

# CORPORATION OF THE TOWNSHIP OF ESQUIMALT

## Development Variance Permit

**NO. DVP00105**

**Owners:** LIDA Developments Inc., Inc. No. BC1210238

**Lands:** PID 030-922-852; Lot A, Section 10, Esquimalt District,  
Plan EPP96394

**Address:** 955 Colville Road, Esquimalt, BC

### Conditions:

1. This Development Variance Permit is issued subject to compliance with all of the bylaws of the Municipality applicable thereto, except as specifically varied or supplemented by this Permit.
2. This Development Variance Permit regulates the development of lands by varying the provisions of Zoning Bylaw, 1992, No. 2050 as follows:

Section 22 (2) Fences and Retaining Walls: to reduce the required height to horizontal separation ratio to allow the 1.5 metre walls to exist less than 3 metres apart [i.e. from 1:2 ratio to 1:0.40].

Section 67.99 (12)(a) Retaining Walls: A 0.5 metre increase to the permitted height of a retaining wall, provided they are located within 4.3 metres of the Rear Lot Line [i.e. from 1.5 metres to 2.0 metres].

3. Approval of this Development Permit is issued in accordance with the survey plan prepared by Summit Land Surveying, the Engineering drawings by Farhill Engineering Ltd., and consistent with the architectural plans provided by T-Square Design, all stamped "Received June, 3, 2020", attached hereto as Schedule 'A'.
4. The terms, conditions and covenants contained herein shall enure to the benefit of and be binding upon the Owners, their executors, heirs or administrators, successors and assigns as the case may be or their successors to title in the lands.

5. This Permit lapses two (2) years after the date it is issued if the holder of the Permit does not substantially start any construction with respect to which the Permit was issued.
  
6. For the purposes of this Development Variance Permit, the holder of the Permit shall be the owner(s) of the lands.

APPROVED BY MUNICIPAL COUNCIL RESOLUTION ON THE \_\_\_\_  
DAY OF \_\_\_\_\_, 2020.

ISSUED BY THE DIRECTOR OF DEVELOPMENT SERVICES THIS \_\_\_\_  
DAY OF \_\_\_\_\_, 2020.

\_\_\_\_\_  
Director of Development Services

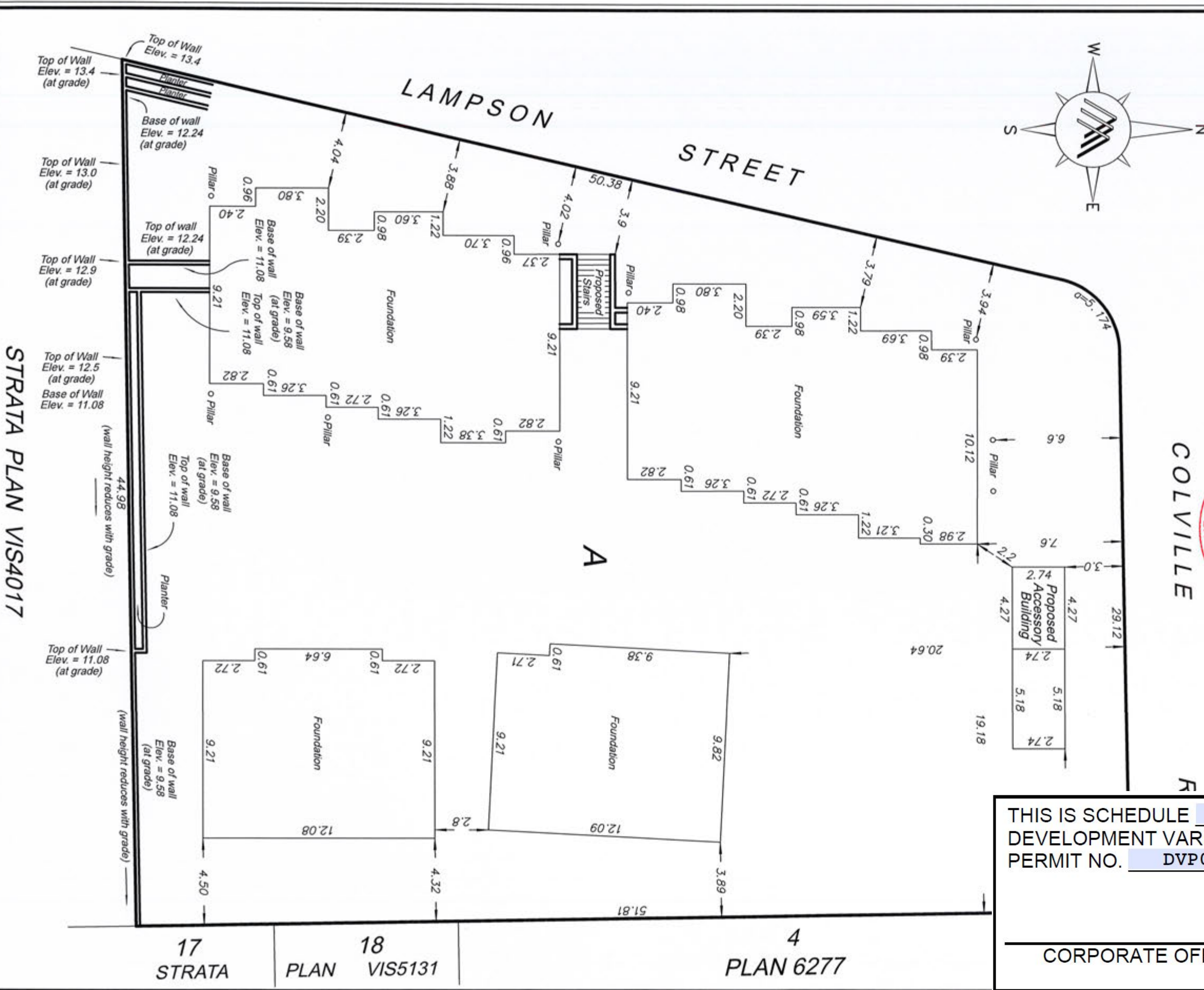
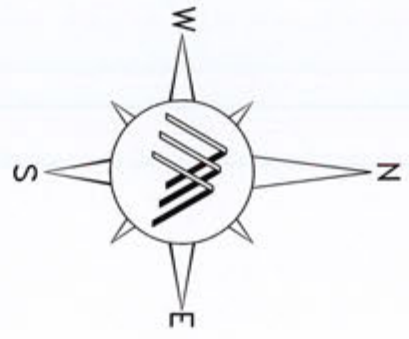
\_\_\_\_\_  
Corporate Officer  
Corporation of the Township  
of Esquimalt

**SITE PLAN OF PROPOSED STAIR, WALL & ACCESSORY BUILDING LOCATION UPON LOT A, SECTION 10, ESQUIMALT DISTRICT, PLAN EPP96394.**

PID: 030-922-852



NOTE:  
The parcel is subject to Covenant CA7332537.  
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THIS IS SCHEDULE **A** OF  
DEVELOPMENT VARIANCE  
PERMIT NO. **DVP00105**

CORPORATE OFFICER



Summit Land Surveying  
Operated by Apex Land Surveying Ltd.  
#101-630 Goldstream Avenue  
Victoria B.C. V9B 2W8  
Telephone 250.391.6708  
www.summitsurveying.ca

File: 22-RJ-WALL Date: June 1, 2020

STRATA PLAN VIS4017

17 STRATA

18 PLAN VIS5131

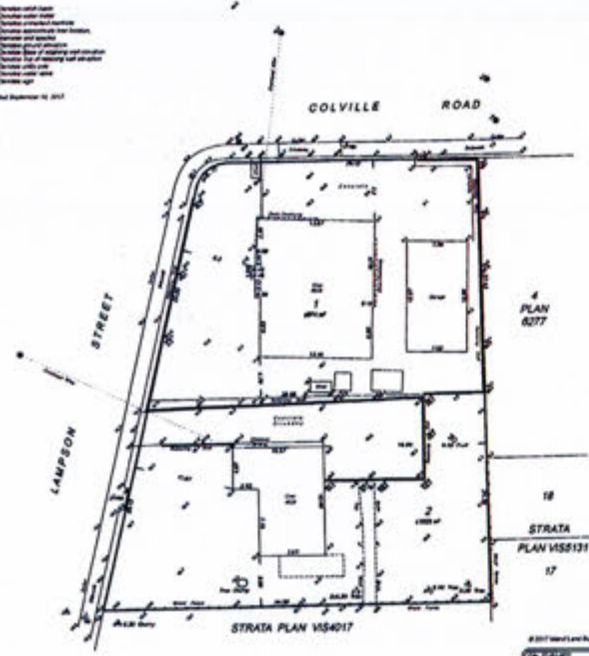
4 PLAN 6277

**SITE PLAN OF LOTS 1 & 2, BLOCK 1, SECTION 10, ESQUIMALT DISTRICT, PLAN 6277**

1. All dimensions are in meters unless otherwise stated.  
 2. The owner is responsible for obtaining all necessary permits.  
 3. The contractor shall verify all dimensions on site and report any discrepancies to the designer immediately.  
 4. The designer shall not be responsible for any errors or omissions on the drawings.  
 5. The drawings shall be used for the construction of the building only and shall not be used for any other purpose.

**NOTES**  
 1. The drawings shall be used for the construction of the building only and shall not be used for any other purpose.  
 2. The contractor shall verify all dimensions on site and report any discrepancies to the designer immediately.  
 3. The designer shall not be responsible for any errors or omissions on the drawings.  
 4. The drawings shall be used for the construction of the building only and shall not be used for any other purpose.

Revised: 02/02/2020



**LOT INFORMATION:**

CIVIC ADDRESS	939 COLVILLE ROAD
PROPOSED ZONING	COMPREHENSIVE DEVELOPMENT
TOTAL LOT AREA	1997.00 sq.m.
ALLOWABLE LOT COVERAGE	(RM-3) 499.25 sq.m.
PROPOSED LOT COVERAGE	204.24 sq.m.
BLDG A	200.76 sq.m.
BLDG B	127.56 sq.m.
BLDG C	130.16 sq.m.
BLDG D	25.98 sq.m.
ELECTRICAL	25.98 sq.m.
TOTAL PROPOSED LOT COVERAGE	32.68%
ALLOWABLE F.A.R	(RM-3) 1397.90 sq.m.
PROPOSED F.A.R	392.68 sq.m.
BLDG A	355.50 sq.m.
BLDG B	280.70 sq.m.
BLDG C	280.75 sq.m.
BLDG D	280.75 sq.m.
TOTAL F.A.R	1309.63 sq.m.
ALLOWABLE HEIGHT	(RM-3) 9.0 m
PROPOSED HEIGHT	8.07 m
BLDG A	7.24 m
BLDG B	8.84 m
BLDG C	8.54 m
BLDG D	2.91 m
ELECTRICAL	2.91 m
<b>ELEVATIONS:</b>	
GARAGES	9.58 m
LOWER FLOOR	9.78 m
MAIN FLOOR	12.44 m
ELECTRICAL	2.91 m
AVERAGE GRADE	
BLDG A	10.815 m
BLDG B	11.67 m
BLDG C	9.875 m
BLDG D	10.275 m
ELECTRICAL	9.77 m

THIS IS SCHEDULE **A** OF DEVELOPMENT VARIANCE PERMIT NO. **DVP00105**

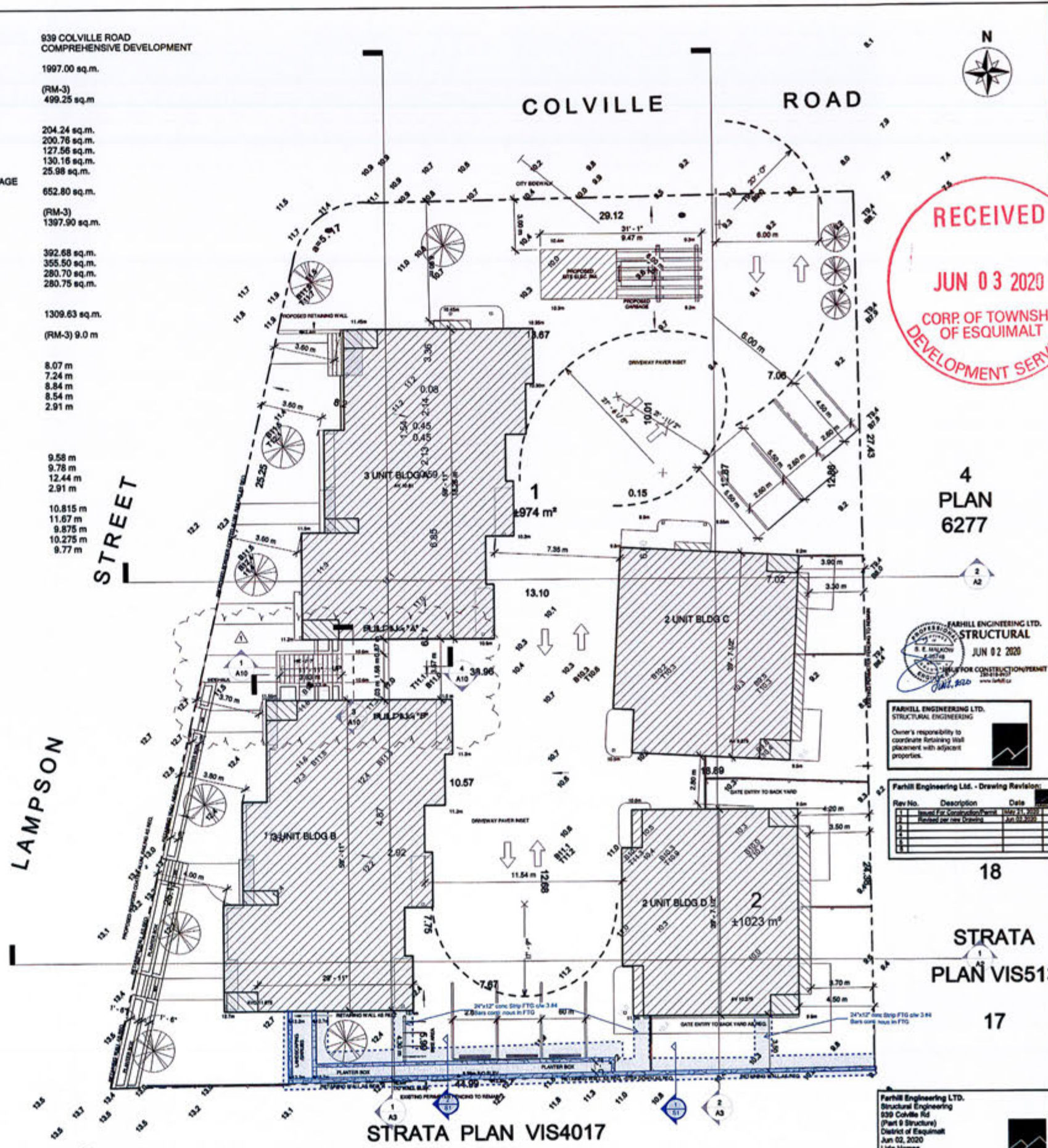
CORPORATE OFFICER

**General Notes**  
 Dimensions provided shall take precedence over words. Contractor to verify all dimensions of Building Designer and Consultant drawings prior to work commencement.  
 Any discrepancies are to be reported immediately. Any verbal observations on the plans that exceed the requirements stated in the general notes shall be reported in writing.  
 Prior to any alterations or modifications of plans or details on site, Contractor(s), subcontractor(s), or tradesperson(s) must obtain the Building Designer's written Building Code requirements and to maintain accuracy and completeness of the plans.  
 All references to the "British Columbia Building Code" (B.C.B.C.) are its current edition or published version thereof, as approved by referendum order by the Province of British Columbia. Any reference to a dated edition or version to be deemed for the equivalent requirement in the most current edition. All work shall comply with the current edition of the "British Columbia Building Code", the rules and contents of their instructions to be assessed by other tradespersons, well equipped and adequately supervised.  
 Before and/or Contractor to confirm all aspects of siting and placement of structures on lot. Designer not responsible for placement. In the event that proposed site or existing structures do not conform to the requirements of the B.C. Building Code as amended, any necessary and such services are for the owner's account.  
 All materials to be of best quality, complying with the applicable sections of the current C.S.A., C.I.A., and B.C.C.A. standards. All materials shall be used exactly according to manufacturers' printed directions, where not inconsistent with the specifications. All materials shall be tested and approved by the Building Designer.  
 Structural Engineering and other manufacturing drawings to be provided and used in accordance with the drawings.

**SITE NOTES & SPECIFICATIONS**  
 THE FINAL POSITIONING OF THIS BUILDING ON LOT TO BE THE RESPONSIBILITY OF THE CONTRACTOR. BEFORE STARTING CONSTRUCTION OF THE BUILDING THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS ON THESE DRAWINGS AND IF ANY DISCREPANCIES ARE FOUND THEY ARE TO BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE DESIGNER.

AT NO TIME SHALL THE CONTRACTOR SCALL OFF THESE DRAWINGS BUT SHALL BUILD TO DIMENSIONS SHOWN ONLY AFTER VERIFICATION. ANY DIVIATIONS FROM THE DRAWINGS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. ALL TRADES TO WORK TO THEIR LATEST RESPECTIVE CODES AND BY-LAWS.

1 Site Plan DWG  
 1" = 10'-0"



RECEIVED  
 JUN 03 2020  
 CORP. OF TOWNSHIP OF ESQUIMALT DEVELOPMENT SERVICES

4 PLAN 6277

FARHILL ENGINEERING LTD.  
 STRUCTURAL  
 JUN 02 2020  
 REGISTERED FOR CONSTRUCTION PERMIT

FARHILL ENGINEERING LTD.  
 STRUCTURAL ENGINEERING  
 Owner's responsibility to coordinate siting and placement with adjacent properties.

Rev No.	Description	Date
1	Issued for Construction Permit	15/05/2020
2	Revised per City Comments	17/05/2020

18 STRATA PLAN VIS51:

17

STRATA PLAN VIS4017

FARHILL ENGINEERING LTD.  
 Structural Engineering  
 939 Colville Rd  
 (Part 9 Structure)  
 District of Esquimalt  
 Jun 02, 2020  
 Little Homes  
 Farhill File No.: 31033

T-SQUARE design + consulting  
 T-Square Design  
 T-Square Design  
 2900 Lakhurst Drive  
 Victoria, BC, V8W 4S5  
 250-361-6411  
 design@tsquare.ca

NOTES:  
 1. All drawings, plans, sections, specifications and other documents prepared by T-Square Design "TSD" and approved by the City of Esquimalt are the property of TSD and shall remain the property of TSD whether the work is completed or not, and TSD reserves the right to reuse the drawings and specifications in any other work.  
 2. It is the responsibility of the Contractor to verify all dimensions, elevations, and site conditions on site prior to the start of construction. The Contractor shall verify the dimensions of the existing and proposed structures, and the dimensions of the site, and report any discrepancies to the designer immediately.  
 3. The Contractor shall verify the dimensions of the existing and proposed structures, and the dimensions of the site, and report any discrepancies to the designer immediately.  
 4. The Contractor shall verify the dimensions of the existing and proposed structures, and the dimensions of the site, and report any discrepancies to the designer immediately.

Proposed Residence for:  
**Mr. Ryan Jabs**  
 939 Colville Road, Victoria, BC

DATE: 05/04/2020  
 DRAWN BY: ASJ  
 JOB #: ASJ-\*\*\*  
 SHEET: **A1**  
 SHEET 01 OF 01

**General:**

- The page must accompany plans for the project which have been submitted for a building permit. These notes apply unless noted otherwise on the drawings.
- Farhill Engineering Ltd. has been retained to provide structural engineering services as set forth on Building Code Schedule B.
- All construction and materials to conform to the Building Code of British Columbia 2018.
- It is the client's responsibility to ensure that the engineer is informed when the various aspects of the project are ready for review. Please provide at least 24 hours notice.

**Scope of work:**

- Items Not Covered by Farhill Engineering Ltd.**
- Some elements and components may need professional design by other professionals. This may or may not involve structural design and review. This retains the responsibility of the contractor or owner to arrange and complete. Unless noted otherwise Farhill Engineering Ltd. is only responsible for the design of the primary structure.
  - Farhill Engineering Ltd. is not responsible and does not provide design or review for the following items:
    - Concrete Slab on grade including but not limited to, sidewalks, driveways, garage floor slabs or basement floor slabs except the portion shown in the design.
    - Interior or exterior back framing
    - Exterior Siding
    - Interior Siding
    - Retaining Walls Not Attached to Structure
    - Architectural details including masonry veneer
    - Cladding, glazing, integrated window mullions
    - Interior non-load bearing partition walls and all finishes including drywall and suspended ceilings
    - Brick or Stone veneers and their attachments
    - Chimneys
  - Farhill Engineering Ltd. provides structural engineering services only and does not take any responsibility for Building Code compliance particularly in residential design where a building envelope engineer may not be retained. Farhill Engineering Ltd. recommends that in all cases a qualified Building Envelope Engineer be retained for design of the building envelope system and details. Any references made to components associated with building envelope to best practice only should be completed with design provided by a qualified building envelope engineer. In the case of any discrepancy between the structural components and building envelope a Building Envelope engineer shall be retained.

**Concrete:**

- Footings and Foundation**
- All concrete to meet CSA A23.1 and A23.2 requirements
  - The engineer must be contacted at least 24 hours prior to pouring to allow for inspection of the cribbing and reinforcement for concrete footings, suspended slabs and foundation walls.
  - Floor joist are not considered to provide lateral support for walls unless explicitly noted by engineer.
  - See Farhill Engineering foundation details for stair placement and coverage. If the required detail is not shown please contact the engineer.
  - Typical Concrete Mixes**
    - Footings - 25Mpa - 18mm Aggregate - 0.55(max) water ratio - 4-7% Air - 80mmx30 Slump - F2
    - Floor Slabs - 25Mpa - 18mm Aggregate - 0.55(max) water ratio - 4-7% Air - 80mmx30 Slump - F2
    - Bas Slabs - 25Mpa - 18mm Aggregate - 0.55(max) water ratio - 4-7% Air - 80mmx30 Slump - F2,C1
  - Reinforcing Steel to be Grade 400 (400MPa) Metric or Grade 60 Imperial Reinforcing bars to CSA G30.18.**  
Cover as follows
    - Cast against or exposed to earth - 2" (50mm)
    - Exposed to air - 2" (50mm)
    - Walls with damp proofing - 1.875(48mm)
  - Ensure all rebar splices are minimum 24" length U.N.D.
  - All concrete to have hooks with minimum 24" lap in both directions walls only, not required in footings
  - All Backfill must be free draining granular material. Foundation should be sealed with two layers of bituminous membrane and utilize a dimpled drain mat, i.e. Delta Dimple
  - This foundation design is completed with the bearing capacity as provided by a Geotechnical engineer. If a geotechnical engineer has not been retained it is assumed that the soils will meet at least 180kPa (4000psf) or better bearing capacity as provided in table 9.4.4.1 of the BCBC 2018. Retain a geotechnical engineer immediately if the soil encountered will not meet this section of the building code.
  - The foundation walls have been designed for lateral earth pressure per section 9.4.4.6 of BCBC 2018 and 480kg/m<sup>3</sup> equivalent static fluid force
  - Ensure horizontal steel bars are continuous - all corners to have hooks with min 24" Lap both directions
  - Farhill Engineering takes no responsibility for formwork or its design.

**Stepped Footing Placement:**

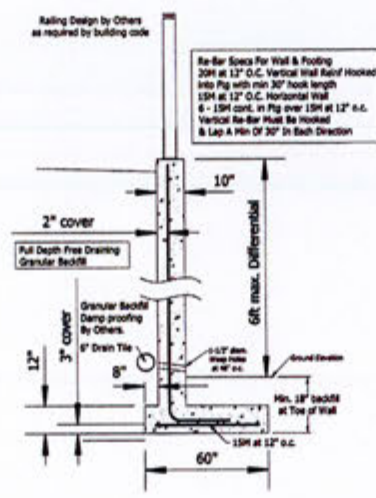


**Footing Placement:**

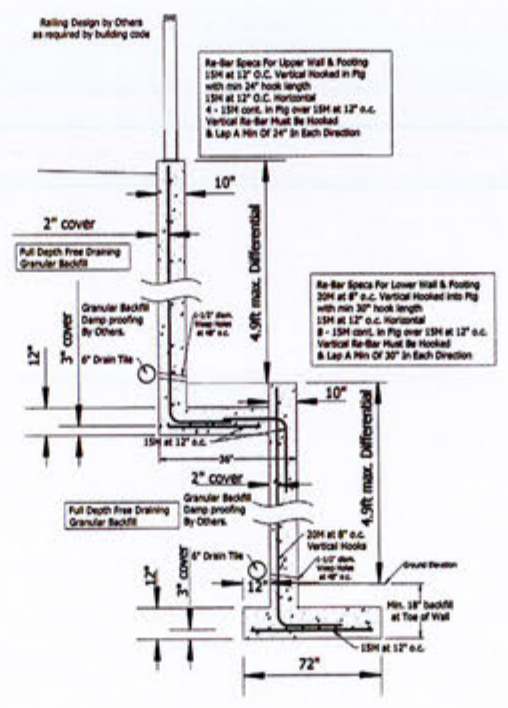


**Foundation Backfill:**

- Backfilling is the responsibility of the contractor or owner. All concrete design completed by Farhill Engineering requires full strength of concrete to be reached at 28 days.
- All interior areas must be backfilled first and the slab on grade must be installed. Any backfilling completed prior to 28 days or without the installation of the basement slab or ground seal is at the sole responsibility of the contractor or owner.
- All backfill must be free draining granular material or approved by the owner's or contractor's Geotechnical Engineer. 3/4" drain rock or crushed road base is a generally acceptable option.



1 Retaining Wall Detail



2 Retaining Wall Detail



Loading of Retaining Walls as per email from Ryzuk Geotechnical Engineering dated May 08, 2020  
 Non-Rigid Wall  
 Site Class: C  
 2% in 50 year Selsmic Event  
 PGA = 0.58  
 Available Bearing: 145kPa (SLS) 218kPa (ULS)

Rev. No.	Description	Date
1	Revised, Upper Wall Fig	22-May-2020 DTW
2		
3		
4		
5		

**FARHILL ENGINEERING LTD.**  
 105 - 937 Dundas Ave  
 VICTORIA BC V8B 2S4  
 Phone: (778) 817-0351  
 info@farhill.ca  
 www.farhill.ca



Farhill Engineering Ltd. - Structural Engineering  
 Retaining Wall  
 939 Colville Rd - General Notes  
 Structural  
 District of Esquimalt  
 May 21, 2020  
 Lida Homes  
 Farhill File No.: 31033  
 Design: DTW

Sheet Title  
 S1 - General Notes

SCALE: NTS

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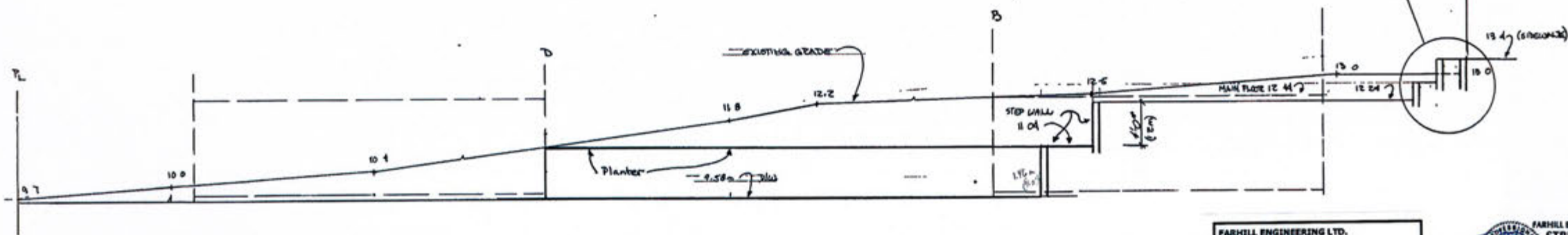
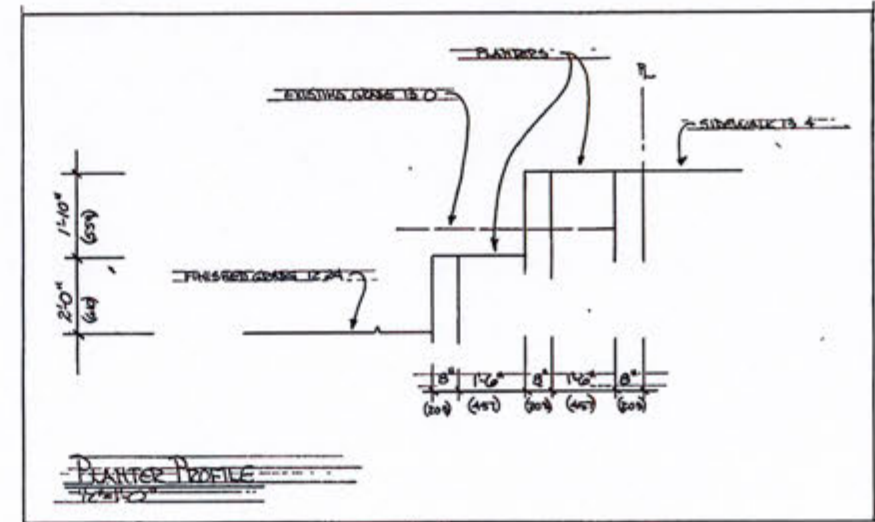
FARHILL GENERAL NOTES



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CORPORATE OFFICER



South Property Line Profile  
12/21/20

FARHILL ENGINEERING LTD.  
STRUCTURAL ENGINEERING  
939 Colville Rd  
Structural  
District of Esquimalt  
May 21, 2020  
Lida Homes  
Farhill File No.: 31033  
Design: DTW

FARHILL ENGINEERING LTD.  
STRUCTURAL  
MAY 21 2020  
FOR CONSTRUCTION PERMIT

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Lida Homes		T-SQUARE Design & Consulting 2850 Lakhurst Drive, Victoria, BC design@tsquare.ca 250-382-2893
		DATE: 29/05/19 DESIGNED BY: J.L.
		SCALE: AS SHOWN DRAWN BY: J.L.
		DRAWING No.: 2451 PROFILE