

SITE PLAN OF PROPOSED STAIR, WALL & ACCESSORY BUILDING LOCATION UPON LOT A, SECTION 10, ESQUIMALT DISTRICT, PLAN EPP96394.

PID: 030-922-852

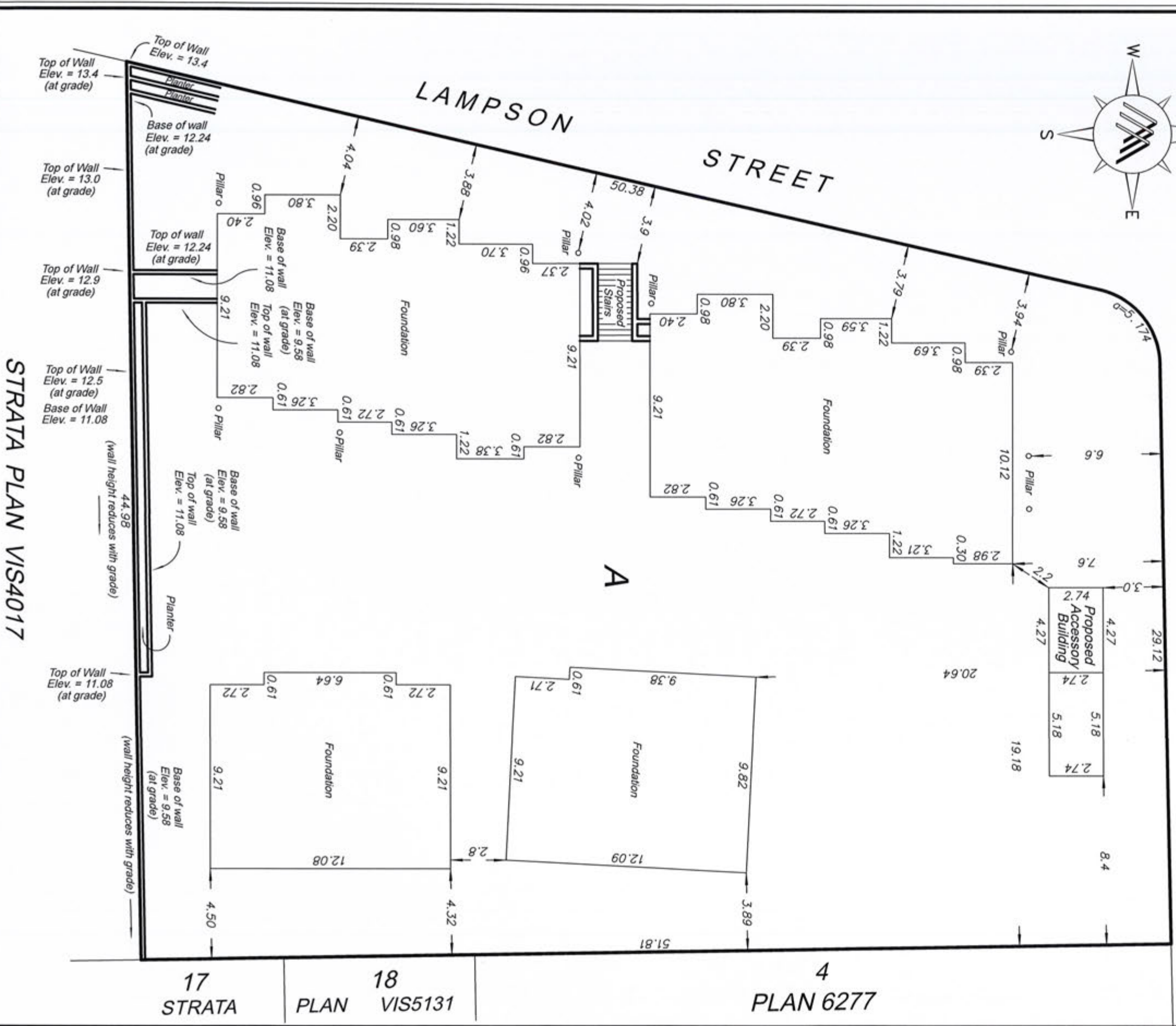
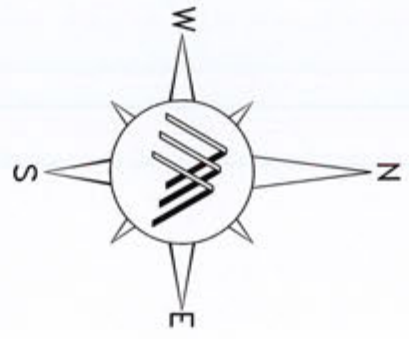


NOTE:
The parcel is subject to Covenant CA7332537.
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Summit Land Surveying
 Operated by Apex Land Surveying Ltd.
 #101-630 Goldstream Avenue
 Victoria B.C. V9B 2W8
 Telephone 250.391.6708
 www.summitsurveying.ca

File: 22-RJ-WALL Date: June 1, 2020



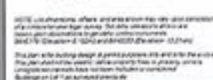
STRATA PLAN VIS4017

17 STRATA

18 PLAN VIS5131

4 PLAN 6277

SITE PLAN OF LOTS 1 & 2, BLOCK 1, SECTION 10, ESQUIMALT DISTRICT, PLAN 6277.



GENERAL NOTES: 1. All drawings, plans, models, designs, specifications and other documents prepared by T-Square Design 'TSD' and used in connection with the project are the property of T-Square Design 'TSD' and shall remain the property of TSD whether the work is accepted or not, and TSD reserves the right to use any or all of the work prepared for any other work or project.



LOT INFORMATION:

| | |
|-----------------------------|---------------------------|
| CIVIC ADDRESS | 939 COLVILLE ROAD |
| PROPOSED ZONING | COMPREHENSIVE DEVELOPMENT |
| TOTAL LOT AREA | 1997.00 sq.m. |
| ALLOWABLE LOT COVERAGE | (RM-3) 499.25 sq.m. |
| PROPOSED LOT COVERAGE | |
| BLDG A | 204.24 sq.m. |
| BLDG B | 200.76 sq.m. |
| BLDG C | 127.56 sq.m. |
| BLDG D | 130.16 sq.m. |
| ELECTRICAL | 25.98 sq.m. |
| TOTAL PROPOSED LOT COVERAGE | 32.68% |
| ALLOWABLE F.A.R | (RM-3) 1397.90 sq.m. |
| PROPOSED F.A.R | |
| BLDG A | 392.68 sq.m. |
| BLDG B | 355.50 sq.m. |
| BLDG C | 280.70 sq.m. |
| BLDG D | 280.75 sq.m. |
| TOTAL F.A.R | 65.57% |
| ALLOWABLE HEIGHT | (RM-3) 9.0 m |
| PROPOSED HEIGHT | |
| BLDG A | 8.07 m |
| BLDG B | 7.24 m |
| BLDG C | 8.84 m |
| BLDG D | 8.54 m |
| ELECTRICAL | 2.91 m |

ELEVATIONS:

| | |
|---------------|----------|
| GARAGES | 9.58 m |
| LOWER FLOOR | 9.78 m |
| MAIN FLOOR | 12.44 m |
| ELECTRICAL | 2.91 m |
| AVERAGE GRADE | |
| BLDG A | 10.815 m |
| BLDG B | 11.87 m |
| BLDG C | 9.875 m |
| BLDG D | 10.275 m |
| ELECTRICAL | 9.77 m |

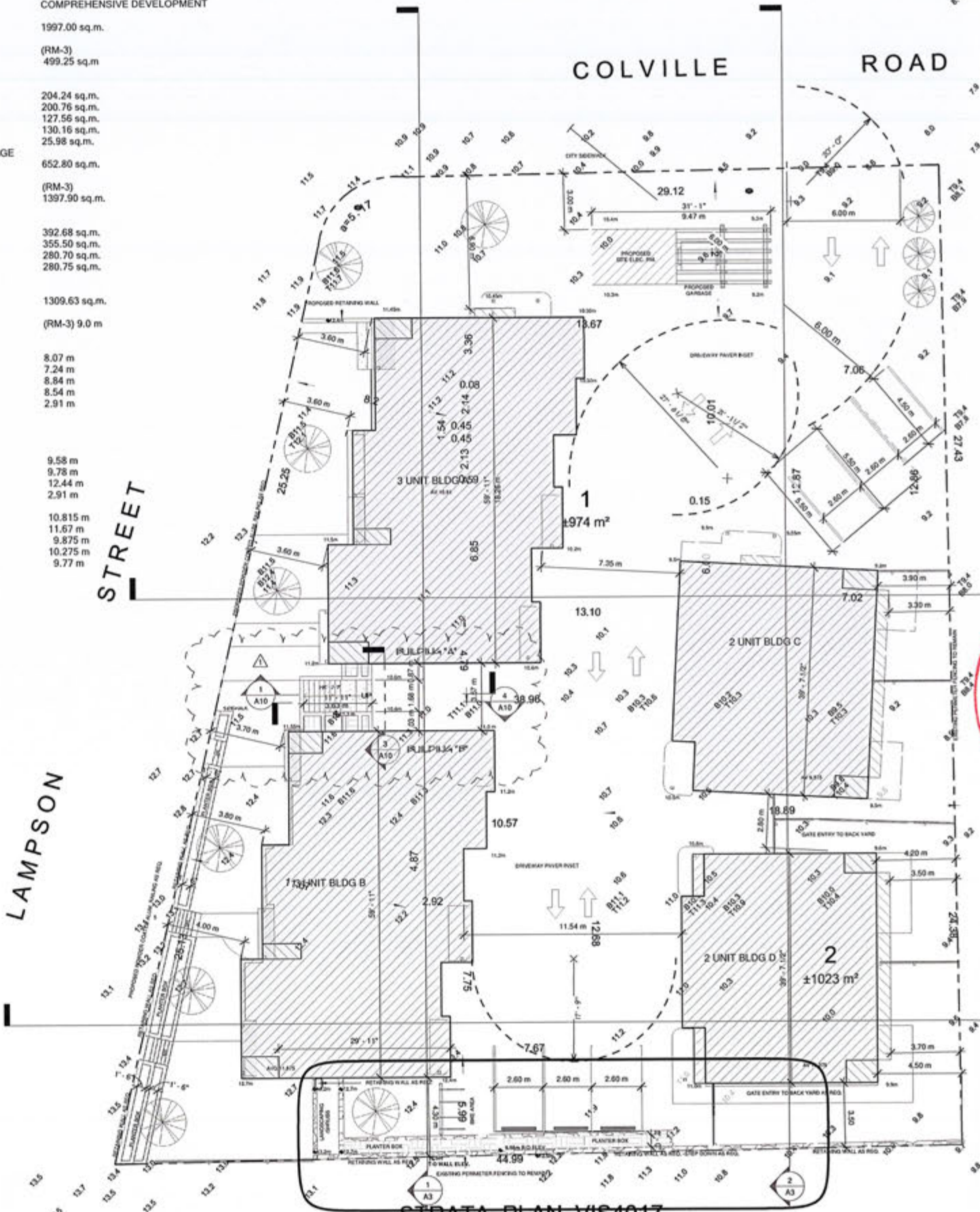
General Notes

Dimensions provided shall take preference over scale. Contractor to verify all dimensions of building design and construction drawings prior to work commencement. Any discrepancies are to be reported immediately. Any notes shown on the plans shall take precedence over the general notes. The contractor shall be responsible for the accuracy of all dimensions and elevations shown on the drawings. The contractor shall be responsible for the accuracy of all dimensions and elevations shown on the drawings. The contractor shall be responsible for the accuracy of all dimensions and elevations shown on the drawings.

SITE NOTES & SPECIFICATIONS

THE FINAL POSITIONING OF THIS BUILDING ON LOT TO BE THE RESPONSIBILITY OF THE CONTRACTOR. BEFORE STARTING CONSTRUCTION OF THE BUILDING THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS ON THESE DRAWINGS AND IF ANY DISCREPANCIES ARE FOUND THEY ARE TO BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE DESIGNER.

AT NO TIME SHALL THE CONTRACTOR SCALL OFF THESE DRAWINGS BUT SHALL BUILD TO DIMENSIONS SHOWN ONLY AFTER VERIFICATION. ANY DIVIATIONS FROM THE DRAWINGS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. ALL TRADES TO WORK TO THEIR LATEST RESPECTIVE CODES AND BY-LAWS.



T-SQUARE
Design & Consulting

T-Square Design
T-Square Design
2950 Lakelhurst Drive
Victoria, BC, V8B 4S5
250-361-5411
design@tsquare.ca

GENERAL NOTES: 1. All drawings, plans, models, designs, specifications and other documents prepared by T-Square Design 'TSD' and used in connection with the project are the property of T-Square Design 'TSD' and shall remain the property of TSD whether the work is accepted or not, and TSD reserves the right to use any or all of the work prepared for any other work or project.

Proposed Residence for:

Mr. Ryan Jabs
939 Colville Road, Victoria, BC

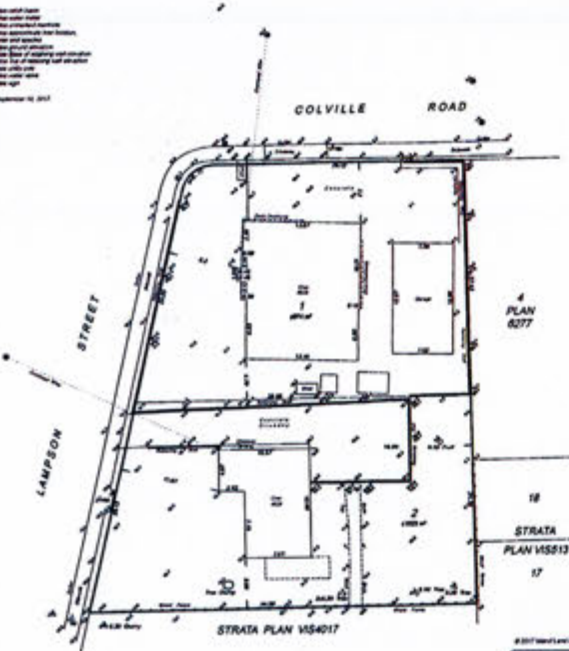
DATE: 05/04/2020
DRAWN BY: JMS
JOB #: A36-***
SHEET:
A1
SHEET A1 OF 1

SITE PLAN OF LOTS 1 & 2, BLOCK 1, SECTION 10, ESQUIMALT DISTRICT, PLAN 6277

THIS PLAN shows the location and dimensions of the proposed buildings on the lots shown. It is intended to be used in conjunction with the proposed zoning by-law and the proposed subdivision plan. The contractor shall verify the location and dimensions of the proposed buildings on the lots shown. The contractor shall also verify the location and dimensions of the proposed buildings on the lots shown.

NOTES:
 1. The contractor shall verify the location and dimensions of the proposed buildings on the lots shown.
 2. The contractor shall also verify the location and dimensions of the proposed buildings on the lots shown.
 3. The contractor shall also verify the location and dimensions of the proposed buildings on the lots shown.

Prepared and dated September 02, 2019



STRATA PLAN VIS131
 STRATA PLAN VIS4017

LOT INFORMATION:

| | |
|-----------------------------|---------------------------|
| CIVIC ADDRESS | 939 COLVILLE ROAD |
| PROPOSED ZONING | COMPREHENSIVE DEVELOPMENT |
| TOTAL LOT AREA | 1997.00 sq.m. |
| ALLOWABLE LOT COVERAGE | (RM-3) 499.25 sq.m. |
| PROPOSED LOT COVERAGE | 25% |
| BLDG A | 204.24 sq.m. |
| BLDG B | 200.76 sq.m. |
| BLDG C | 127.56 sq.m. |
| BLDG D | 130.16 sq.m. |
| ELECTRICAL | 25.98 sq.m. |
| TOTAL PROPOSED LOT COVERAGE | 652.80 sq.m. |
| ALLOWABLE F.A.R. | (RM-3) 1397.90 sq.m. |
| PROPOSED F.A.R. | 70.00% |
| BLDG A | 392.68 sq.m. |
| BLDG B | 355.50 sq.m. |
| BLDG C | 280.70 sq.m. |
| BLDG D | 280.75 sq.m. |
| TOTAL F.A.R. | 1309.63 sq.m. |
| ALLOWABLE HEIGHT | (RM-3) 9.0 m |
| PROPOSED HEIGHT | |
| BLDG A | 8.07 m |
| BLDG B | 7.24 m |
| BLDG C | 8.84 m |
| BLDG D | 8.54 m |
| ELECTRICAL | 2.91 m |

ELEVATIONS:

| | |
|---------------|----------|
| GARAGES | 9.58 m |
| LOWER FLOOR | 9.78 m |
| MAIN FLOOR | 12.44 m |
| ELECTRICAL | 2.91 m |
| AVERAGE GRADE | |
| BLDG A | 10.815 m |
| BLDG B | 11.67 m |
| BLDG C | 9.875 m |
| BLDG D | 10.275 m |
| ELECTRICAL | 9.77 m |

General Notes
 Dimensions provided shall take precedence over words. Contractor to verify all dimensions of Building Designer and Consultant drawings prior to work commencement.
 Any discrepancies are to be reported immediately. Any such discrepancies on the plans shall be reported to the Building Designer and Consultant immediately.
 Prior to any alterations or modifications of plans or details on site, Contractor, Independent(s), or Tradesperson(s) must contact the Building Designer to confirm Building Code requirements and to maintain accuracy and completeness of the plans.
 All references to the "British Columbia Building Code" (B.C.B.C.) are the current edition of published codes, bylaws, or regulations, as approved or authorized by the Province of British Columbia. Any reference to a dated edition or version to be deemed for the equivalent requirement in the most current edition. All work shall comply with the current edition of the "British Columbia Building Code", the rules and contents of their instructions to be followed by other tradespersons, well equipped and adequately supervised.
 Before and/or Contractor to confirm all aspects of siting and placement of structures on lot. Designer not responsible for placement. In the event that the proposed use or existing structures does not conform to the requirements of the B.C. Building Code as amended, the contractor shall be responsible for all necessary and sufficient work for the owner's account.
 All materials to be used shall comply with the applicable sections of the current C.S.A., C.S.A.S. and B.C.B.C. standards. All materials shall be used only according to manufacturer's printed directions, where not inconsistent with the specifications. All materials shall be used only according to the specifications.
 B.C.B.C. 22.13 and to be designed by structural engineer unless noted otherwise.
 Structural Engineering and Trade Manufacturing drawings to be provided and used in accordance with the applicable codes and standards.

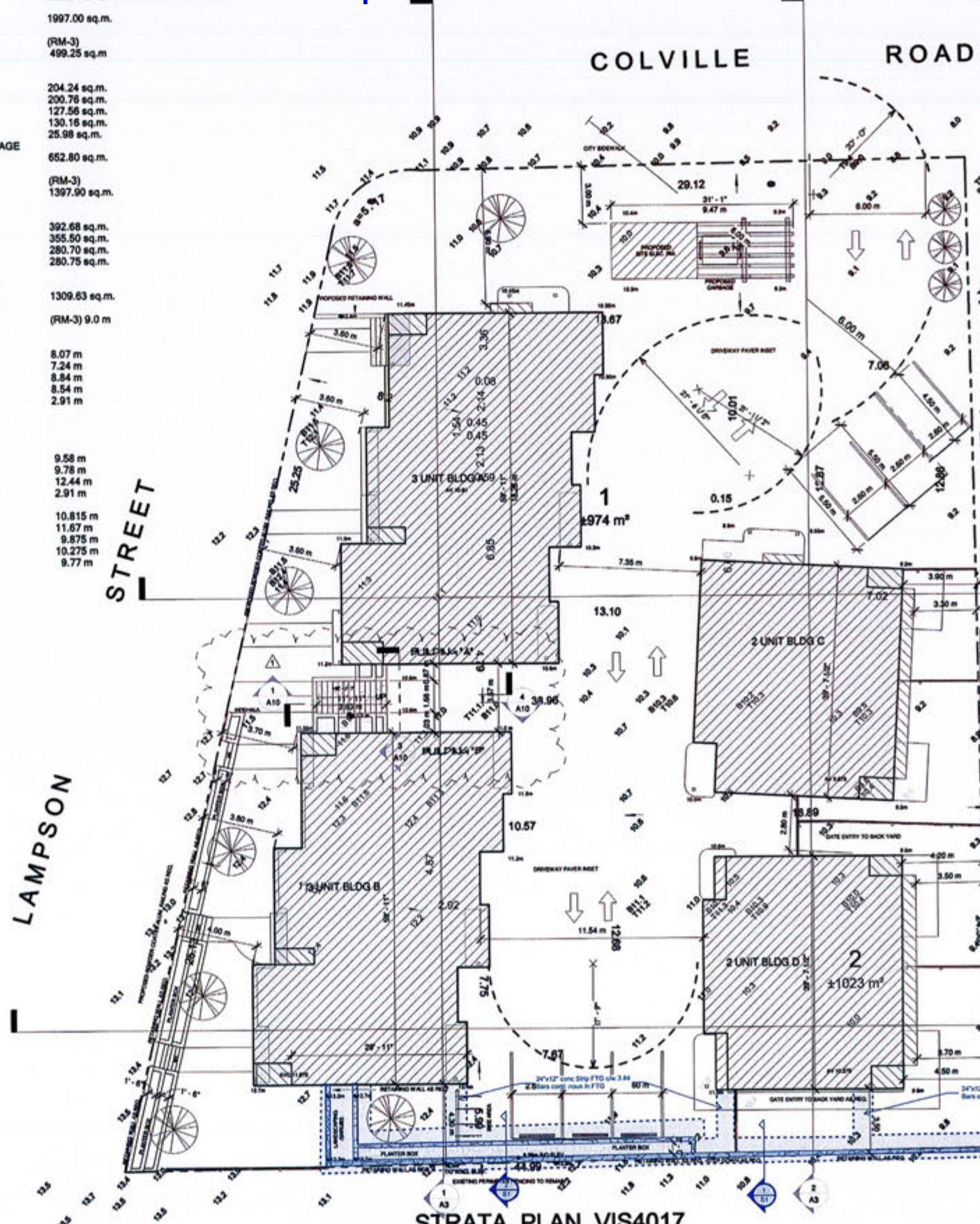
SITE NOTES & SPECIFICATIONS

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AT NO TIME SHALL THE CONTRACTOR SCALL OFF THESE DRAWINGS BUT SHALL BUILD TO DIMENSIONS SHOWN ONLY AFTER VERIFICATION. ANY DIVARIATIONS FROM THE DRAWINGS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. ALL TRADES TO WORK TO THEIR LATEST RESPECTIVE CODES AND BY-LAWS.

Site Plan DWG
 1" = 10'-0"

Proposed Revisions



RECEIVED
 JUN 03 2020
 CORP. OF TOWNSHIP OF ESQUIMALT
 DEVELOPMENT SERVICES

4
 PLAN
 6277

FARHILL ENGINEERING LTD.
 STRUCTURAL
 JUN 02 2020
 REGISTERED PROFESSIONAL ENGINEER
 2019-10-17

FARHILL ENGINEERING LTD.
 STRUCTURAL ENGINEERING
 Owner's responsibility to coordinate siting and placement with adjacent properties.

Farhill Engineering Ltd. - Drawing Revision:

| Rev No. | Description | Date |
|---------|---------------------------|------------|
| 1 | Issued for Construction | 19/09/2019 |
| 2 | Revised per City Comments | 19/09/2019 |

STRATA
 PLAN VIS51:

17

FARHILL ENGINEERING LTD.
 Structural Engineering
 939 Colville Rd
 (Part 9 Structure)
 District of Esquimalt
 Jun 02, 2020
 Little Homes
 Farhill File No.: 31033

T-SQUARE
 design + consulting
 T-Square Design
 T-Square Design
 2950 Lakhurst Drive
 Victoria, BC, V8W 4S5
 250-361-6411
 design@tsquare.ca

NOTES:
 1. If all drawings, notes, reports, specifications and other documents approved by T-Square Design "TSQ" and in accordance with the project are submitted to the property of TSQ whether the work is approved or not, and TSQ reserves the right to use them and to the right to reproduce them, and they shall not be used for any other work or project.
 2. It is the responsibility of the Contractor to verify all dimensions, elevations, and all conditions on site prior to the start of construction. The Contractor shall verify the location of all services, utilities, and other conditions identified within the drawings prior to the commencement of the work. Confirmation of contractor or other third party conditions of approval of the work shall be provided to the Designer and Consultant. Confirmation of the siting and placement of the building and other structures shall be provided to the Designer and Consultant. The Contractor shall verify the location and dimensions of the building and other structures identified within the drawings prior to the commencement of the work. Confirmation of contractor or other third party conditions of approval of the work shall be provided to the Designer and Consultant. Confirmation of the siting and placement of the building and other structures shall be provided to the Designer and Consultant. The Contractor shall verify the location and dimensions of the building and other structures identified within the drawings prior to the commencement of the work. Confirmation of contractor or other third party conditions of approval of the work shall be provided to the Designer and Consultant. Confirmation of the siting and placement of the building and other structures shall be provided to the Designer and Consultant. The Contractor shall verify the location and dimensions of the building and other structures identified within the drawings prior to the commencement of the work. Confirmation of contractor or other third party conditions of approval of the work shall be provided to the Designer and Consultant. Confirmation of the siting and placement of the building and other structures shall be provided to the Designer and Consultant.

Proposed Residence for:
Mr. Ryan Jabs
 939 Colville Road, Victoria, BC

DATE: 05/04/2020
 DRAWN BY: ASJ
 JOB #: ASJ-***
 SHEET:
A1
 SHEET 01 OF 01

General:

- The page must accompany plans for the project which have been submitted for a building permit. These notes apply unless noted otherwise on the drawings.
- Farhill Engineering Ltd. has been retained to provide structural engineering services as set forth on Building Code Schedule B.
- All construction and materials to conform to the Building Code of British Columbia 2018.
- It is the client's responsibility to ensure that the engineer is informed when the various aspects of the project are ready for review. Please provide at least 24 hours notice.

Scope of work:

- Items Not Covered by Farhill Engineering Ltd.**
- Some elements and components may need professional design by other professionals. This may or may not involve structural design and review. This remains the responsibility of the contractor or owner to arrange and complete. Unless noted otherwise Farhill Engineering Ltd. is only responsible for the design of the primary structure.
 - Farhill Engineering Ltd. is not responsible and does not provide design or review for the following items:
 - Concrete Slabs poured on grade including but not limited to, sidewalks, driveways, garage floor slabs or basement floor slabs except the portion shown in the design.
 - Interior or exterior back framing
 - Exterior Siding
 - Interior Siding
 - Retaining Walls Not Attached to Structure
 - Architectural details including masonry veneer
 - Cladding, glazing, integrated window mullions
 - Interior non-load bearing partition walls and all finishes including drywall and suspended ceilings
 - Brick or Stone veneers and their attachments
 - Chimneys
 - Farhill Engineering Ltd. provides structural engineering services only and does not take any responsibility for Building Code compliance particularly in residential design where a building envelope engineer may not be retained. Farhill Engineering Ltd. recommends that in all cases a qualified Building Envelope Engineer be retained for design of the building envelope system and details. Any references made to components associated with building envelope to best practice only should be completed with design provided by a qualified building envelope engineer. In the case of any discrepancy between the structural components and building envelope a Building Envelope engineer shall be retained.

Concrete:

- Footings and Foundation**
- All concrete to meet CSA A23.1 and A23.2 requirements
 - The engineer must be contacted at least 24 hours prior to pouring to allow for inspection of the cribbing and reinforcement for concrete footings, suspended slabs and foundation walls.
 - Floor joist are not considered to provide lateral support for walls unless explicitly noted by engineer.
 - See Farhill Engineering foundation details for stair placement and coverage. If the required detail is not shown please contact the engineer.
 - Typical Concrete Mixes**
 - Footings - 25Mpa - 18mm Aggregate - 0.55(max) water ratio - 4.7% Air - 80mmx30 Slump - F2
 - Furn Vials - 25Mpa - 18mm Aggregate - 0.55(max) water ratio - 4.7% Air - 80mmx30 Slump - F2
 - Bas Slabs - 25Mpa - 18mm Aggregate - 0.55(max) water ratio - 4.7% Air - 80mmx30 Slump - F2,C1
 - Reinforcing Steel to be Grade 400 (400MPa) Metric or Grade 60 Imperial Reinforcing bars to CSA G30.18.**
Cover as follows
 - Cast against or exposed to earth - 2" (50mm)
 - Exposed to air - 2" (50mm)
 - Walls with damp proofing - 1.875(47mm)
 - Ensure all rebar splices are minimum 24" length U.N.D.
 - All concrete to have hooks with minimum 24" lap in both directions walls only, not required in footings
 - All Backfill must be free draining granular material. Foundation should be sealed with two layers of bituminous membrane and utilize a dimpled drain mat, i.e. Delta Drain®
 - This foundation design is completed with the bearing capacity as provided by a Geotechnical engineer. If a geotechnical engineer has not been retained it is assumed that the soils will meet at least 180kPa (4000psf) or better bearing capacity as provided in table 9.4.4.1 of the BCBC 2018. Retain a geotechnical engineer immediately if the soil encountered will not meet this section of the building code.
 - The foundation walls have been designed for lateral earth pressure per section 9.4.4.6 of BCBC 2018 and 480kg/m³ equivalent static fluid force
 - Ensure horizontal steel bars are continuous - all corners to have hooks with min 24" Lap both directions
 - Farhill Engineering takes no responsibility for formwork or its design.

Stepped Footing Placement:

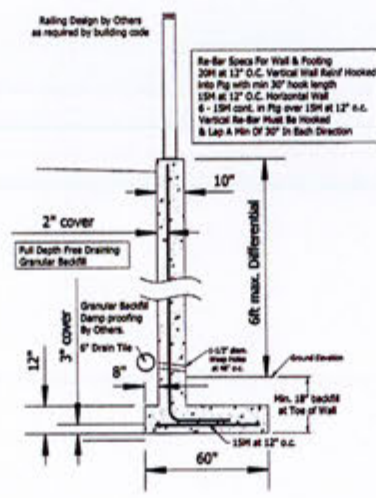


Footing Placement:

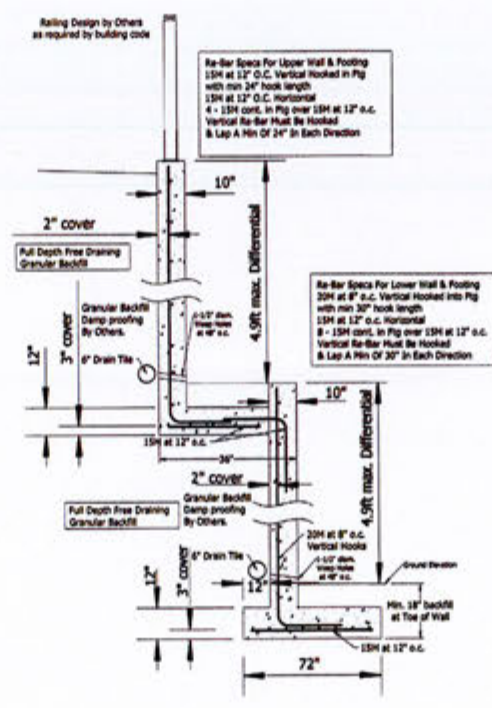


Foundation Backfill:

- Backfilling is the responsibility of the contractor or owner. All concrete design completed by Farhill Engineering requires full strength of concrete to be reached at 28 days.
- All interior areas must be backfilled first and the slab on grade must be installed. Any backfilling completed prior to 28 days or without the installation of the basement slab or ground seal is at the sole responsibility of the contractor or owner.
- All backfill must be free draining granular material or approved by the owner's or contractor's Geotechnical Engineer. 3/4" drain rock or crushed road base is a generally acceptable option.



1 Retaining Wall Detail



2 Retaining Wall Detail



Loading of Retaining Walls as per email from Ryzuk Geotechnical Engineering dated May 08, 2020
 Non-Rigid Wall
 Site Class: C
 2% in 50 year Sismic Event
 PGA = 0.58
 Available Bearing: 145kPa (SLS) 218kPa (ULS)

Farhill Engineering Ltd. - Drawing Version

| Rev. No. | Description | Date |
|----------|-------------------------|-----------------|
| 1 | Revised, Upper Wall Fig | 22-May-2020 DTW |
| 2 | | |
| 3 | | |
| 4 | | |
| 5 | | |

FARHILL ENGINEERING LTD.
 105 - 937 Dundas Ave
 VICTORIA BC V8B 2S4
 Phone: (778) 817-0351
 info@farhill.ca
 www.farhill.ca

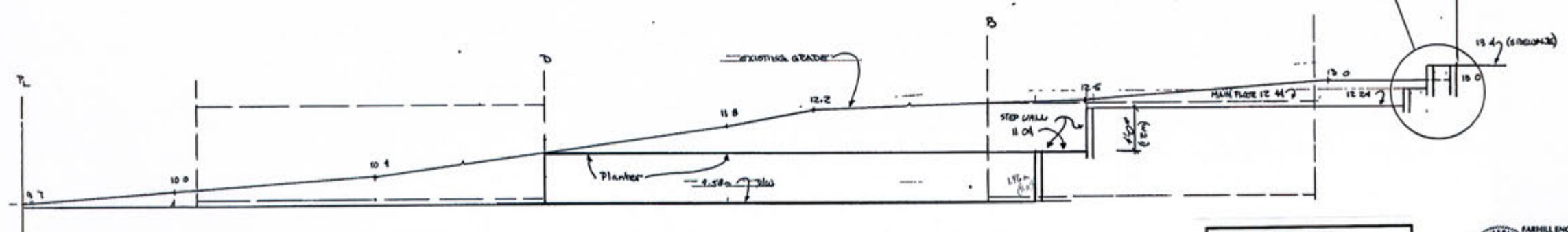
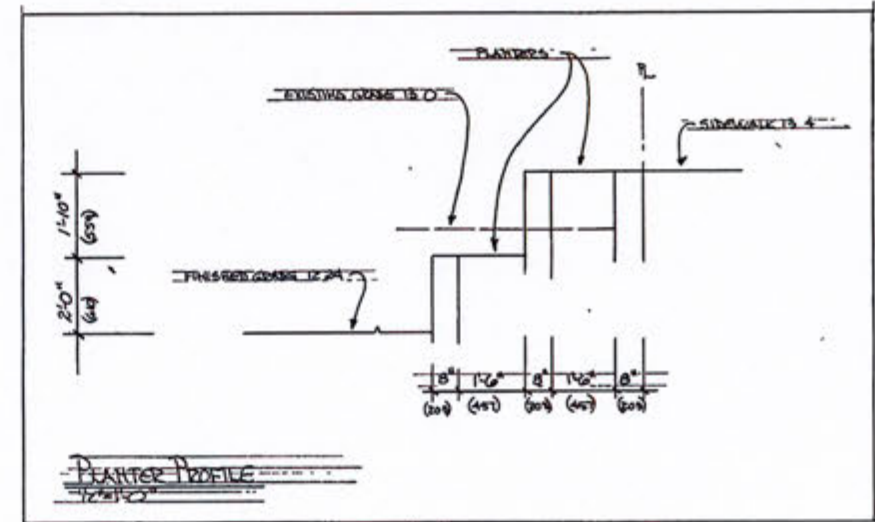


Farhill Engineering Ltd. - Structural Engineering
 Retaining Wall
 939 Colville Rd - General Notes
 Structural
 District of Esquimalt
 May 21, 2020
 Lida Homes
 Farhill File No.: 31033
 Design: DTW

Sheet Title
 S1 - General Notes

SCALE: NTS

FARHILL GENERAL NOTES



South Property Line Profile
2/10/20

FARHILL ENGINEERING LTD.
STRUCTURAL ENGINEERING
939 Colville Rd
Structural
District of Esquimalt
May 21, 2020
Lida Homes
Farhill File No.: 31033
Design: DTW



FARHILL ENGINEERING LTD.
STRUCTURAL
MAY 21 2020
FOR CONSTRUCTION PERMIT
20413-201
www.farhill.ca



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Lida Homes



T-SQUARE Design & Consulting design@tsquare.ca
2850 Lakhurst Drive, Victoria, BC 250-382-2893
DATE: 29/05/19 DESIGNED BY: J.L.
SCALE: AS SHOWN DRAWN BY: J.L.
DRAWING No.: 2451 PROFILE