parking Plan
A101 Scale: 1:100

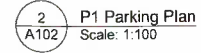
Development Data				
Site Area	16,627.15		FAR	(sq ft)
FAR (2.0)	1.9964		Main	620
Cover.	50%		Typical	6,515 32,575
Footprint	8,310		Total Area	33,195
Usable Open Space	1,247	7.5%		

Unit Mix									
Type	Area	Count	Actual %	L1	L2	L3	L4	L5	L6
Live-Work	620	1	1.7%	1	0	0	0	0	0
Studio	418	8	13.6%	0	2	2	2	2	0
1-Bed	480	15	47.5%	0	3	3	3	3	3
1-Bed Angle	505	8		0	2	2	2	2	0
1-Bed + Den	562	5		0	1	1	1	1	1
2-Bed	680	20	33.9%	0	4	4	4	4	4
3-Bed	923	2	3.4%	0	0	0	0	0	2
Total		59	100.0%	0	12	12	12	12	10

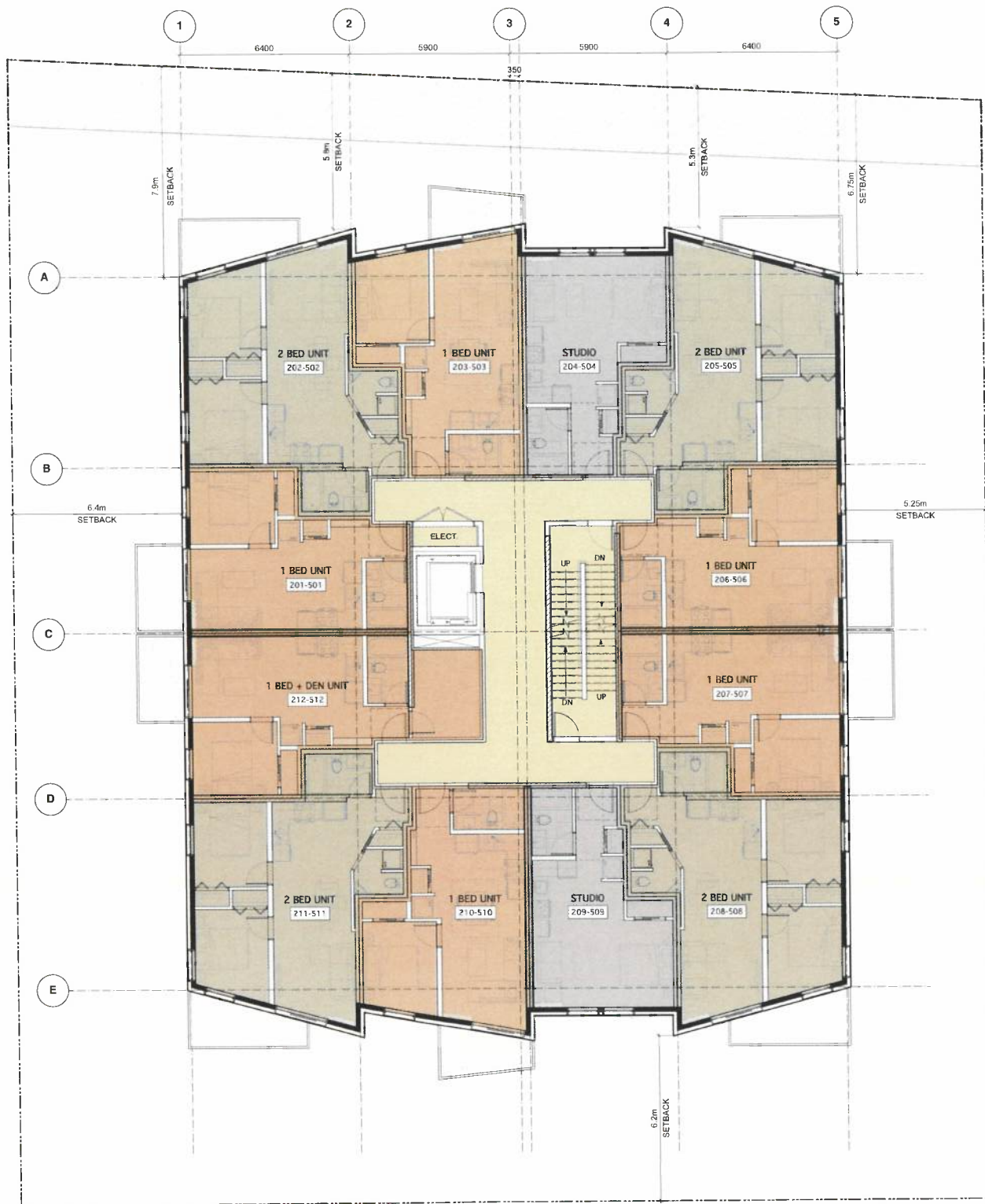
Parking Ratio				Bicycle Ratio			
				Long-Term			
Studio	0.5	8	4.0	1	8		
1-Bed	0.6	24	14.4	1	24		
1-Bed + Den	0.6	5	3.0	1	5		
2-Bed	0.8	20	16.0	1.5	30		
3-Bed	0.8	2	1.6	1.5	3		
Live-Work	1	1	1	1	1		
Total			40.0				
Car Share Reduction		5%	2.0	Short-Term			
Visitor p/ Unit		0.1	5.9	Res.	6 spaces		
Required			43.9	Comm.			
Provided			44	Required		77	
				Provided		78 +6	84

15 NOV 24	ISSUED FOR DP
Rev	Desc
15 NOV 24	drawing for A101
EDS	RAW
1:100	2361

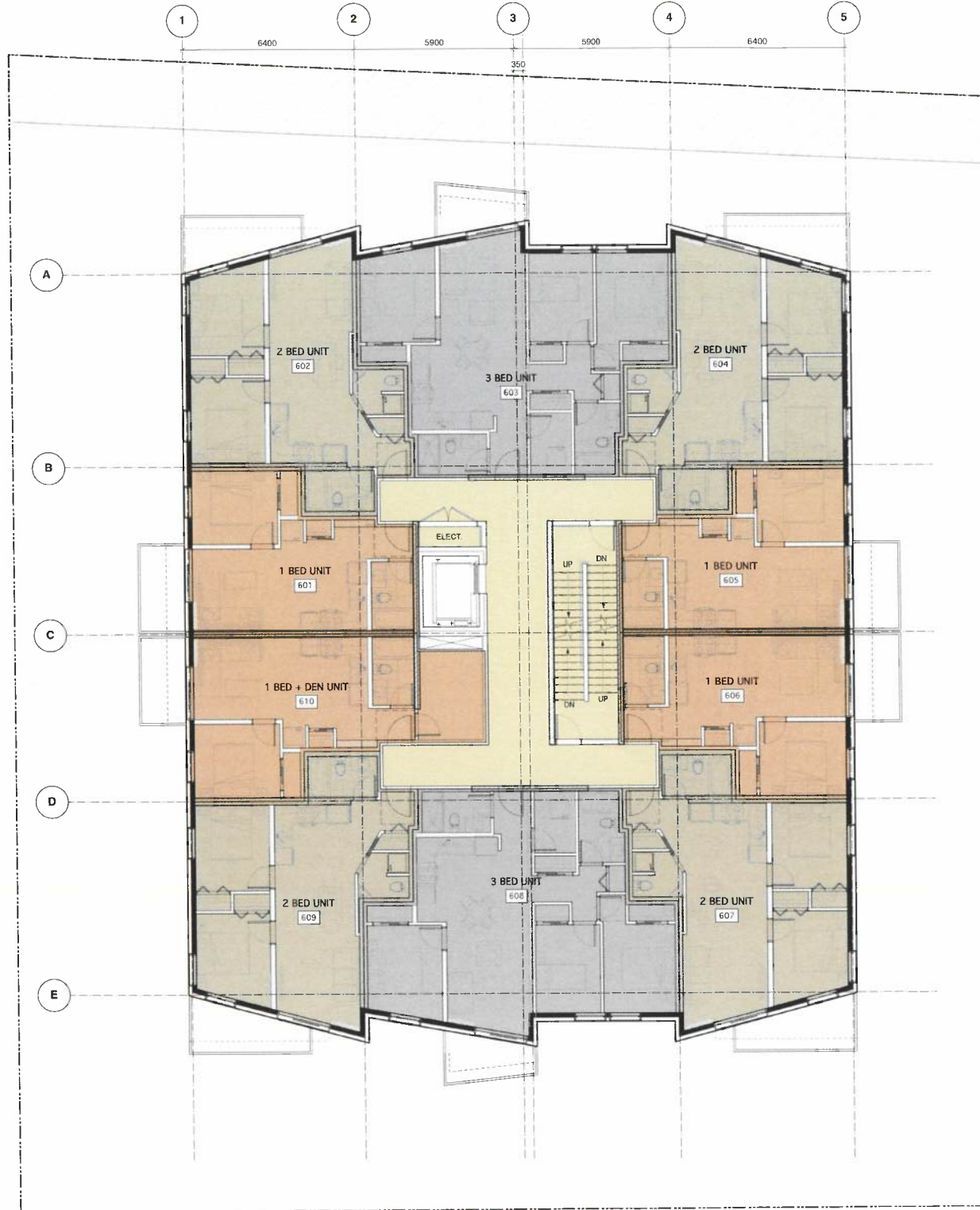
861 Esquimalt
861-865 Esquimalt Rd
Esquimalt BC
Parking Plan



861 Esquimalt
861-865 Esquimalt Rd
Esquimalt BC
Main & Parking Plan



1 Typical Floor (L2-L5)
A103 Scale: 1:100



2 Level 6
A103 Scale: 1:100

15 NOV 24	ISSUED FOR DP
15 NOV 24	15 NOV 24
EDS	EDS
1:100	2361

861 Esquimalt
861-865 Esquimalt Rd
Esquimalt BC
Floor Plans

dHKA A103

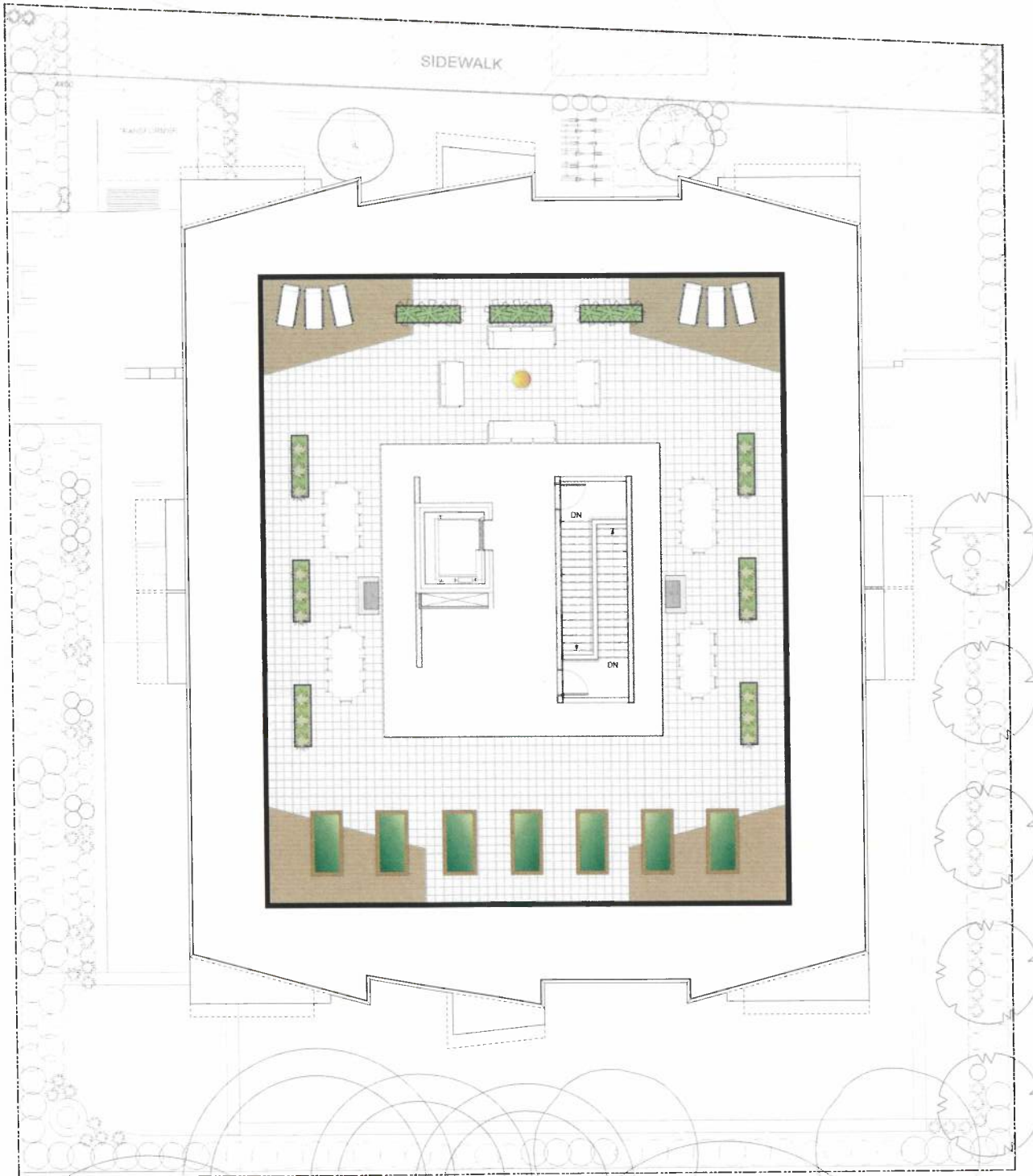
dHKA Architects
Victoria
977 Fort Street V8V 3K3 T 1 - 250 - 658 - 3367
Nanaimo
102-5190 Dublin Way V9T 0K2 T 1 - 250 - 585 - 5810
COPYRIGHT RESERVED: THESE PLANS AND DESIGN ARE AND ALL THEIR INHERENT
THE PROPERTY OF dHKA ARCHITECTS TO BE USED FOR THE PROJECT SHOWN AND
NOT BE REPRODUCED WITHOUT WRITTEN PERMISSION

ESQUIMALT ROAD

#M 1 PARKADE
ENTRANCE

BOULEVARD

SIDEWALK

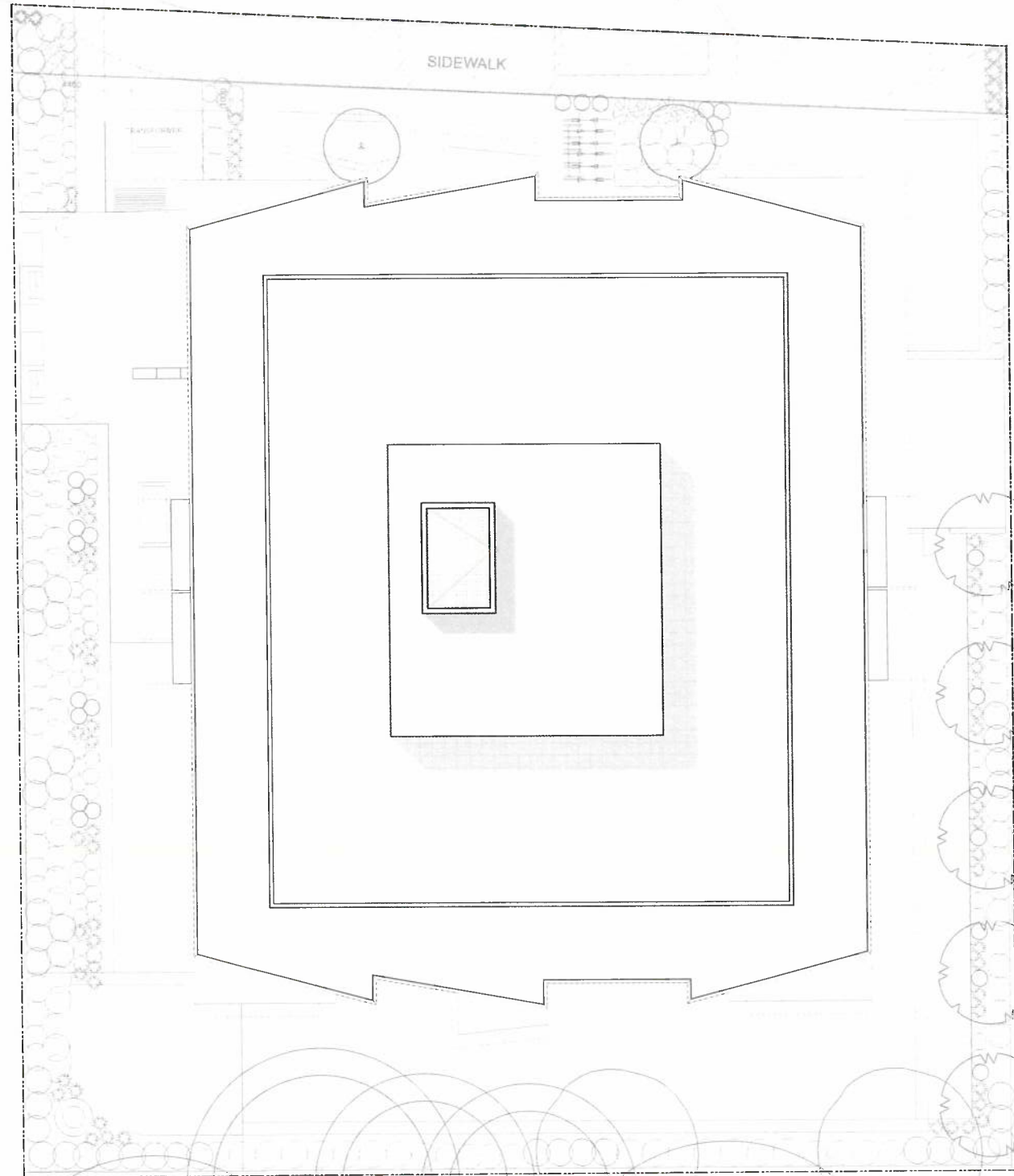


1
A104 Roof/ Amenity Plan
Scale: 1:100

#M 1 ENTRANCE

BOULEVARD

SIDEWALK



2
A104 Roof Plan
Scale: 1:100

Rev	15 NOV 24	Issued for DP
Date	15 NOV 24	Drawing No.
Drawn by	EDS	2361
Scale	1:100	Sheet Number
NOTE:	All dimensions are shown in millimeters.	

861 Esquimalt
861-865 Esquimalt Rd
Esquimalt BC
Roof Plans

dHka A104

dHka Architects
Victoria
977 Fort Street V8V 3K3 T 1-250-658-3367
Nanaimo
102-5190 Dublin Way V9T 0H2 T 1-250-585-5810
COPYRIGHT: ALL RIGHTS RESERVED. NO PART OF THIS DOCUMENT MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT PERMISSION IN WRITING FROM dHka ARCHITECTS.



1
A105
2 BED UNIT
Scale: 1:50



2
A105
3 BED UNIT
Scale: 1:50



3
A105
LIVE-WORK UNIT
Scale: 1:50



4
A105
STUDIO
Scale: 1:50

Rev	15 NOV 24	ISSUED FOR DP
15 NOV 24	15 NOV 24	15 NOV 24
EDS	EDS	EDS
1:50	1:50	1:50
2361	2361	2361

861 Esquimalt
861-865 Esquimalt Rd
Esquimalt BC
Unit Layout



1
A106 1 BED UNIT
Scale: 1:50



2
A106 1 BED UNIT
Scale: 1:50



3
A106 1 BED + DEN UNIT
Scale: 1:50

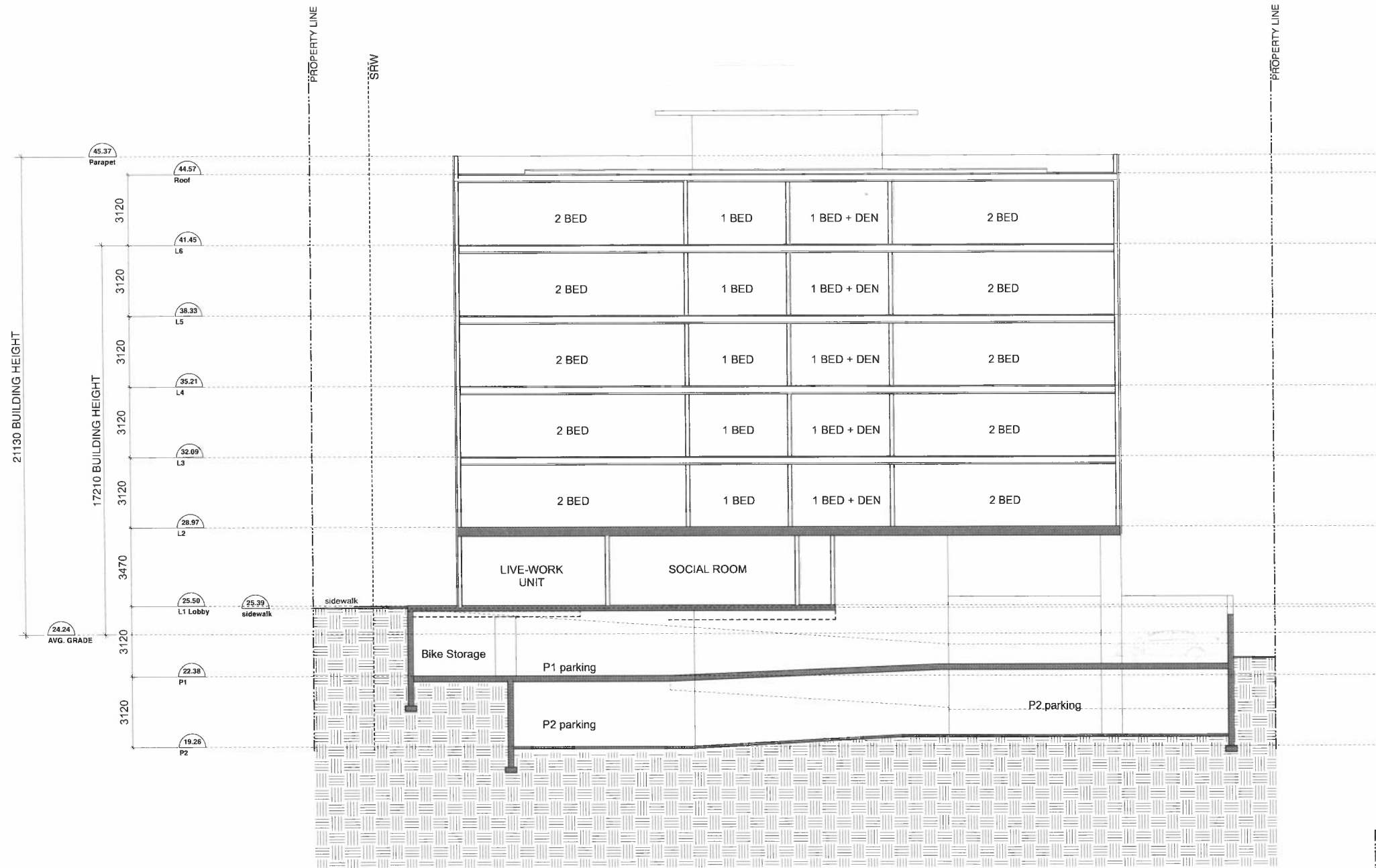
Rev	15 NOV 24	Description	ISSUED FOR DP
proj date	15 NOV 24	drawing no	A106
drawn by	EDS	checked by	RAW
scale	1:50	print number	2361

NOTE: All dimensions are shown in millimeters.

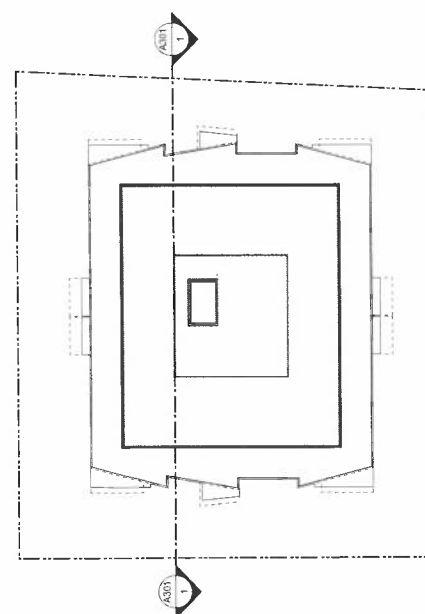
861 Esquimalt
861-865 Esquimalt Rd
Esquimalt BC
Unit Layout



dHka
Victoria
977 Fort Street V8V 3K3 T 1 - 250 - 658 - 3367
Nanaimo
102-5190 Dublin Way V9T 0H2 T 1 - 250 - 585 - 5810
COPYRIGHT RESERVED. THESE PLANNING DESIGNS ARE AND AT ALL TIMES REMAIN THE PROPERTY OF dHka ARCHITECTS TO BE USED FOR THE PROJECT SHOWN AND MAY NOT BE REPRODUCED WITHOUT WRITTEN CONSENT.

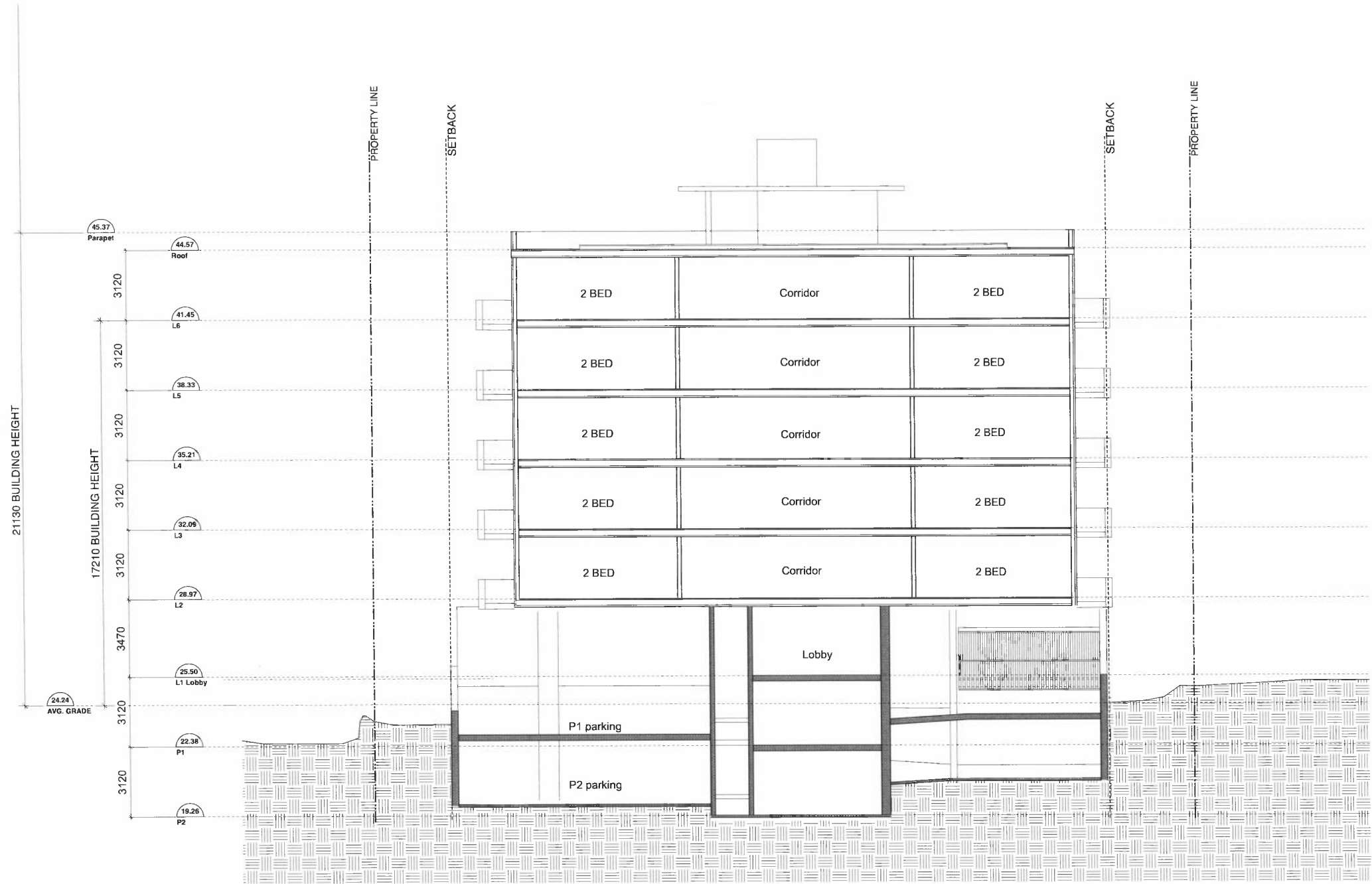


1 Section A
A301 Scale: 1:100

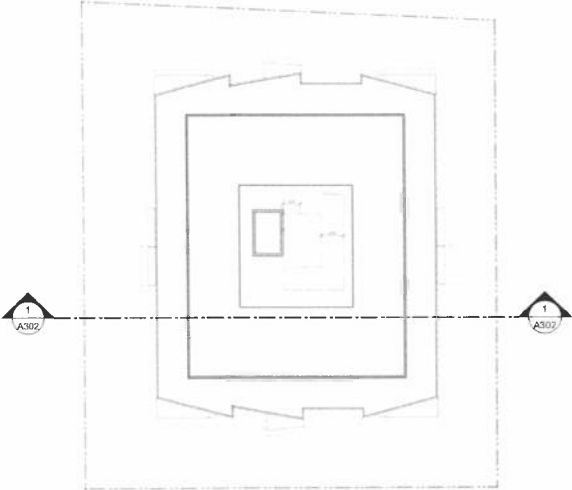


Rev	15 NOV 24	Issued for DP
1	15 NOV 24	Issued for DP
2	15 NOV 24	Issued for DP
3	15 NOV 24	Issued for DP
4	15 NOV 24	Issued for DP
5	15 NOV 24	Issued for DP
6	15 NOV 24	Issued for DP
7	15 NOV 24	Issued for DP
8	15 NOV 24	Issued for DP
9	15 NOV 24	Issued for DP
10	15 NOV 24	Issued for DP
11	15 NOV 24	Issued for DP
12	15 NOV 24	Issued for DP
13	15 NOV 24	Issued for DP
14	15 NOV 24	Issued for DP
15	15 NOV 24	Issued for DP
16	15 NOV 24	Issued for DP
17	15 NOV 24	Issued for DP
18	15 NOV 24	Issued for DP
19	15 NOV 24	Issued for DP
20	15 NOV 24	Issued for DP
21	15 NOV 24	Issued for DP
22	15 NOV 24	Issued for DP
23	15 NOV 24	Issued for DP
24	15 NOV 24	Issued for DP
25	15 NOV 24	Issued for DP
26	15 NOV 24	Issued for DP
27	15 NOV 24	Issued for DP
28	15 NOV 24	Issued for DP
29	15 NOV 24	Issued for DP
30	15 NOV 24	Issued for DP
31	15 NOV 24	Issued for DP
32	15 NOV 24	Issued for DP
33	15 NOV 24	Issued for DP
34	15 NOV 24	Issued for DP
35	15 NOV 24	Issued for DP
36	15 NOV 24	Issued for DP
37	15 NOV 24	Issued for DP
38	15 NOV 24	Issued for DP
39	15 NOV 24	Issued for DP
40	15 NOV 24	Issued for DP
41	15 NOV 24	Issued for DP
42	15 NOV 24	Issued for DP
43	15 NOV 24	Issued for DP
44	15 NOV 24	Issued for DP
45	15 NOV 24	Issued for DP
46	15 NOV 24	Issued for DP
47	15 NOV 24	Issued for DP
48	15 NOV 24	Issued for DP
49	15 NOV 24	Issued for DP
50	15 NOV 24	Issued for DP
51	15 NOV 24	Issued for DP
52	15 NOV 24	Issued for DP
53	15 NOV 24	Issued for DP
54	15 NOV 24	Issued for DP
55	15 NOV 24	Issued for DP
56	15 NOV 24	Issued for DP
57	15 NOV 24	Issued for DP
58	15 NOV 24	Issued for DP
59	15 NOV 24	Issued for DP
60	15 NOV 24	Issued for DP
61	15 NOV 24	Issued for DP
62	15 NOV 24	Issued for DP
63	15 NOV 24	Issued for DP
64	15 NOV 24	Issued for DP
65	15 NOV 24	Issued for DP
66	15 NOV 24	Issued for DP
67	15 NOV 24	Issued for DP
68	15 NOV 24	Issued for DP
69	15 NOV 24	Issued for DP
70	15 NOV 24	Issued for DP
71	15 NOV 24	Issued for DP
72	15 NOV 24	Issued for DP
73	15 NOV 24	Issued for DP
74	15 NOV 24	Issued for DP
75	15 NOV 24	Issued for DP
76	15 NOV 24	Issued for DP
77	15 NOV 24	Issued for DP
78	15 NOV 24	Issued for DP
79	15 NOV 24	Issued for DP
80	15 NOV 24	Issued for DP
81	15 NOV 24	Issued for DP
82	15 NOV 24	Issued for DP
83	15 NOV 24	Issued for DP
84	15 NOV 24	Issued for DP
85	15 NOV 24	Issued for DP
86	15 NOV 24	Issued for DP
87	15 NOV 24	Issued for DP
88	15 NOV 24	Issued for DP
89	15 NOV 24	Issued for DP
90	15 NOV 24	Issued for DP
91	15 NOV 24	Issued for DP
92	15 NOV 24	Issued for DP
93	15 NOV 24	Issued for DP
94	15 NOV 24	Issued for DP
95	15 NOV 24	Issued for DP
96	15 NOV 24	Issued for DP
97	15 NOV 24	Issued for DP
98	15 NOV 24	Issued for DP
99	15 NOV 24	Issued for DP
100	15 NOV 24	Issued for DP

861-865 Esquimalt
861-865 Esquimalt
Esquimalt BC
Section A



1 Section B
A302 Scale: 1:100

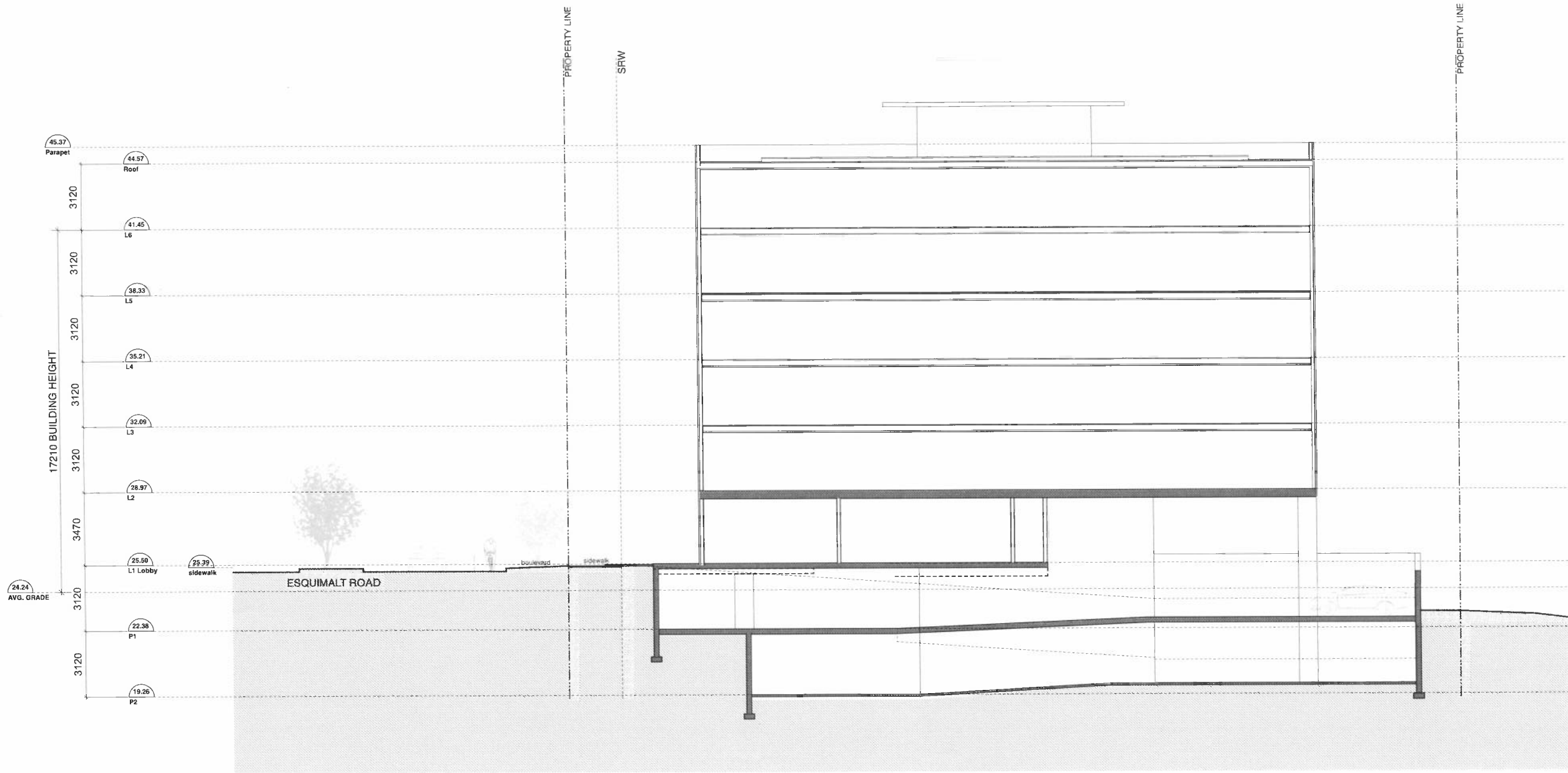


Rev.	15 NOV 24	Issue	15 NOV 24	Drawn by	EDS	Checked by	RAW	Scale	1:100	Project number	2361
NOTE: All dimensions are shown in millimeters.											

861-865 Esquimalt
861-865 Esquimalt
Esquimalt BC
Section B

dHka A302

dHka Architects
Victoria
977 Fort Street V8V 3K3 T 1 - 250 - 658 - 3367
Nanaimo
102-5190 Dublin Way V9T 0H2 T 1 - 250 - 585 - 5810
COPYRIGHT RESERVED. THESE PLANS AND DRAWINGS ARE VALID AT ALL TIMES. NO PART OF THIS DOCUMENT IS TO BE USED FOR THE PROJECT SHOWN AND MAY NOT BE REPRODUCED WITHOUT WRITTEN CONSENT.



1 Site Section
A303 Scale: 1:100

Rev	Date	Description	Issued For
1	15 NOV 24	drawing for	A303
2	15 NOV 24	EDS	RAW
3	1:100	project number	2361

NOTE: All dimensions are shown in millimeters.

861-865 Esquimalt
861-865 Esquimalt
Esquimalt BC
Site Section

dHka A303

dHka Architects
Victoria
977 Fort Street V8V 3K3 T 1 - 250 - 658 - 3367
Nanaimo
102-5190 Dublin Way V9T 0H2 T 1 - 250 - 585 - 5810
COPYRIGHT dHka Architects. THIS DRAWING IS THE PROPERTY OF dHka Architects. IT IS NOT TO BE REPRODUCED OR USED FOR ANY OTHER PROJECT WITHOUT THE WRITTEN CONSENT OF dHka Architects.



1
A401 North Elevation
Scale: 1:100



2
A401 West Elevation
Scale: 1:100

MATERIALS SCHEDULE

- 1 VERTICAL SIDING (METAL OR FIBER CEMENT)
- 2 PREFINISHED METAL FLASHING
- 3 WOOD TONE CLADDING
- 4 ARCHITECTURAL CONCRETE
- 5 PERFORATED POWDER COATED ALUMINUM
- 6 PREFINISHED GUARD RAIL - METAL & GLASS
- 7 VINYL WINDOWS AND DOORS
- 8 WOOD TONE SOFFIT
- 9 WOOD FENCE/ SLAT FENCE PANEL

Rev	Date	Description	Issued For DP
1	15 NOV 24	15 NOV 24	A401
2	EDS	EDS	RAW
3	1:100	2361	

NOTE: All dimensions are shown in millimeters.

861-865 Esquimalt

861-865 Esquimalt
Esquimalt BC

Elevations

dHka A401

dHka Architects
Victoria
977 Fort Street V8V 3K3 T 1 - 250 - 658 - 3367
Nanaimo
102-5190 Dublin Way V9T 0H2 T 1 - 250 - 585 - 5810
Copyright reserved. These plans and designs are for use in all M&B HUMAN
LIVE PROPERTY OF dHka ARCHITECTS TO BE USED FOR THE PROJECT SHOWN AND
NOT BE REPRODUCED WITHOUT WRITTEN CONSENT



4 South Elevation
A402 Scale: 1:100

	15 NOV 24	ISSUED FOR DP	
Rev	Date	Description	
plan date	15 NOV 24	drawing file	A402
drawn by	EDS	checked by	RAW
scale	1:100	project number	2361

NOTE: All dimensions are shown in millimeters

dH₂O A402

dHKAarchitects
Victoria
 977 Fort Street V8V 3K3 T 1 • 250 • 658 • 3367
Nanaimo
 102-5190 Dublin Way V9T 0H2 T 1 • 250 • 585 • 5810

COPYRIGHT RESERVED. THESE PLANS AND DESIGNS ARE, AT ALL TIMES, REMAIN THE PROPERTY OF dHKAARCHITECTS TO BE USED ONLY FOR THE PROJECT SHOWN AND MAY NOT BE REPRODUCED WITHOUT WRITTEN CONSENT.



1 Streetscape
A403 Scale: 1:150

15 NOV 24		ISSUED FOR DP
Rev	Date	Description
1	15 NOV 24	drawing file
drawn by	EDS	checked by RAW
scale	1:150	sheet number 2361

NOTE: All dimensions are shown in millimeters

861-865 Esquimalt
861-865 Esquimalt
Esquimalt BC
Streetscape



A403

dHKA architects
Victoria
977 Fort Street V8V 3K3 T 1 - 250 - 658 - 3367
Nanaimo
102-5190 Dublin Way V9T 0H2 T 1 - 250 - 585 - 5810
COPYRIGHT RESERVED. THESE PLANS ARE DESIGNED AND ALL RIGHTS REMAIN THE PROPERTY OF dHKA ARCHITECTS. TO BE USED FOR THE PROJECT SHOWN AND MAY NOT BE REPRODUCED WITHOUT WRITTEN CONSENT.



15 NOV 24		ISSUED FOR DP	
Rev	Date	Description	
plot date	15 NOV 24	drawing file	A404
drawn by	EDS	checked by	RAW
scale	1:50	project number	2361

NOTE: All dimensions are shown in millimeters.

861-865 Esquimalt
861-865 Esquimalt
Esquimalt BC
Perspectives

A404

dHKAarchitects
Victoria
 977 Fort Street V8V 3K3 T 1-250-658-3367
Nanaimo
 102-5190 Dublin Way V9T 0H2 T 1-250-585-5810

COPYRIGHT RESERVED. THESE PLANS AND DETAILS ARE AND AT ALL TIMES WILL REMAIN THE PROPERTY OF dHKAarchitects TO BE USED FOR THE PROJECT SHOWN AND MAY NOT BE REPRODUCED WITHOUT WRITTEN CONSENT.



Rev	15 NOV 24	Date	Drawn by	ISSUED FOR DP
Rev	15 NOV 24	Date	Drawn by	A405
Drawn by	EDS	Drawn by	RAW	
Scale	n/a	Sheet number	2361	

NOTE: All dimensions are shown in millimeters

861-865 Esquimalt
861-865 Esquimalt
Esquimalt BC
Perspectives

dhKa A405

dhKarchitects
Victoria
977 Fort Street V8V 3K3 T 1 - 250 - 658 - 3367
Nanaimo
102-5190 Dublin Way V9T 0H2 T 1 - 250 - 585 - 5810
COPYRIGHT RESERVED THESE PLANS AND DESIGNS ARE AND ALL RIGHTS REMAIN THE PROPERTY OF dhKARCHITECTS TO BE USED FOR THE PROJECT SHOWN AND MAY NOT BE REPRODUCED IN ANY MANNER WITHOUT CONSENT



- MATERIALS SCHEDULE
- 1 VERTICAL SIDING (METAL OR FIBER CEMENT)
 - 2 PREFINISHED METAL FLASHING
 - 3 WOOD TONE CLADDING
 - 4 ARCHITECTURAL CONCRETE
 - 5 PERFORATED POWDER COATED ALUMINUM
 - 6 PREFINISHED GUARD RAIL - METAL & GLASS
 - 7 VINYL WINDOWS AND DOORS
 - 8 WOOD TONE SOFFIT
 - 9 WOOD FENCE / SLAT FENCE PANEL



15 NOV 24	ISSUED FOR DP
Rev	Drawn by
15 NOV 24	drawing by
EDS	checked by
1:50	project number
2361	

861-865 Esquimalt
861-865 Esquimalt
Esquimalt BC
Material Board

dHkA A406

dHkArchitects
Victoria
977 Fort Street V8V 3K3 T 1 - 250 - 658 - 3367
Nanaimo
102-5190 Dublin Way V9T 0H2 T 1 - 250 - 585 - 5810
COPYRIGHT RESERVED. THESE PLANS AND DESIGNS ARE AND AT ALL TIMES REMAIN
THE PROPERTY OF dHkARCHITECTS. NO REUSE FOR THE PROJECT, EXCEPT AND
MAY NOT BE REPRODUCED WITHOUT WRITTEN CONSENT.



	15 NOV 24	ISSUED FOR DP	
Rev	Date	Description	
issued on	15 NOV 24	drawing file	A407
drawn by	EDS	checked by	RAW
scale	1:100	project number	2361

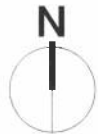
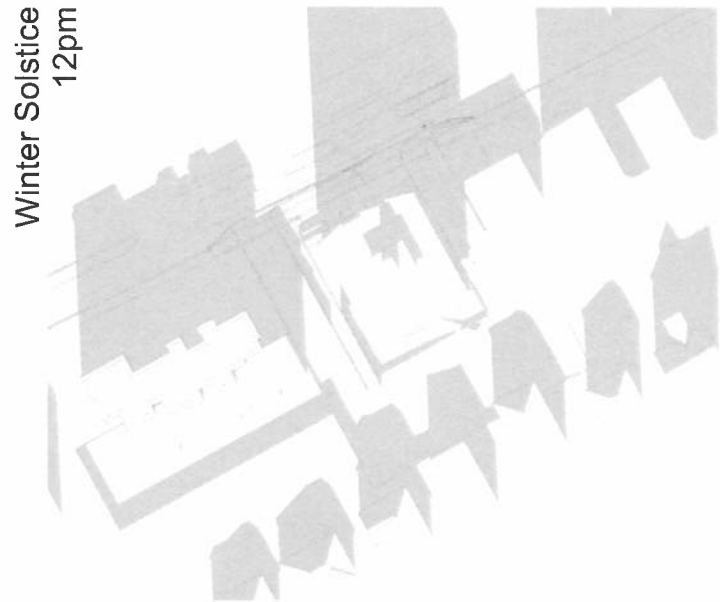
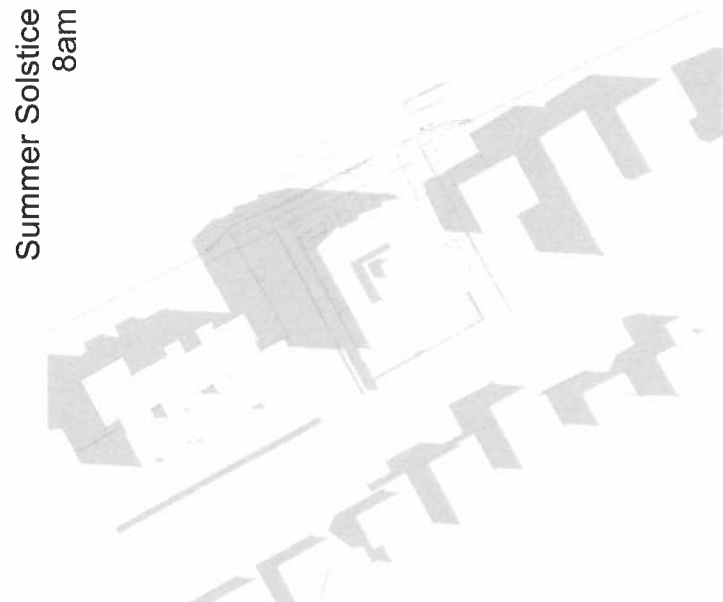
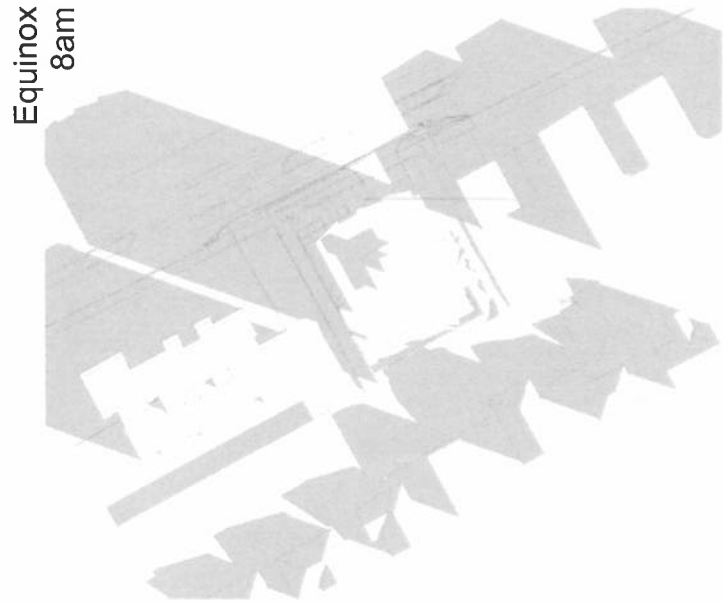
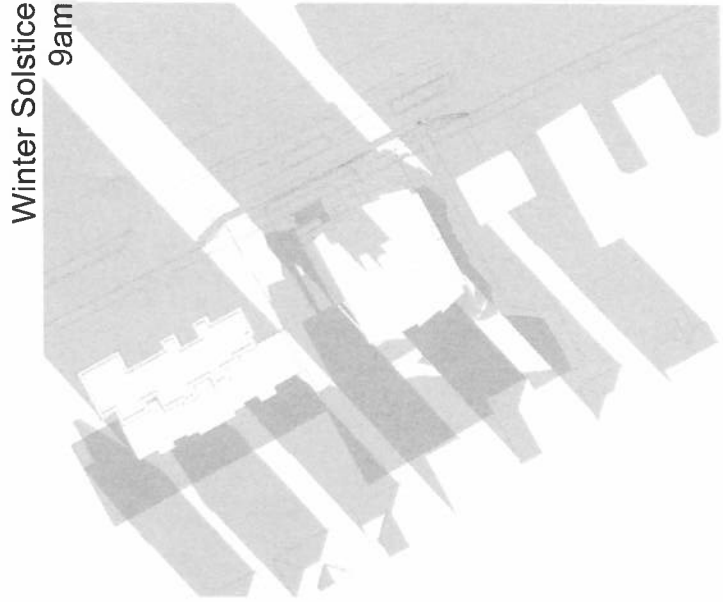
NOTE: All dimensions are shown in millimeters.

861 Esquimalt
861-865 Esquimalt Rd
Esquimalt BC
Building Context

A407

dHKarchitects
Victoria
 977 Fort Street V8V 3K3 T 1-250-658-3367
Nanaimo
 102-5190 Dublin Way V9T 0H2 T 1-250-585-5810

COPYRIGHT RESERVED: THESE PLANS AND DESIGN ARE, AT ALL TIMES, REMAIN THE PROPERTY OF dHKARCHITECTS, TO BE USED FOR THE PROJECT SHOWN AND MAY NOT BE REPRODUCED WITHOUT WRITTEN CONSENT.



A501

861 Esquimalt

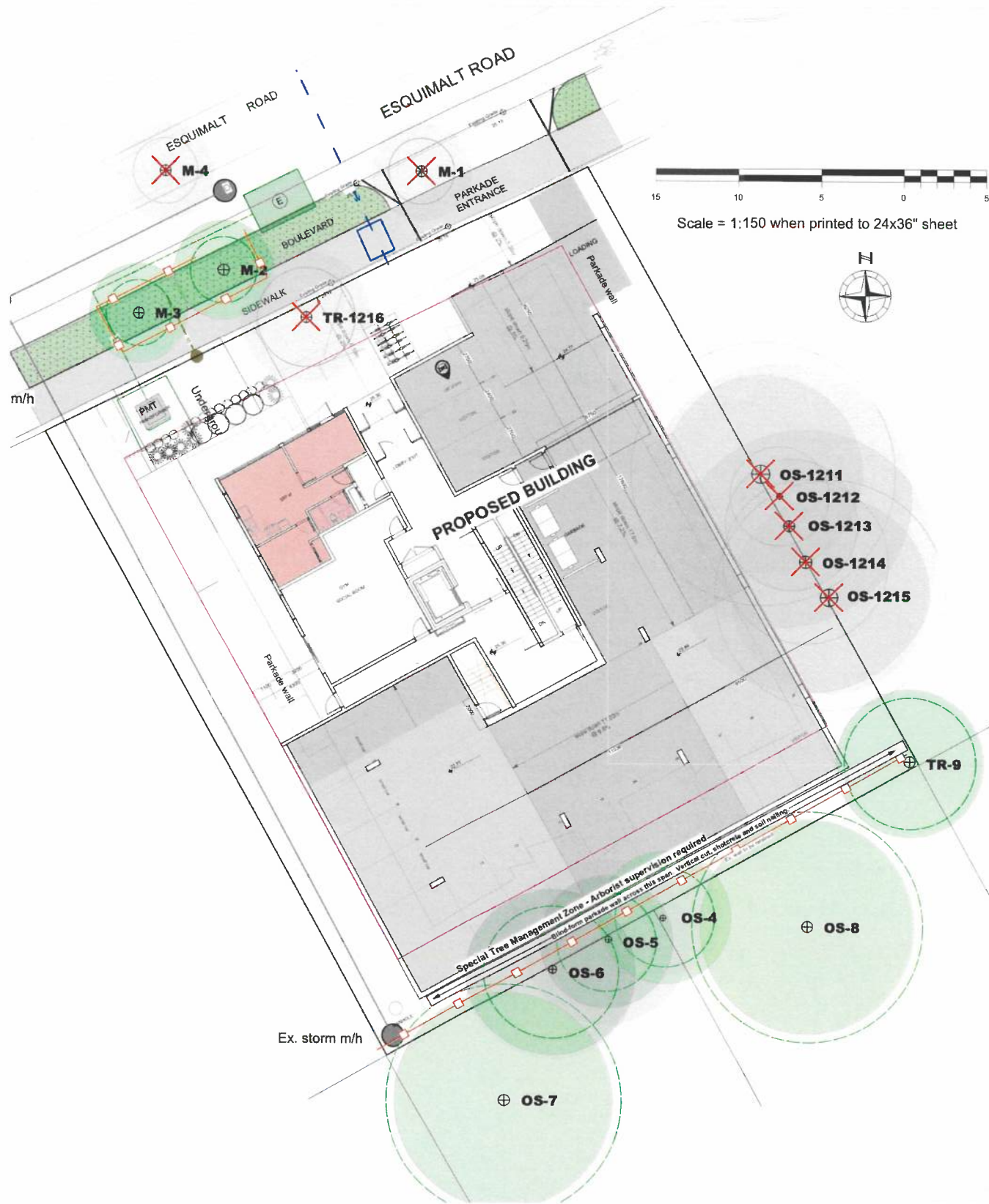
861-865 Esquimalt Rd
Esquimalt BC

Shadow Study

15 NOV 24		ISSUED FOR DP	
Rev	Date	Description	
001	15 NOV 24	Issued for DP	A501
Drawn by	EDS	Checked by	RAW
Scale	1/8"	Project Number	2361

NOTE: All dimensions are shown in millimeters

dHka Architects
Victoria
877 Fort Street V8V 3K3
Nanaimo
102-5190 Dublin Way V9T 0H2
T 1 - 250 - 658 - 3367
T 1 - 250 - 585 - 5810
COPYRIGHT RESERVED: THESE PLANS AND DESIGNS ARE AND ALL RIGHTS REMAIN THE PROPERTY OF dHka ARCHITECTS. TO BE USED FOR THE PROJECT SHOWN AND MAY NOT BE REPRODUCED WITHOUT WRITTEN CONSENT.



TREE PRESERVATION MEASURES

1. **Site meeting to review Tree Plan:** Before demolition and site preparation begin, the owner and contractor shall meet with the arborist to review the placement of fencing and other tree protection measures within this plan.
- a) The Project Arborist shall clearly mark the boundaries of all areas to be fenced and protected.
- b) Access routes and areas for trade parking and materials storage will be identified with the contractor.
2. **Tree Fencing:**
- a) Tree protection fencing shall be installed to the City of Esquimalt standards at the locations indicated on this drawing prior to demolition or building permit being issued (see fencing detail on plan).
- b) Tree protection fencing and arbouring shall be maintained in good condition throughout the duration of the project.
- c) Requests to temporarily remove or move tree fencing must be reviewed by the project arborist for approval.
3. **Soil armouring:** If it is not possible to fence the entire PRZ, the unprotected portion of the PRZ shall be armoured with 3/4" plywood or a temporary cover of geo-textile and 200mm of road-base, moderately compacted with a plate compactor. (See drawing for recommended soil armouring locations.)
4. **Tree Management Plan posting:**
- a) A full-sized weather-proof copy of this tree plan shall be posted in plain sight in the site office.
- b) The general contractor shall ensure that all relevant sub-trades are familiar with the drawing and tree protection measures.
5. **Site servicing and excavations:**
- a) The project arborist shall be present to oversee excavation, service trenching, stump removal, site grading or blasting within, or adjacent to, the tree protection areas (TPAs).
- b) The vertical face of excavated cuts within or adjacent to TPAs shall be securely covered with 6mil plastic sheeting reinforced with wire mesh.
6. **Mulching and irrigation of vulnerable trees:** Off-site Trees OS-4, OS-5 and OS-6 and Municipal Tree M-1 will require remedial care during the dry season (April 1 - Nov 1). Apply top dressing of tree chip mulch (100mm) and irrigate bi-weekly to an effective depth of 300mm.
7. **Root & branch pruning and protection:**
- a) Any tree roots or branches damaged during site work shall be pruned back to undamaged tissue by the arborist.
- b) The vertical face of excavated cuts adjacent to the TPAs shall be securely covered with non-permeable fabric by the project arborist to prevent soil desiccation and erosion.
8. **Temporary access:** If temporary access is required within a tree protection area (TPA), the contractor shall notify the project arborist in advance and review the access requirements and any additional protective measures prescribed by the arborist.
9. **Off-site Tree Removals:** A letter of authorization shall be obtained by the applicant from the neighbouring land owner(s) for any off-site tree removals and their associated replacements, as required by bylaw, on the neighbour's property. Tree replacements must be sited on the property associated with the corresponding tree removal.
10. **Replacement trees:**
- a) 11 replacement-trees are required to mitigate the loss of six protected trees: four protected boundary trees and two protected municipal trees (see Tree Inventory Table below for details). Proposed tree types, sizes and locations are provided in the Landscape Plan prepared by LADR Landscape Architects. Tree types, sizes, soil volumes and planting off-sets from built elements, utilities and other infrastructure shall conform with the City's tree bylaw.
- b) In addition to replacements for the two municipal trees proposed for removal, the Township's arborist shall appraise the value of the existing trees, which will form the basis for a fee to be charged to the applicant to contribute to the Township's Tree Replacement and Maintenance Reserve.

SUMMARY TREE STATISTICS	
CATEGORY	# OF TREES
Total number of trees indicated on Tree Management Plan	16
(Boulevard Trees)	4
(Adjacent Off-site and Boundary Trees)	10
(On-site Inventoried Unprotected Trees)	1
(On-site Bylaw-Protected Trees)	1
Proposed protected tree removals:	
On-site tree	0
Boundary trees with adjoining private property	4
Municipal boulevard trees	2
Replacement Trees Required by Tree Bylaw	11

TREE INVENTORY TABLE

G&A Tree ID	Common Name	Botanical Name	DBH (cm)	CRZr (m)	Crown Spread (m)	Tree Height (m)	Structural Condition	Health	Location/Ownership	Retention Suitability	Construction Tolerance	Bylaw protected?	Comments	Action	Replacement Trees req'd
TR 9	Plum	<i>Prunus sp.</i>	35	5	10	13	Fair	Good	On-site	Poor	Low	Yes	Multi-stemmed tree; screening function; out of the way.	Retain and protect	n/a
TR 1216	White spruce	<i>Picea glauca</i>	29	3	8	15	Good	Good	On-site	Good	Moderate	No		Remove	n/a
M 1	Oyama Magnolia	<i>Magnolia sieboldii</i>	16	2	6	7	Good	Good	Municipal tree	Good	Low	Yes	Conflicts with parkade entrance	Remove	1
M 2	Oyama magnolia	<i>Magnolia sieboldii</i>	15	2	6	7	Good	Good	Municipal tree	Good	Low	Yes	Between curb and sidewalk	Retain and protect	n/a
M 3	Oyama magnolia	<i>Magnolia sieboldii</i>	15	2	6	7	Good	Good	Municipal tree	Good	Low	Yes	Between curb and sidewalk	Retain and protect	n/a
M 4	Maple (Norway?)	<i>Acer sp. (platanoides?)</i>	20	3	8	7	Good	Good	Municipal tree	Good	Moderate	Yes	Median tree - remove to facilitate access to site	Remove	1
OS 4	Flowering cherry	<i>Prunus sp.</i>	20	3	10	13	Poor	Poor	Private off-site	Poor	Moderate	No	Low quality specimen	Retain and protect	n/a
OS 5	Red cedar	<i>Thuja plicata</i>	28	3	10	16	Good	Good	Private off-site	Good	Low	Yes		Retain and protect	n/a
OS 6	Red cedar	<i>Thuja plicata</i>	35	4	10	16	Good	Good	Private off-site	Good	Low	Yes		Retain and protect	n/a
OS 7	Garry oak	<i>Quercus garryana</i>	75	7	14	27	Good	Good	Private off-site	Good	High	Yes	High quality specimen. Tree located by arborist.	Retain and protect	n/a
OS 8	Garry oak	<i>Quercus garryana</i>	65	7	14	30	Fair	Fair	Private off-site	Good	High	Yes	Tree located by arborist.	Retain and protect	n/a
OS 1211	Leyland cypress	<i>Cupressus x leylandii</i>	85	8	12	30	Fair	Good	Private off-site	Good	High	Yes	On top of shared, poor condition retaining wall.	Remove	3
OS 1212	Leyland cypress	<i>Cupressus x leylandii</i>	25	3	8	15	Poor	Poor	Private off-site	Poor	High	No	Suppressed by adjacent trees, On top of shared, poor condition retaining wall.	Remove	n/a
OS 1213	Leyland cypress	<i>Cupressus x leylandii</i>	45	4	14	30	Fair	Good	Private off-site	Good	High	Yes	On top of shared, poor condition retaining wall.	Remove	1
OS 1214	Leyland cypress	<i>Cupressus x leylandii</i>	50	5	16	30	Fair	Good	Private off-site	Good	High	Yes	On top of shared, poor condition retaining wall.	Remove	2
OS 1215	Leyland cypress	<i>Cupressus x leylandii</i>	70	7	12	30	Fair	Good	Private off-site	Good	High	Yes	On top of shared, poor condition retaining wall.	Remove	3

Note: Off-site trees have been plotted in their approximate locations by the arborist.

TREE PROTECTION FENCING SIGNAGE

(Signs shall be 16x24" and made to sustain all weather conditions)



Tree Protection Fencing Detail

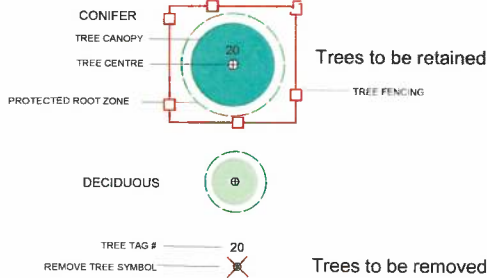
Modular steel panel fencing is recommended in order to reduce land-fill waste post-construction. Fencing panels shall be secured to the ground with rebar wired to panel frame.

16 x 24" all-weather signage will be attached with the following wording:
For protected trees: DO NOT ENTER - Tree Protection Zone
For replacement/landscape tree planting sites: DO NOT ENTER - Future Tree Planting Zone

In cases where steel-panel fencing is not practical or available, fencing shall be constructed with a wooden 2x4 frame (side, top and bottom rails) and back-bracing supports as required to ensure robust placement. Snow-fencing will then be affixed to the frame using battens, zip-ties, staples, wire or nails.



LEGEND



GyeandAssociates.ca

PROJECT
761 - 865 Esquimalt Rd,
Esquimalt, BC

SHEET TITLE
Tree Management Plan for
RZ & DPA

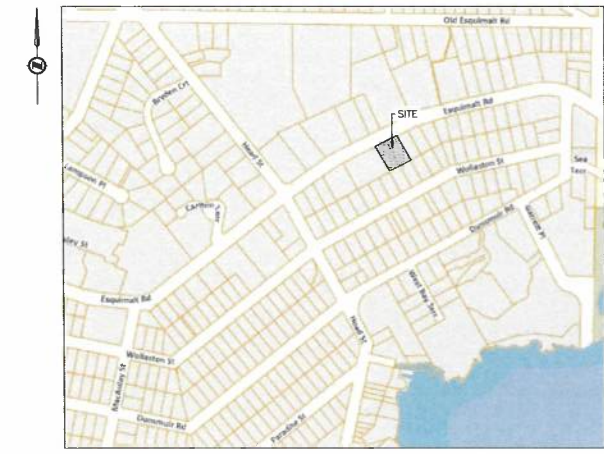
REV NO	DESCRIPTION	DATE
4	REVISION	Mar 14, 2024
3	REVISION	June 24, 2022
2	REVISION	Apr 6, 2022
1	REVISION	Feb 10, 2022

PROJECT NO 21-020
DATE June 8, 2021
SCALE 1:150
DRAWN BY LM & JG
SHEET NO T - 1

SCALED TO PRINT ON 24 x 36" SHEET



- SHEET NOTES:**
- DRAIN**
- EXISTING STORM DRAIN TO BE REMOVED TO FACILITATE PROPOSED BUILDING. EXISTING STORM DRAIN SRW TO BE RELEASED.
 - PROPOSED 200mm PVC STORM DRAIN COMPLETE WITH MANHOLES TO BE DESIGNED/INSTALLED BY OTHERS. PROPOSED 3.4m STORM DRAIN SRW REQUIRED ON SITE.
 - PROPOSED STORM DRAIN CONNECTION COMPLETE WITH INSPECTION CHAMBER AT PROPERTY LINE TO BE DESIGNED/INSTALLED BY OTHERS. SIZE TO BE CONFIRMED AT BUILDING PERMIT PHASE.
 - EXISTING CATCH BASINS TO BE REMOVED AS REQUIRED.
 - PROPOSED STORMWATER MANAGEMENT SYSTEM AS PER TOWN OF ESQUIMALT STANDARDS. DETAILS AND CALCULATIONS TO BE CONFIRMED AT BUILDING PERMIT STAGE.
- SANITARY**
- TOWN OF ESQUIMALT CREWS TO INSTALL PROPOSED SANITARY SERVICE CONNECTION. SIZE TO BE DETERMINED AT BUILDING PERMIT PHASE.
 - TOWN OF ESQUIMALT CREWS TO CAP AND ABANDON EXISTING SANITARY SERVICE AT DEVELOPERS EXPENSE.
- WATER**
- CITY OF VICTORIA CREWS TO INSTALL PROPOSED DOMESTIC AND FIRE SERVICE AND VAULT SIZES TO BE DETERMINED AT BUILDING PERMIT PHASE.
 - CITY OF VICTORIA CREWS TO CAP AND ABANDON EXISTING WATER SERVICE AT DEVELOPERS EXPENSE.
- UTILITIES**
- PROPOSED HYDRO PMT LOCATION.
- ROAD**
- CONTRACTOR TO REMOVE EXISTING FRONTAGE AND REPLACE WITH 2.2m BIKE LANE COMPLETE WITH CONCRETE BARRIER BUFFER AS REQUIRED, NON-MOUNTABLE CURB AND GUTTER, BOULEVARD, AND 2.5m SIDEWALK.
 - EXISTING MEDIAN AND TREE TO BE REMOVED TO FACILITATE ACCESS INTO SITE.
 - CONTRACTOR TO CONSTRUCT 9.0m WIDE 'TYPE B' DRIVEWAY AS PER TOWN OF ESQUIMALT SPECIFICATIONS. DESIGN TO BE CONFIRMED AT BUILDING PERMIT STAGE.
 - CONTRACTOR TO REINSTATE 7.0m DRIVEWAY AT 873 ESQUIMALT ROAD AS PER TOWN OF ESQUIMALT SPECIFICATIONS.



KEY PLAN
NTS

LEGAL DESCRIPTION: LOTS 0-11, SECTION 11, ESQUIMALT DISTRICT, PLAN 265

BENCHMARK: MONUMENT 64H0172
ELEV: 24.720m

861 & 865 ESQUIMALT RD
FOR CO-ORDINATION
PRELIMINARY SERVICING

Scale
horiz 1:200 Scale 1:40
vert
Sheet 1 of 1
Eng. Project No. 33496

JEA J E ANDERSON & ASSOCIATES
SURVEYORS - ENGINEERS
VICTORIA NANAIMO PARKSVILLE CAMPBELL RIVER
PHONE 250-727-2214 info@jeanderson.com



ISSUED FOR DEVELOPMENT PERMIT