

445 Grafton Street

ESQUIMALT, BC : NEW SINGLE FAMILY DWELLING

PROJECT TEAM:

RESIDENTIAL DESIGNER:	LATITUDE 48 DESIGN LTD. Ryan@latitude48design.com 778.977.4848
INTERIOR DESIGNER:	SAM SCOTT INTERIOR DESIGN STUDIO LTD. 250.896.6036
GENERAL CONTRACTOR:	MAC RENO DESIGN BUILD LTD. 778.403.5413
STRUC. & CIVIL ENGINEER:	ED KYLE ENGINEERING LTD. 250.475.6906
SURVEYOR:	EXPLORER LAND SURVEYING INC. 250.381.2257
ARBORIST:	D. CLARK ARBORICULTURE LTD. 250.208.1568
MECHANICAL DESIGN & ENG.:	ALTM ENGINEERING LTD. 250.702.4215
LANDSCAPE DESIGN:	GREENSPACES DESIGN 250.893.9496
GEOTECHNICAL ENGINEER:	RYZUK GEOTECHNICAL 250.475.3131
ENVIRONMENTAL CONSULTANT:	CORVIDAE ENVIRONMENTAL CONSULTING 250.642.0078

PROJECT ADDRESS:

SITE ADDRESS:	445 GRAFTON STREET
LEGAL DESCRIPTION:	LOT A, PLAN VIP32070, SUBURBAN LOT 30, ESQUIMALT LAND DISTRICT
PID:	001-105-248

PROJECT SCOPE:

CONSTRUCTION OF A NEW SINGLE FAMILY DWELLING

SHEET INDEX:

- A0.1 COVER SHEET
- A0.2 SITE PLANS
- A0.3 SITE DEVELOPMENT PLAN
- A0.4 EXTERIOR RENDER IMAGES
- A0.5 EXTERIOR RENDER IMAGES
- A1.4 ROOF PLAN
- A3.1 ELEVATIONS
- A3.2 ELEVATIONS
- A4.1 PERSPECTIVES
- A4.2 PERSPECTIVES
- A4.3 PERSPECTIVES
- A4.4 PERSPECTIVES
- A6.1 EXISTING SITE IMAGES

ZONING ANALYSIS:

ZONE:	RS-3	
LOT AREA:	2091.9m ²	
AVG. GRADE:	6.65m	
ZONING REQUIREMENTS	ALLOWABLE	PROPOSED
FLOOR SPACE RATIO (FSR):	0.35	0.12
GROSS FLOOR AREA (GFA):		
MAIN FLOOR:		228.8m ²
BASEMENT:	EXEMPT IF CEILING SLICES THAN 12m-BELOW GRADE	215.9m ² (EXEMPT)
GARAGE:		61.1m ² (45.0m ² EXEMPT)
TOTAL:		244.9m ²
LOT COVERAGE:		
HOUSE:		422.2m ²
TOTAL:	30% (627.5m ²)	422.2m ² (20.9%)
HEIGHT:	7.30m + (SEE COVENANT)	4.94m
SETBACKS: TO FACE OF CLADDING		
FRONT (N):	7.50m	2.57m
BACK (S):	7.50m/10.00m/15.00m	12.22m
SIDE (E):	1.50m	1.62m
SIDE (W):	3.60m	2.19m
COMBINED SIDYARD:	4.50m	3.99m

ENERGY & STEP CODE ANALYSIS:

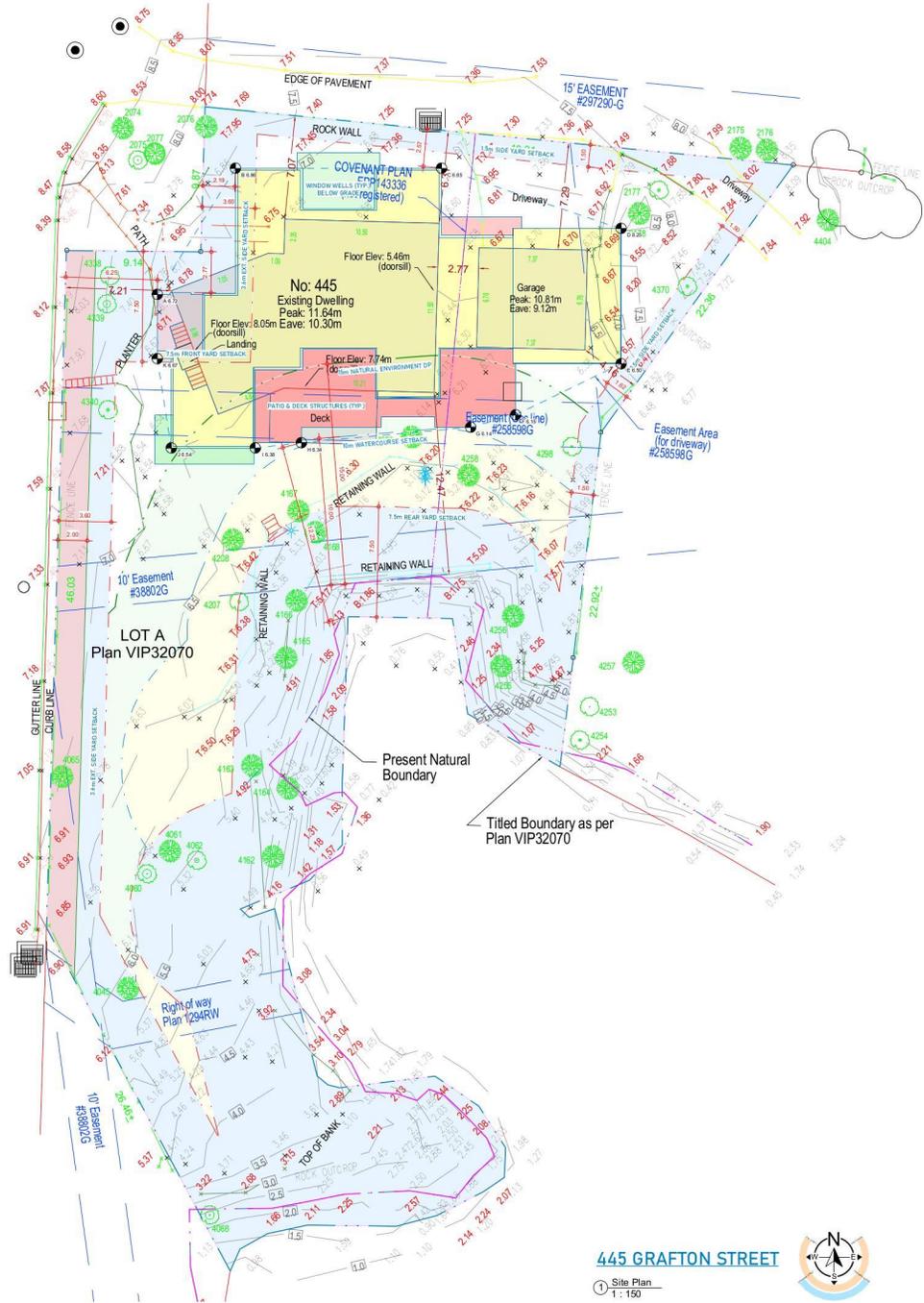
STEP CODE TARGET: CLIMATE ZONE 4	STEP CODE LEVEL 5 (NET ZERO)
ACH 50 (AIR CHANGES PER HOUR @ 50 Pa)	≤ 1.0 ACH
TEDI (THERMAL ENERGY DEMAND INTENSITY)	15 kWh/m ² /year
MEUI (MECHANICAL ENERGY USE INTENSITY)	25 kWh/m ² /year

COMMUNITY MAP:



FLOOR AREA CALCULATION:	
MAIN FLOOR:	233.9 SF
BASEMENT FLOOR:	233.9 SF
TOTAL LIVING AREA:	437.8 SF
GARAGE AREA:	151 SF
COMPLETE SF:	589.5 SF

AVERAGE GRADE CALC. (HOUSE)	
POINT	GRADE (M)
A	6.77
B	6.38
C	2.45
D	8.25
E	4.50
F	6.25
G	6.74
H	6.34
I	4.38
J	6.94
K	4.57
L	4.57
15%AL	732.7 (9.46m)



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PROJECT REQUIREMENTS:

- The sole responsibility of the General Contractor or Owner, Subject to any and all approvals by the Government of any Municipality, The General Contractor or Owner, Building and safety code designer, if any, and/or the registered architect, shall be to design and construct the project in accordance with the approved plans and specifications, and to ensure that the project complies with all applicable laws, codes, and regulations. The General Contractor or Owner shall be responsible for obtaining all necessary permits and approvals from the appropriate authorities. The General Contractor or Owner shall be responsible for ensuring that the project complies with all applicable laws, codes, and regulations. The General Contractor or Owner shall be responsible for ensuring that the project complies with all applicable laws, codes, and regulations. The General Contractor or Owner shall be responsible for ensuring that the project complies with all applicable laws, codes, and regulations.
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25Dec12	Issue for DVP

Project:
445 Grafton Street

Sheet Title:
Cover Sheet

Project No.
25001

Sheet No. ©2025

445 GRAFTON STREET

1: Site Plan
1: 150



A0.1

PROJECT REQUIREMENTS:

1. It is the sole responsibility of the General Contractor or Owner/Builder to verify all dimensions, elevations, etc. in any drawings, including the Government of any Work. The General Contractor or Owner/Builder shall verify the design of any work or to register the design with the appropriate authority. The design shall be approved by the appropriate authority. The design shall be approved by the appropriate authority. The design shall be approved by the appropriate authority.
2. All designs, drawings, and specifications prepared by the designer (including all design) shall be used as the final design for the project. The designer shall be responsible for any errors or omissions in any drawings or specifications. The designer shall be responsible for any errors or omissions in any drawings or specifications.
3. All work shall comply with the latest version of the BC Building Code, local municipal bylaws, and applicable standards and regulations. All work shall be completed in accordance with the applicable standards and regulations.
4. All changes to drawings shall be the responsibility of the General Contractor or Owner/Builder and shall be approved by the Designer and applicable authorities for review.
5. The General Contractor or Owner/Builder shall work with an ABCE certified engineer and a SEP (as required) to confirm structural, utility, environmental, and other aspects of the proposed design prior to construction. The Designer shall be responsible for any errors or omissions in any drawings or specifications.

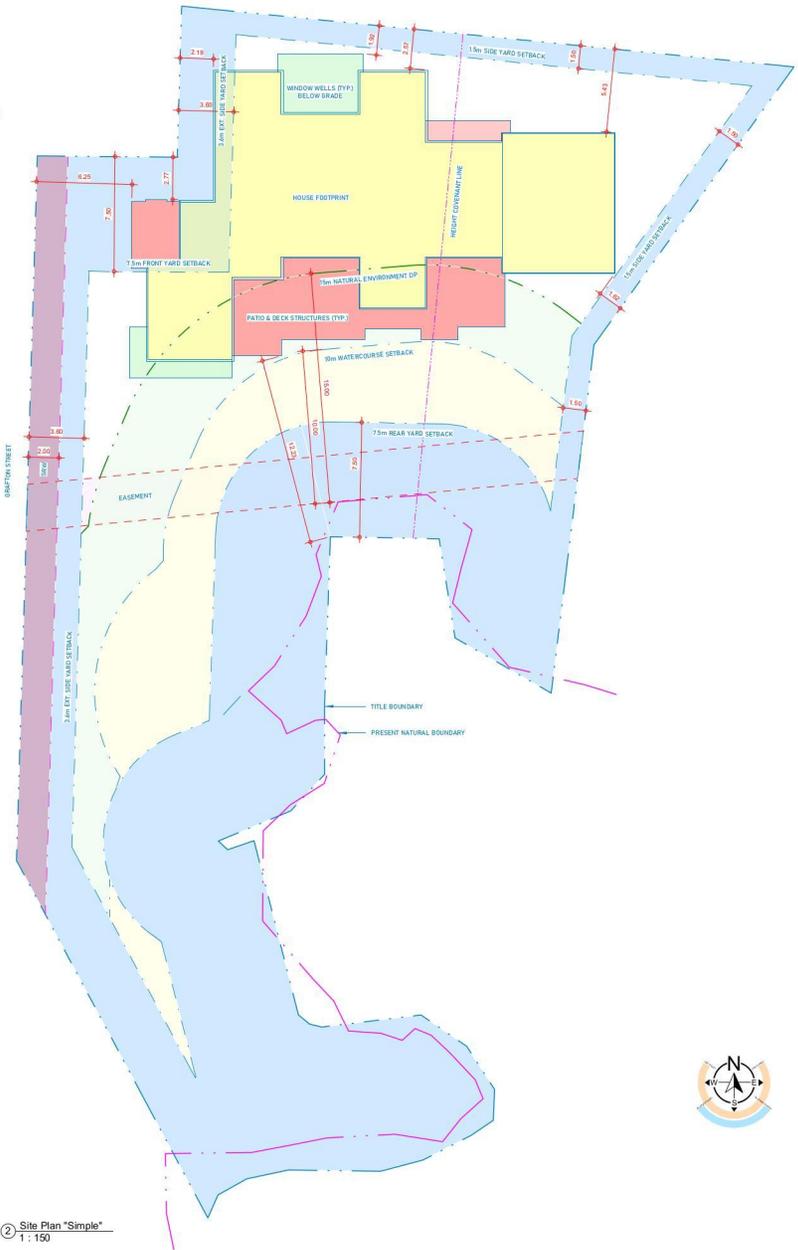
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Project:
445 Grafton Street

Sheet Title:
Site Plans

Project No.
25001

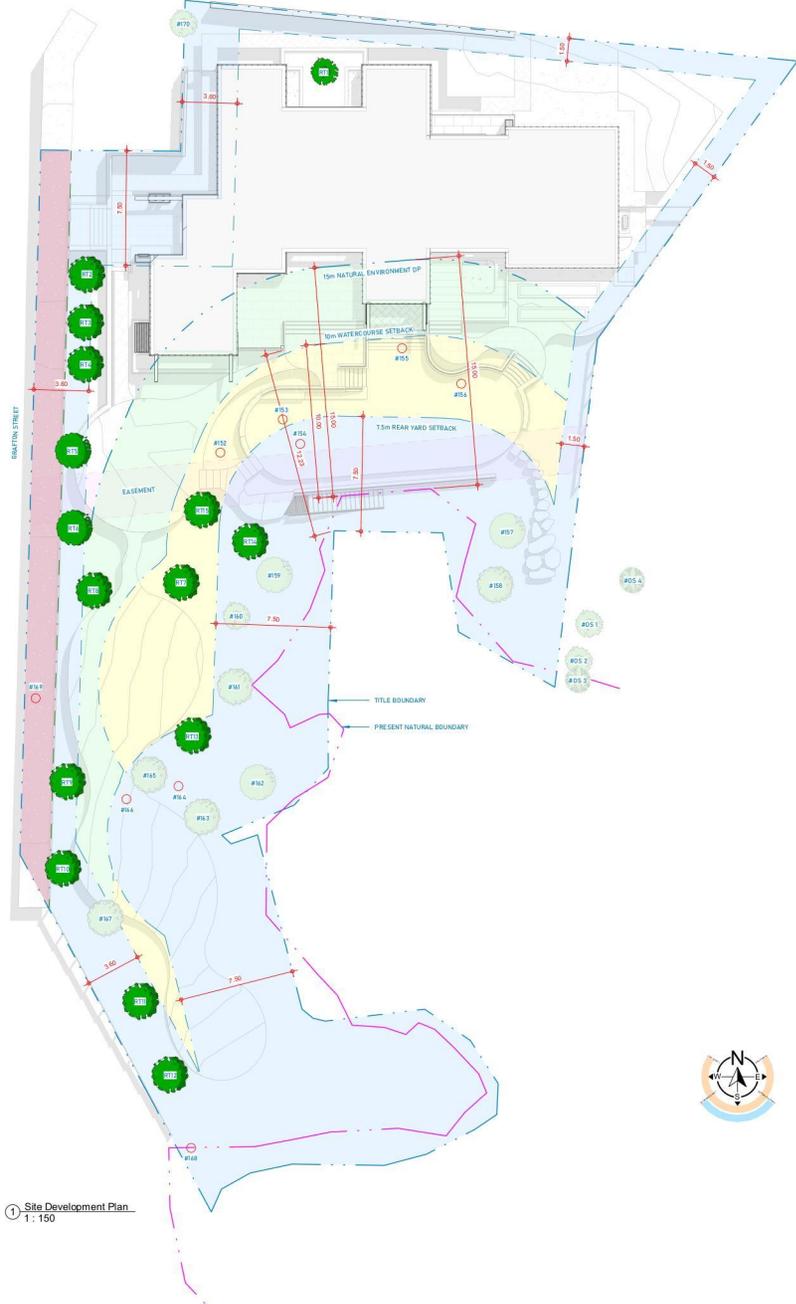
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② Site Plan "Simple" 1:150



① Site Plan "Building Footprint" 1:150



1 Site Development Plan
1: 150



GRAFTON



PROJECT REQUIREMENTS:

1. It is the sole responsibility of the General Contractor or Owner/Builder to verify and demonstrate compliance with all applicable laws, codes, and regulations of any state. The General Contractor or Owner/Builder shall verify the design of any structure or equipment identified on this drawing prior to construction. The General Contractor or Owner/Builder shall be responsible for obtaining all necessary permits and approvals from the appropriate authorities. All drawings, including this one, shall be reviewed and approved by the appropriate authorities prior to construction. No drawings shall be used for construction unless they have been reviewed and approved by the appropriate authorities.
2. All designs, drawings, and specifications prepared by the designer (Grafton, Reno, NV) shall be used as the final design for the project. Any design or construction of any structure or equipment shall be in accordance with the design and specifications of the designer (Grafton, Reno, NV) and shall not be modified in any way without the written consent of the designer (Grafton, Reno, NV).
3. All work shall comply with the latest version of the International Building Code, local municipal codes, and applicable state and federal regulations. All work shall be done in accordance with the applicable codes and regulations.
4. All designs or drawings are the responsibility of the General Contractor or Owner/Builder and shall be subject to review and approval by the appropriate authorities. The General Contractor or Owner/Builder shall be responsible for obtaining all necessary permits and approvals from the appropriate authorities.

25Dec12	Issue for DVP

Project:
445 Grafton Street

Sheet Title:
Site Development Plan

Project No.
25001

Sheet No. ©2025

A0.3

PROJECT REQUIREMENTS:

1. It is the sole responsibility of the General Contractor to ensure that all work is completed in accordance with the approved drawings, specifications, and any applicable laws, codes, and regulations. The Contractor shall be responsible for obtaining all necessary permits and approvals from the appropriate authorities. The Contractor shall be responsible for ensuring that all work is completed in accordance with the approved drawings, specifications, and any applicable laws, codes, and regulations. The Contractor shall be responsible for ensuring that all work is completed in accordance with the approved drawings, specifications, and any applicable laws, codes, and regulations.
2. All designs, drawings, and specifications prepared by the Designer (including all design fees) shall remain the property of the Designer and shall not be used, copied, or reproduced in any form without the written consent of the Designer. The Contractor shall be responsible for ensuring that all work is completed in accordance with the approved drawings, specifications, and any applicable laws, codes, and regulations.
3. All work shall be completed in accordance with the approved drawings, specifications, and any applicable laws, codes, and regulations. The Contractor shall be responsible for ensuring that all work is completed in accordance with the approved drawings, specifications, and any applicable laws, codes, and regulations.
4. All changes or deviations from the approved drawings, specifications, and any applicable laws, codes, and regulations shall be approved in writing by the Designer. The Contractor shall be responsible for ensuring that all work is completed in accordance with the approved drawings, specifications, and any applicable laws, codes, and regulations.
5. The General Contractor or Designer Builder shall work with an AECU certified estimator and a S.E.P. (as required by applicable regulations), with appropriate consideration, and approval of the project drawings prior to commencing the work. All work shall be completed in accordance with the approved drawings, specifications, and any applicable laws, codes, and regulations.

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Project:
445 Grafton Street

Sheet Title:
Exterior Render Images

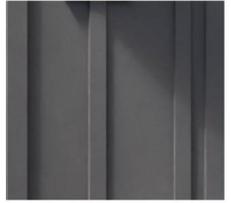
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A0.4



EXTERIOR MATERIALS:
SIDING: Board & Batten
COLOUR: SW 7047 Porpoise



SIDING: ChamClad Modern 6" Shadowline Panels
COLOUR: Barrel Oak



STONE: K2 Arbutus Field Stone Veneer





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PROJECT REQUIREMENTS:

1. It is the sole responsibility of the General Contractor or Owner/Builder to verify and demonstrate compliance with all applicable codes, ordinances, and regulations of any state, the County, City, or other local jurisdiction. The General Contractor or Owner/Builder shall verify the design of any structure or improvement identified within this drawing prior to construction. The General Contractor or Owner/Builder shall be responsible for obtaining all necessary permits and approvals from the appropriate authorities. All drawings, including this one, shall be prepared and stamped by a professional engineer or architect. All drawings shall be prepared and stamped by a professional engineer or architect. All drawings shall be prepared and stamped by a professional engineer or architect.
2. All designs, drawings, and specifications prepared by the designer (Grafton, St. George, UT) and used in the project shall remain the property of the designer regardless of whether the drawings are prepared for and used for the project or are used in any other way, in or out of state.
3. All work must comply with the latest version of the RC Building Code, local municipal codes, and applicable state and federal regulations. All work must comply with applicable codes, ordinances, and regulations of the County of Utah and the City of St. George, UT.
4. All designs or drawings are the responsibility of the General Contractor or Owner/Builder and must be submitted to the Designer and applicable authorities for review.
5. The General Contractor or Owner/Builder shall work with an ABCEI certified engineer and a SEP (as required by certain ordinances), with the appropriate professional seal, and placement of the professional seal on the drawings. The General Contractor or Owner/Builder shall be responsible for obtaining all necessary permits and approvals from the appropriate authorities. All drawings shall be prepared and stamped by a professional engineer or architect. All drawings shall be prepared and stamped by a professional engineer or architect.

25Dec12	Issue for DVP

Project:
445 Grafton Street

Sheet Title:
Exterior Render Images

Project No.
25001

Sheet No. ©2025

A0.5

PROJECT REQUIREMENTS:

- It is the sole responsibility of the General Contractor to obtain all necessary permits and approvals from the relevant authorities. The General Contractor shall be responsible for obtaining all necessary permits and approvals from the relevant authorities. The General Contractor shall be responsible for obtaining all necessary permits and approvals from the relevant authorities.
- All drawings, drawings, and specifications prepared by the designer shall be the property of the designer and shall not be used for any other purpose without the prior written consent of the designer. The designer shall not be responsible for any errors or omissions in the drawings or specifications, and shall not be liable for any damages or losses resulting from the use of the drawings or specifications.
- All work shall comply with the latest version of the BC Building Code, local municipal bylaws, and provincial and federal regulations. All work shall be completed in accordance with Occupational Health and Safety regulations.
- All changes to the drawings shall be the responsibility of the General Contractor or Client and shall not be the responsibility of the designer. The General Contractor shall be responsible for obtaining all necessary permits and approvals from the relevant authorities.

25Dec12	Issue for DVP

Project:

445 Grafton Street

Sheet Title:

Roof Plan

Project No.

25001

Sheet No.

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A1.4

GENERAL FRAMING NOTES:

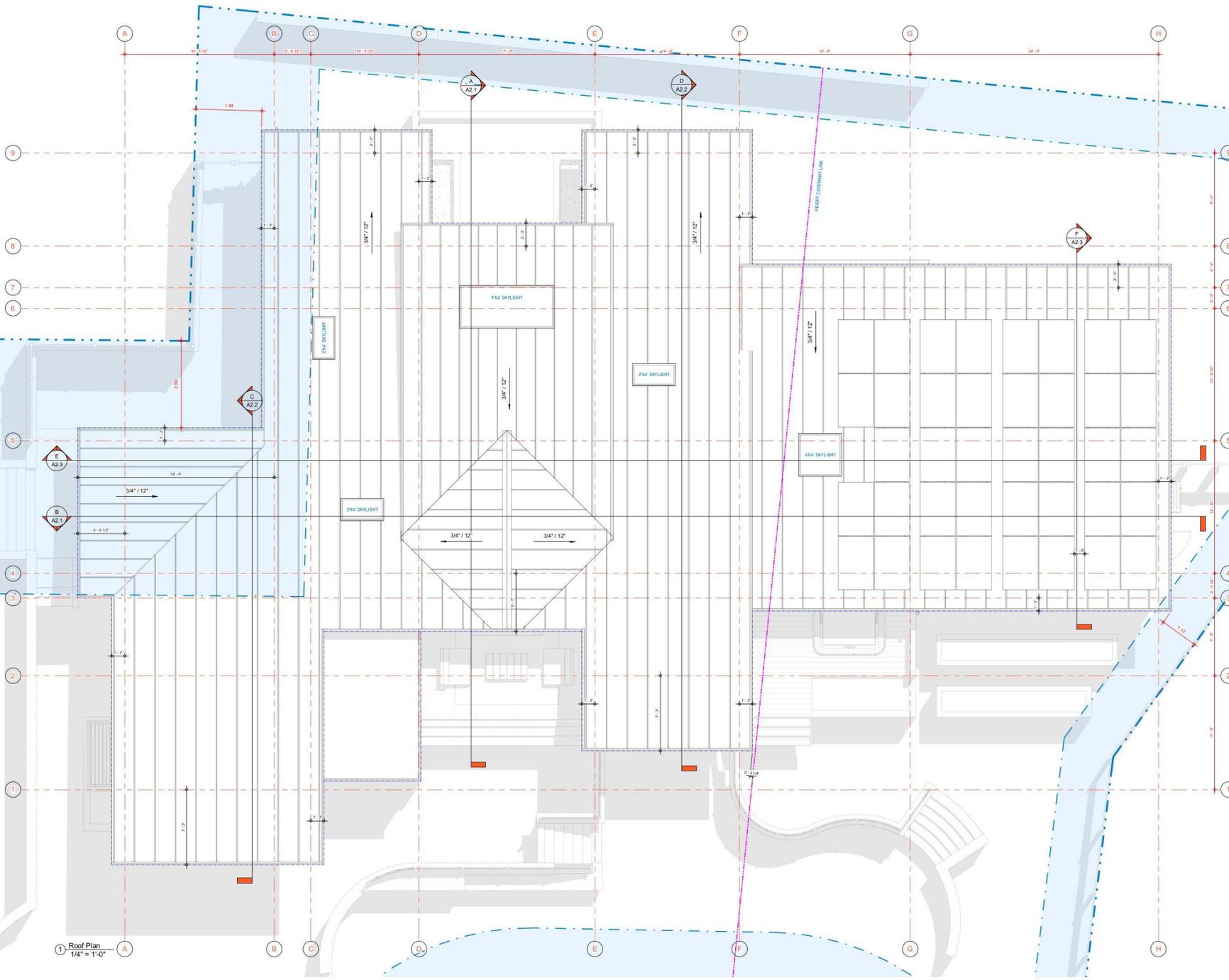
- ALL FRAMING TO BE IN ACCORDANCE WITH THE CURRENT BC BUILDING CODE
- ALL LUMBER TO BE SPF #2 OR BETTER UNLESS NOTED OTHERWISE
- DOUBLE STUDS TO BE USED ON ALL RAFTERS OVER 15m SPAN
- ALL WALL AND ROOF FRAMING TO BE 4" PFD UNLESS NOTED OTHERWISE
- ALL LUMBER TO BE MINIMUM 2x12 UNLESS NOTED OTHERWISE
- ALL CONCRETE TO BE A MINIMUM STRENGTH OF 28 MPA, UNLESS NOTED OTHERWISE
- END DRAWINGS WILL SUPERSEDE ALL DESIGN NOTES AND DETAILS
- ALL EXPOSED LUMBER TO BE TREATED WITH AN INDUSTRY APPROVED PRESERVATIVE
- IF NOT SPECIFIED OTHERWISE, REFER TO ADDITIONAL DIMENSIONS IF REQUIRED
- TYPICAL WINDOW & EXTERIOR DOOR HEIGHTS:
BASEMENT: 7'6" x 7'6"
MAIN FLOOR: 7'6" x 7'6"

FLOOR LEGEND:

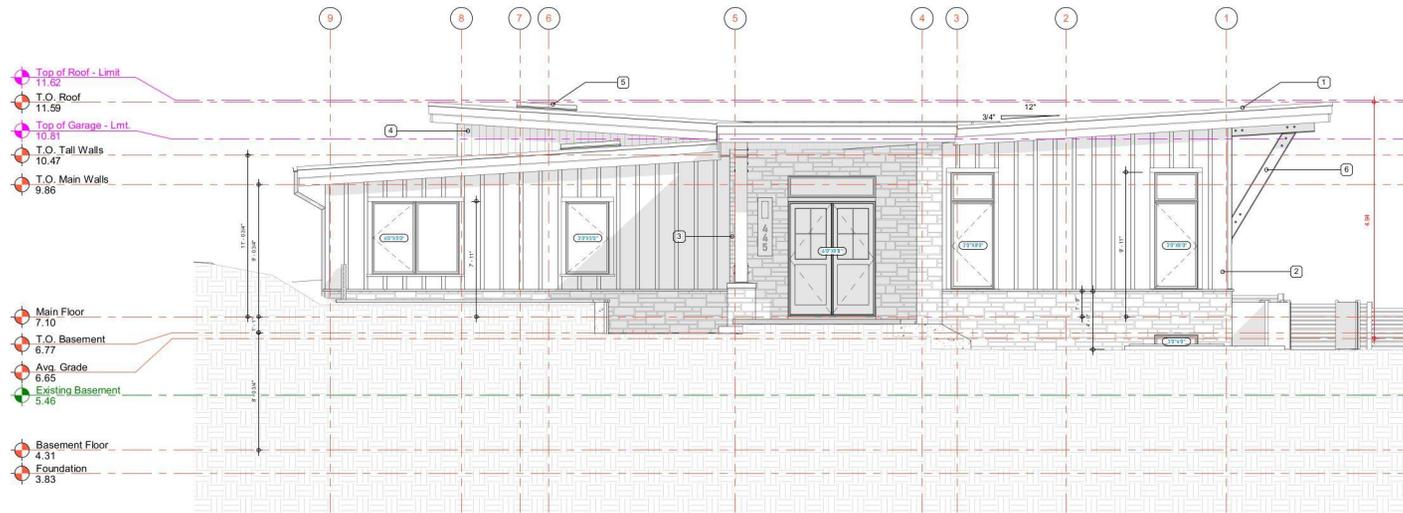
- WALL: ———
- LINE OF ROOF OVER: - - - - -
- LINE OF INTERIOR WALL: - - - - -
- LINE OF FLOOR OVER: - - - - -
- LINE OF WALL BELOW: - - - - -
- POSTICOLUMN: ———
- SHED TRUSS: ———
- ROOF BEAM: ———
- FLOOR BEAM: ———
- SKIRT DETAIL (EQUIPMENT): ———
- ELLECTRICAL: ———
- DOOR DETAIL: ———
- GLASS INTERIOR DOOR SLAB: ———
- HEAVY EXTERIOR DOOR: ———
- WINDOW DETAIL: ———
- DETACHED ROOM OPENING (GLASS): ———
- JOIST/RAFTER SPAN DIRECTION: ———
- ROOM TAG - ID, NAME & AREA: ———

FLOOR AREA CALCULATION:

MAIN FLOOR:	2555 SF
BASEMENT FLOOR:	2237 SF
TOTAL LIVING AREA:	4792 SF
GARAGE AREA:	487 SF
COMPLETE SF:	5279 SF



1 Roof Plan
1/4" = 1'-0"



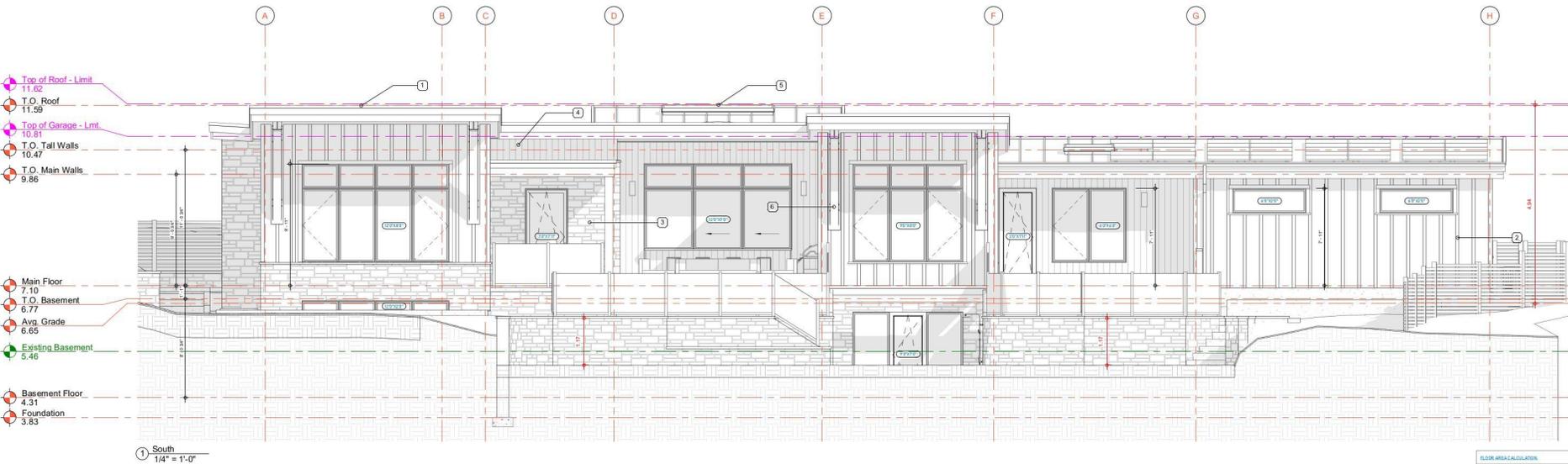
GENERAL FRAMING NOTES:

- 1 ALL FRAMING TO BE IN ACCORDANCE WITH THE CURRENT BUILDING CODE
- 2 ALL LUMBER TO BE SPF 40 OR BETTER UNLESS NOTED OTHERWISE
- 3 DOUBLE END STUDS TO BE USED ON ALL LEVELS OVER 3.0m (10ft) IN SPAN
- 4 ALL WALL AND ROOF FRAMING TO BE 157 PLYWOOD UNLESS NOTED OTHERWISE
- 5 ALL LEVELS TO BE WITHIN ± 3/25 UNLESS NOTED OTHERWISE
- 6 ALL CONCRETE TO BE A MINIMUM 30MP AT 28 DAYS UNLESS NOTED OTHERWISE
- 7 ALL DIMENSIONS WILL BE PERMITTED WITH AN INDUSTRY APPROVED PRESERVATIVE
- 8 IF NOT SHOWN OTHERWISE, REQUIRED ADDITIONAL DIMENSIONS REQUIRED
- 9 TYPICAL WINDOW & EXTERIOR DOOR HEIGHTS:
BASEMENT: 7'0" x 7'0"
MAIN FLOOR: 7'0" x 7'0"

PLAN LEGEND:

- WALL: ———
- LINE OF ROOF OVER: - - - - -
- LINE OF EXTERIOR WALL: - · - · -
- LINE OF FLOOR OVER: - - - - -
- LINE OF WALL BELOW: - - - - -
- POST COLUMN: □
- GRIP TRUSS: ———
- SHIP BEAM: ———
- FLASH BEAM: ———
- DRIVE DETECTOR (EQUIPMENTS ELECTRIC): 6, 6
- DOOR USE TAG: ———
- DEFINITE INTERIOR DOOR SLAB VIEW: ———
- WINDOW USE TAG: ———
- DEFINITE WINDOW OPENING (S.D.): ———
- JUNCTION OF SPAN DIRECTION: ———
- ROOM TAG - D, NAME & AREA: ———

ELEVATION MATERIALS:		EXTERIOR FINISH DETAILS:	
1	STANDING SEAM METAL ROOF	WINDOW TRIM	5/4 X 3 1/2" WINDOW TRIM C/W 2X3 SLOPED SILL
2	FIBRE CEMENT BOARD & BATTEN	DOOR TRIM	5/4 X 3 1/2" DOOR TRIM
3	K2 STONE (ARBUSUS FIELD STONE VENEER)	SOFFIT	CHAMCLAD MODERN 4" SOFFIT C/W CONTINUOUS VENTING
4	CHAMCLAD MODERN 4" SHADOWLINE PANELS	OUTTER	3" ALUMINUM OUTTER
5	SKYLIGHTS	BARRE BOARD	1" BUILT-UP TRIM BOARD (5/4 STOCK 9' 0" x 7' 0" TRIM STACK)
6	CUSTOM I-BEAM KNEE BRACE	FASCIA BOARD	1" BUILT-UP TRIM BOARD (5/4 STOCK 9' 0" x 7' 0" TRIM STACK)



FLOOR AREA CALCULATION:

MAIN FLOOR	235 SF
BASEMENT FLOOR	235 SF
TOTAL LIVING AREA	470 SF
GARAGE AREA	417 SF
COMPLETE SF	887 SF

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PROJECT REQUIREMENTS:

1. It is the sole responsibility of the General Contractor or Owner/Builder to verify all dimensions, measurements, and materials. The General Contractor or Owner/Builder shall verify the design of any items or components identified within this drawing prior to construction. The General Contractor or Owner/Builder shall verify the construction requirements, materials, and methods, including the conditions, and means of construction. Any items not identified or approved for construction shall be verified and approved for construction.
2. All drawings, drawings, and specifications prepared by the designer (including the Designer) shall be used as the final design. The general contractor/owner/developer is responsible for obtaining all necessary permits and approvals of all work. The Designer is not responsible for any items or components identified within this drawing that are not shown or specified in any other drawings or specifications.
3. All work must comply with the latest version of the BC Building Code, local municipal bylaws, and all applicable provincial regulations. All work must comply with all applicable provincial, federal, and local health and safety regulations.
4. All changes to drawings are the responsibility of the General Contractor or Owner/Builder and must be communicated to the Designer and approved in writing by the Designer.
5. The General Contractor or Owner/Builder shall work with an ASCE Licensed Engineer and a SEP (Soil Engineer) to confirm all design, including all environmental considerations, and placement of the proposed structure to be constructed on the site. All work shall be completed in accordance with the design and specifications. The General Contractor or Owner/Builder shall be responsible for all items not shown or specified in any other drawings or specifications.

25Dec12	Issue for DVP

Project:
445 Grafton Street

Sheet Title:
Elevations

Project No.
25001

Sheet No. **A3.1**

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PROJECT REQUIREMENTS:

1. It is the sole responsibility of the General Contractor or Owner/Builder to verify and demonstrate compliance with all applicable codes, ordinances, and regulations of any state. The General Contractor or Owner/Builder shall verify the design of any structure or improvement identified herein. The design shall be prepared for and submitted to the local jurisdiction for review and approval. The General Contractor or Owner/Builder shall verify that all construction requirements are fully satisfied, including any conditions and requests for special design have been verified and are acceptable for construction.
2. All designs, drawings, and specifications prepared by the designer (architect, engineer, etc.) shall be used in the project and shall be the primary design regardless of whether the firm was compensated for such and shall not be used or included in any other work or project.
3. All work shall comply with the latest version of the EC Building Code, local municipal systems, and applicable state and federal regulations. All work shall be completed in accordance with Department of Health and Safety regulations.
4. All designs or drawings are the responsibility of the General Contractor or Owner/Builder and must be submitted to the Designer and applicable authorities for review.
5. The General Contractor or Owner/Builder will work with an AEC/CAD certified preparer and a SEP (as required by certain jurisdictions), with appropriate consideration, and placement of the prepared drawings prior to construction. The firm will verify all drawings are 100% compliant for all jurisdictions in regard to any potentially needed or placed, as applicable, sign of any height, setback, or placement of any structure.

25Dec12	Issue for DVP

Project:
445 Grafton Street

Sheet Title:
Perspectives

Project No.
25001

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A4.1



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PROJECT REQUIREMENTS:

1. It is the sole responsibility of the General Contractor or Owner/Builder to verify and demonstrate compliance with all applicable codes, laws, and regulations of any state, The General Contractor or Owner/Builder shall verify the design of any items or ingredients identified within this design prior to purchase for use with the construction of this Project. Compliance with construction requirements shall include, but not be limited to, all applicable codes, laws, and regulations. All design drawings have been verified and are acceptable for construction.
2. All design, drawings, and specifications prepared by the designer (including all design) shall not be used in the project without the prior written design approval of whether the item was completed for and used in the same way as specified in any other work or project.
3. All work must comply with the latest version of the EC Building Code, local municipal codes, and all applicable state and federal regulations. All items used in construction shall comply with International Building and Safety regulations.
4. All changes or deviations to the responsibility of the General Contractor or Owner/Builder shall be approved by the Designer and applicable regulatory agencies for review.
5. The General Contractor or Owner/Builder shall work with an ASCE Licensed engineer and a SEER (as required by certain standards, with environmental considerations, and placement of the proposed structure) prior to construction of the work. All work shall be in compliance with all applicable codes, laws, and regulations. All design drawings have been verified and are acceptable for construction.

25Dec12	Issue for DVP

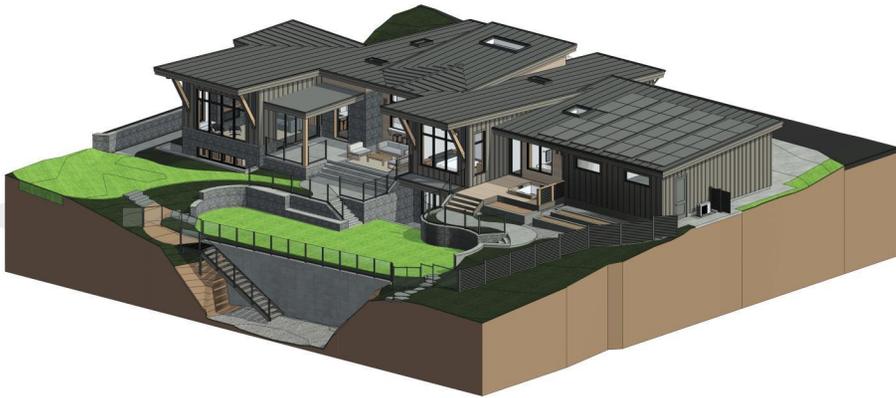
Project:
445 Grafton Street

Sheet Title:
Perspectives

Project No.
25001

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A4.2



PROJECT REQUIREMENTS:

1. It is the sole responsibility of the General Contractor or Owner/Builder to verify and demonstrate compliance with all applicable laws, codes, ordinances, and regulations of any state. The General Contractor or Owner/Builder shall verify the design of any items or regulations identified herein. The design shall be prepared for use with construction methods, materials, and systems as indicated on the Plans. Construction of drawings, existing site conditions, and means of construction shall have been verified and are acceptable for construction.
2. All drawings, drawings, and specifications prepared by the designer (including the Design/Build) shall read as the final contract for the project and design regardless of whether the plan is completed for use and shall not be used or applied in any other Work or Project.
3. All Work shall comply with the latest version of the EC Building Code, local municipal systems, and applicable state and federal regulations. All Work shall be completed in accordance with Occupational Health and Safety regulations.
4. All changes or deviations to the responsibility of the General Contractor or Owner/Builder shall be communicated to Designer and applicable authorities for review.
5. The General Contractor or Owner/Builder shall work with an ASCE Licensed Engineer and a SEER (as required by certain standards), with environmental considerations, and placement of the proposed drawings prior to construction. The Plans, including all drawings, shall be prepared for use in accordance with applicable laws, codes, ordinances, and regulations of any state. The General Contractor or Owner/Builder shall verify the design of any items or regulations identified herein. The design shall be prepared for use with construction methods, materials, and systems as indicated on the Plans. Construction of drawings, existing site conditions, and means of construction shall have been verified and are acceptable for construction.

25Dec12	Issue for DVP

Project:
445 Grafton Street

Sheet Title:
Perspectives

Project No.
25001

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PROJECT REQUIREMENTS:

1. It is the sole responsibility of the General Contractor or Owner/Builder to verify and demonstrate the compliance of any Work. The General Contractor or Owner/Builder shall notify the designer of any errors or omissions identified within the design prior to construction. The designer shall not be responsible for any errors or omissions identified after construction commences unless otherwise stated in writing. The designer shall not be responsible for any errors or omissions identified after construction commences unless otherwise stated in writing.
2. All designs, drawings, and specifications prepared by the designer shall be the property of the designer and shall remain the property of the designer. The designer shall not be responsible for any errors or omissions identified in any other Work or Project.
3. All Work shall comply with the latest version of the BC Building Code, local municipal bylaws, and all applicable codes and regulations. All Work shall be completed in accordance with the Building Code and applicable regulations.
4. All designs and drawings are the responsibility of the General Contractor or Owner/Builder and shall be subject to the Designer's review and approval. The Designer shall not be responsible for any errors or omissions identified in any other Work or Project.
5. The General Contractor or Owner/Builder shall work with an ABCEI certified engineer and a SEP (as required) to confirm structural, wind, and environmental considerations, and placement of the proposed design prior to construction. The Designer shall not be responsible for any errors or omissions identified in any other Work or Project.

25Dec12	Issue for DVP

Project:

445 Grafton Street

Sheet Title:

Existing Site Images

Project No.

25001

Sheet No.

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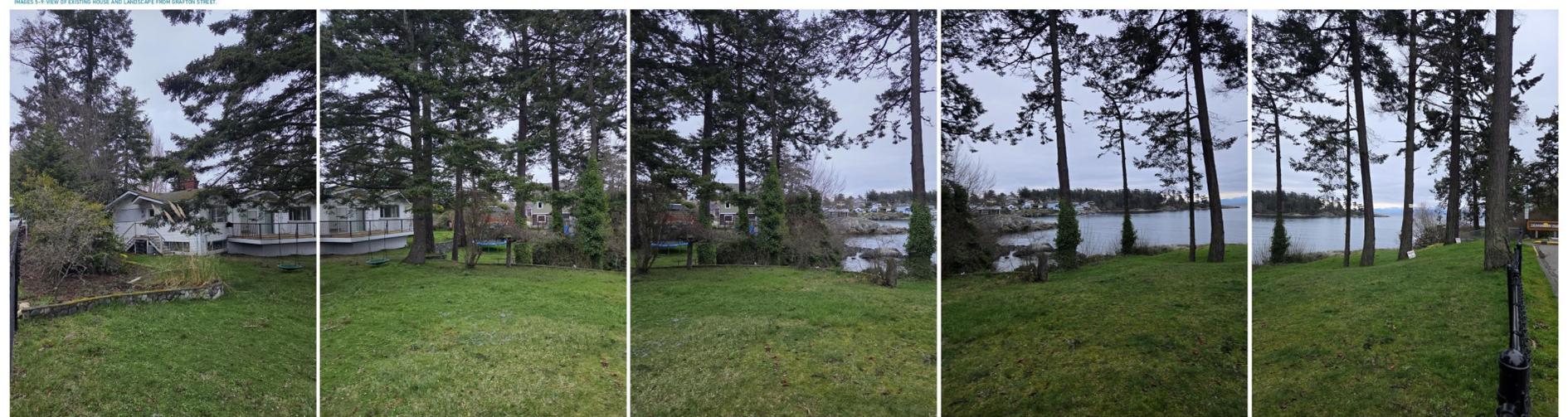


IMAGE #1: VIEW OF EXISTING HOUSE AT THE NORTH PROPERTY LINE

IMAGE #2: VIEW OF EXISTING HOUSE AT THE NORTH WEST CORNER LOOKING SOUTH TOWARDS DENISON PARK

IMAGE #3: VIEW OF EXISTING RETAINING WALL. NEW RAILINGS FOR CODE COMPLIANCE WILL BE PLACED ON TOP.

IMAGE #4: VIEW OF EXISTING HOUSE FROM REAR YARD LOOKING WEST TOWARDS GRAFTON STREET.



IMAGES 5-8: VIEW OF EXISTING HOUSE AND LANDSCAPE FROM GRAFTON STREET.