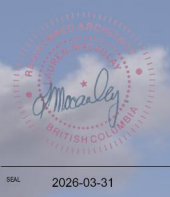


# 1340 SUSSEX & 1337 SAUNDERS

DEVELOPMENT PERMIT PACKAGE  
TOWNSHIP OF ESQUIMALT, BC  
MARCH 30, 2026

- INTRACORP  
Building the Extraordinary
- belmont  
PROPERTIES
- ARCADIS



RENDER FOR REFERENCE ONLY



# APPLICATION OVERVIEW

Belmont Properties and Intracorp are pleased to submit this development application for the properties at 1340 Sussex St. and 1337 Saunders St. The proposal has been shaped based on the guidance provided by the *Official Community Plan* to support the vision, mission, and values important to the community.

The purpose of this application is to allow for the development of a multi-family residential complex, integrating a substantial portion of family-sized units to serve people of all ages and stages of life, resulting in a complete community.

The substantial footprint of the existing parcels allows the redevelopment to propose a significant public park as a community amenity contribution, adding to the Township's stock of Public Parks, notably in a neighborhood which is currently under-served by existing park space.

Community-Serving Commercial Retail is proposed in the spirit of place-making, improving urban vitality of the neighborhood node. Located on the corner of Nelson St and Saunders St, the pedestrian realm is further activated as community users enjoy the amenities of the public park and adjacent neighborhood proposed retail space.

The site is well-served by transit, with the nearby Frequent, Regional, and Local bus routes. To further support transportation mobility, the application proposes additional car-sharing space within the building parkade, as well as high-quality, enhanced bicycle parking to encourage cycling as an additional transportation modality.

We look forward to continuing to shape this proposal with input from the Township of Esquimalt and community, to create a vibrant and robust concept that delivers much needed housing and community amenities to the neighborhood.



view of the blended interface of the public park and the private residences

PRIME CONSULTANT



ARCADIS ARCHITECTS (CANADA) INC.  
1353 Ellis Street - Suite 202  
Nanaimo, BC V1Y 1Z9 Canada  
250 980 3432

www.arcadis.com

**COPYRIGHT**  
This drawing has been prepared solely for the intended use. No any reproduction or distribution for any purpose other than authorized by Arcadis is forbidden. Writers dimensions shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job, and fixtures shall be verified of any variations from the dimensions and conditions shown on this drawing. This drawing shall be controlled by Arcadis for general performance before proceeding with fabrication.

**ISSUES**

No.	DESCRIPTION	DATE
A	REZONING SUBMISSION - RESPONSE TO CITY COMMENTS	2024-09-27
B	DEVELOPMENT PERMIT - RESPONSE TO CITY COMMENTS	2025-11-19
C	DEVELOPMENT PERMIT - RESPONSE TO CITY COMMENTS	2026-03-31

SEAL



2026-03-31

CLIENT



Suite 600 - 550 Burrard Street, Vancouver, BC V6C 2B5

PROJECT TITLE

**SUSSEX & SAUNDERS**

1340 SUSSEX ST., 1337 SAUNDERS ST.,  
ESQUIMALT, BC  
V8A 4Z9

DRAWING TITLE

SCALE: 3/8" = 1'-0"  
DRAWN BY: AM.DD.NT  
CHECKED BY: VT.RA  
PROJECT MANAGERS: DD.CV  
APPROVED BY: LM  
PROJECT NUMBER: ACA\_20250430\_00143037

ISSUE SHEET

**C**

**ISSUES**

No.	DESCRIPTION	DATE
A	REZONING SUBMISSION - RESPONSE TO CITY COMMENTS	2024-09-27
B	DEVELOPMENT PERMIT - RESPONSE TO CITY COMMENTS	2025-11-19
C	DEVELOPMENT PERMIT - RESPONSE TO CITY COMMENTS	2026-03-31

SEAL



2026-03-31

CLIENT



Suite 600 - 550 Burrard Street, Vancouver, BC V6C 2B5

PROJECT TITLE

**SUSSEX & SAUNDERS**

1340 SUSSEX ST, 1337 SAUNDERS ST,  
 ESQUIMALT, BC  
 V8A 4Z9

DRAWING TITLE

SCALE: 3/8" = 1'-0"  
 DRAWN BY: AM.DD.NT  
 CHECKED BY: VT.RA  
 PROJECT MANAGERS: DD.CV  
 APPROVED BY: LM  
 PROJECT NUMBER: ACA\_20250430\_00143037

ISSUE SHEET

**C**



View of the playground and multi-sport court in the proposed public park

# PROJECT TEAM



OWNER

## Belmont Properties

Belmont Properties has been family owned and operated since its founding over 50 years ago. Now in their third generation, Belmont remains committed to the future, providing quality residences for their tenants and creating exceptional communities, while continually looking ahead for avenues of improvement.

Located throughout Victoria and the Lower Mainland, Belmont's properties are professionally maintained and are home to tenants from all walks of life. Belmont Properties takes the utmost pride in each of its properties and have a steadfast commitment to building long-term relationships while providing good housing for its tenants and the highest standards of service.



TRAFFIC  
BUNT & ASSOCIATES



ARBORIST  
TALBOT MACKENZIE & ASSOCIATES



SURVEY  
BENNETT LAND SURVEYING



CIVIL  
J.E. ANDERSON & ASSOCIATES



LANDSCAPE  
LADR LANDSCAPE ARCHITECTS



DEVELOPMENT MANAGER

## Intracorp Homes

For over forty-five years, Intracorp has developed extraordinary homes and we haven't done it alone. Our partnerships with municipalities and key stakeholder groups have been integral to our success, helping build a reputation based on integrity, expertise, and a solid financial foundation. We take pride in adding value to not only the homes we build, but also the communities we build in, and work to bring unique opportunities to our homeowners, residents and partners.



ARCHITECT

## Arcadis Architects Canada

Arcadis is a technology-driven design firm with global planning, engineering, architecture and systems expertise. We work across disciplines to define resilient places through intelligent system sustainable buildings and efficient infrastructure, shaping the way people live move learn and play. In September 2022, IBI Group joined Arcadis, a global leader in the delivery of sustainable design, engineering, and consultancy solutions for natural and built assets. Together, with passionate thinkers, designers, and engineers across 70 countries, the combined strength of Arcadis provides unprecedented opportunities to offer new client solutions while improving quality of life for the communities we serve.

PRIME CONSULTANT



ARCADIS ARCHITECTS (CANADA) INC.  
1353 Ellis Street - Suite 202  
Vancouver, BC V1Y 1Z9 Canada  
250 980 3432

www.arcadis.com

COPYRIGHT

This drawing has been prepared solely for the intended use. No reproduction or distribution for any purpose other than authorized by Arcadis is permitted. Written dimensions shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job, and Arcadis shall be relieved of any variations from the dimensions and conditions shown on this drawing. This drawing shall be controlled by Arcadis for general performance before proceeding with fabrication.

ISSUES

No.	DESCRIPTION	DATE
A	REZONING SUBMISSION - RESPONSE TO CITY COMMENTS	2024-09-27
B	DEVELOPMENT PERMIT - RESPONSE TO CITY COMMENTS	2025-11-19
C	DEVELOPMENT PERMIT - RESPONSE TO CITY COMMENTS	2026-03-31

SEAL



2026-03-31

CLIENT



Suite 600 - 550 Burrard Street, Vancouver, BC V6C 2B5

PROJECT TITLE

## SUSSEX & SAUNDERS

1340 SUSSEX ST. 1337 SAUNDERS ST.  
ESQUIMALT, BC  
V8A 4Z9

DRAWING TITLE

SCALE: 3/8" = 1'-0"  
DRAWN BY: AM.DD.NT  
CHECKED BY: VT.RA  
PROJECT MANAGERS: DD.CV  
APPROVED BY: LM  
PROJECT NUMBER: ACA\_2025R438\_00143037

ISSUE SHEET

C

# TABLE OF CONTENTS / SHEET LIST

## 1/ SITE CONTEXT

DP.00.01	LOCATION
DP.00.02	NEIGHBORING USES
DP.00.03	LOCAL PARKS & GREENSPACES
DP.00.04	MOBILITY NETWORK

## 2/ DESIGN RATIONALE

DP.01.00	CREATING A COMMUNITY HUB
DP.01.01	PUBLIC PARK
DP.01.02	MULTI-PURPOSE SPORTS COURT & CHILDREN'S PLAY AREA
DP.01.03	BLENDED AMENITY & PUBLIC SPACES
DP.01.04	NEIGHBORHOOD-SERVING RETAIL
DP.01.05	IMPROVING THE STREETScape
DP.01.06	TRANSPORTATION DEMAND MANAGEMENT
DP.01.07	MASSING ARTICULATION
DP.01.08	FORM + CHARACTER
DP.01.09	MATERIAL BOARD

## 3/ DESIGN GUIDELINES

DP.02.00	DEVELOPMENT TABLE
DP.02.01	POLICY FRAMEWORK
DP.02.02	LAND USES
DP.02.03	OFFICIAL COMMUNITY PLAN
DP.02.04	DEVELOPMENT PERMIT AREA GUIDELINES

## 4/ ARCHITECTURAL DRAWING SET

DP.03.00	STATISTICS	DP.30.00	NORTH ELEVATION
DP.03.01	SITE COVERAGE	DP.30.01	SOUTH ELEVATION
DP.03.02	FAR PLANS	DP.30.02	EAST ELEVATION
DP.03.03	FAR PLANS	DP.30.03	WEST ELEVATION
		DP.31.00	ENLARGED ELEVATIONS
DP.10.00	SITE SURVEY PLAN		
DP.10.01	SITE PLAN	DP.32.00	BUILDING SECTION 1
DP.10.02	SITE SECTIONS	DP.32.01	BUILDING SECTION 2
DP.10.03	SITE SECTIONS	DP.32.02	BUILDING SECTION 3
DP.10.04	SITE SECTIONS	DP.32.03	BUILDING SECTION 4
DP.10.05	STREETSCAPES		
DP.10.06	SHADOW STUDIES	DP.40.00	ENLARGED PLAN - BIKE ROOM
		DP.40.01	ENLARGED PLAN - GARBAGE ROOMS
DP.20.00	P3 FLOOR PLAN		
DP.20.01	P2 FLOOR PLAN		
DP.20.02	LEVEL 01 FLOOR PLAN		
DP.20.03	LEVEL 02 FLOOR PLAN		
DP.20.04	LEVEL 03 FLOOR PLAN		
DP.20.05	LEVEL 04 FLOOR PLAN		
DP.20.06	LEVEL 05 FLOOR PLAN		
DP.20.07	LEVEL 06 FLOOR PLAN		
DP.20.08	LEVEL 07-21 FLOOR PLAN		
DP.20.09	MECHANICAL PH FLOOR PLAN		
DP.20.10	ROOF PLAN		

PRIME CONSULTANT



ARCADIS ARCHITECTS (CANADA) INC.  
1353 Ellis Street - Suite 202  
Vancouver, BC V1Y 1Z9 Canada  
250 980 3432

www.arcadis.com

**COPYRIGHT**  
This drawing has been prepared solely for the intended use. No any reproduction or distribution for any purpose other than authorized by Arcadis is forbidden. Writers dimensions shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job, and fixtures shall be reviewed of any variations from the dimensions and conditions shown on this drawing. This drawing shall be controlled by Arcadis for general performance before proceeding with fabrication.

ISSUES

No.	DESCRIPTION	DATE
A	REZONING SUBMISSION - RESPONSE TO CITY COMMENTS	2024-09-27
B	DEVELOPMENT PERMIT - RESPONSE TO CITY COMMENTS	2025-11-19
C	DEVELOPMENT PERMIT - RESPONSE TO CITY COMMENTS	2026-03-31

SEAL



2026-03-31

CLIENT



Suite 600 - 550 Burrard Street, Vancouver, BC V6C 2B5

PROJECT TITLE

**SUSSEX & SAUNDERS**

1340 SUSSEX ST, 1337 SAUNDERS ST,  
ESQUIMALT, BC  
V8A 4Z9

DRAWING TITLE

SCALE: 3/8" = 1'-0"  
DRAWN BY: AM.DD.NT  
CHECKED BY: VT.RA  
PROJECT MANAGERS: DD.CV  
APPROVED BY: LM  
PROJECT NUMBER: ACA\_2025R438\_00143037

ISSUE SHEET

**C**



# 1/SITE CONTEXT

PRIME CONSULTANT



ARCADIS ARCHITECTS (CANADA) INC.  
1353 Ellis Street - Suite 202  
Vancouver, BC V1Y 1Z9 Canada  
250 960 3432

www.arcadis.com

**COPYRIGHT**  
This drawing has been prepared solely for the intended use. No other reproduction or distribution for any purpose other than authorized by Arcadis is forbidden. Where dimensions shall vary, measurements over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job, and Arcadis shall be relieved of any variations from the dimensions and conditions shown on this drawing. This drawing shall be controlled by Arcadis by general correspondence before proceeding with fabrication.

**ISSUES**

No.	DESCRIPTION	DATE
A	REZONING SUBMISSION - RESPONSE TO CITY COMMENTS	2024-09-27
B	DEVELOPMENT PERMIT	2025-11-19
C	DEVELOPMENT PERMIT - RESPONSE TO CITY COMMENTS	2026-03-31

SCALE



2026-03-31

CLIENT

**INTRACORP**  
Building the Extraordinary

Suite 600 - 550 Burrard Street, Vancouver, BC V6C 2B5

PROJECT TITLE

**SUSSEX & SAUNDERS**

1340 SUSSEX ST., 1337 SAUNDERS ST.,  
ESQUIMALT, BC  
V8A 4Z9

DRAWING TITLE

SCALE: 3/8" = 1'-0"  
DRAWN BY: AM, DD, NT  
CHECKED BY: VT, RA  
PROJECT MANAGERS: DD, CV  
APPROVED BY: LM  
PROJECT NUMBER: ACA\_2025K438\_00143037

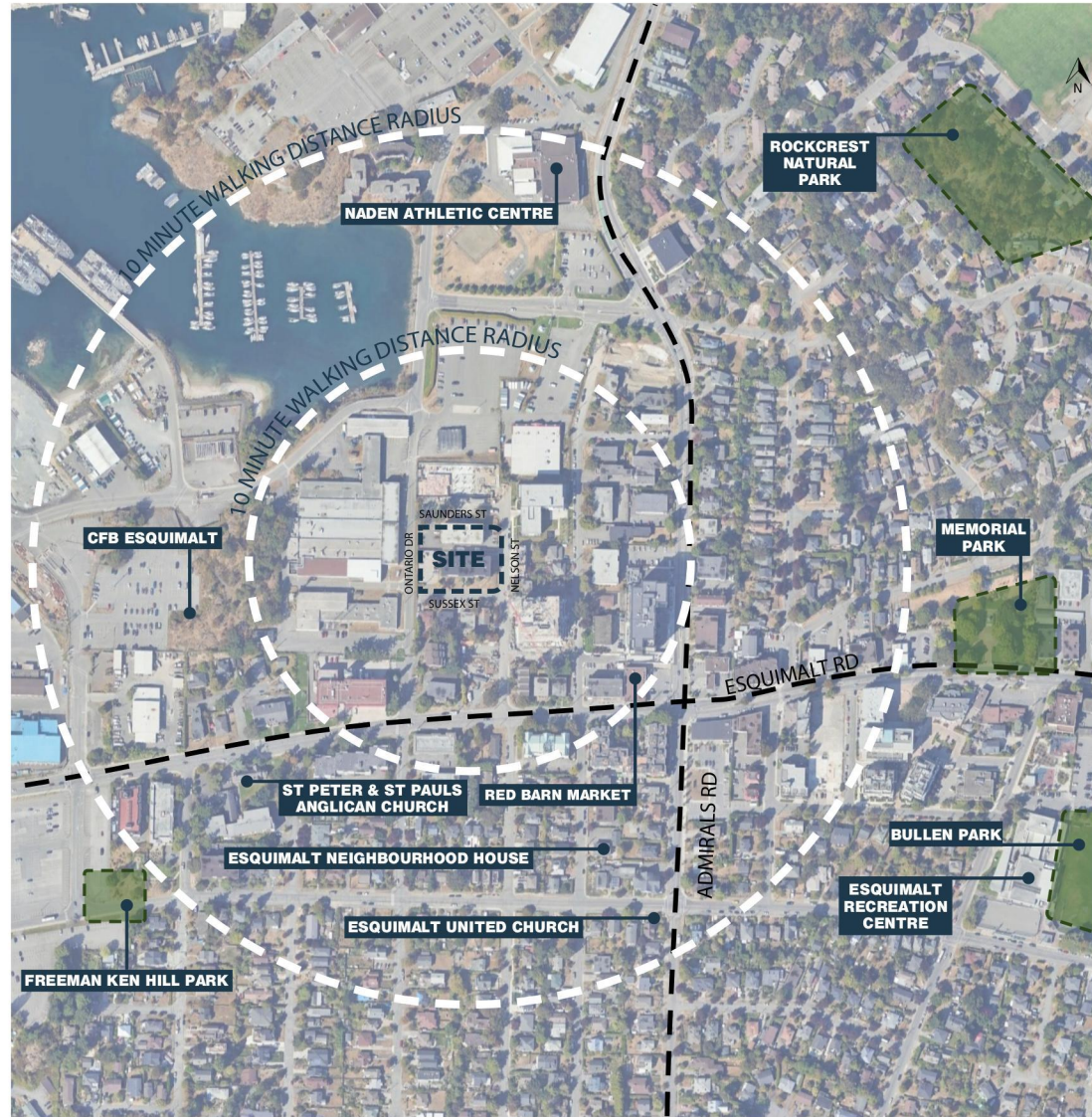
ISSUE SHEET

**C**

# 1.1 LOCATION

The proposed redevelopment is located at 1340 Sussex Street and 1337 Saunders Street in Esquimalt, BC. The site is in close proximity to a wide offering of community amenities and the major transit networks along Admirals and Esquimalt Roads. It also borders CFB to the west. From its quieter backstreets location, residents can find themselves at local markets and grocers, coffee shops and restaurants, pharmacies and other health and wellness providers within a ten-minute walk. And within a fifteen minute walk, there are parks, a public library, many recreational facilities, more notably the Esquimalt Recreation Centre, the Archie Browning Sports Centre, the Esquimalt Plaza Shopping Mall, and many other smaller retail stores and services.

- Site Property Line
- Main Roads
- Private Road



ISSUES	No.	DESCRIPTION	DATE
A	REZONING SUBMISSION - RESPONSE TO CITY COMMENTS	2024-09-27	
B	DEVELOPMENT PERMIT - RESPONSE TO CITY COMMENTS	2024-11-13	
C	DEVELOPMENT PERMIT - RESPONSE TO CITY COMMENTS	2024-03-31	

SEAL



2026-03-31

CLIENT

**INTRACORP**  
 Building the Extraordinary

Suite 600 - 550 Burrard Street, Vancouver, BC V6C 2B5

PROJECT TITLE  
**SUSSEX & SAUNDERS**

1340 SUSSEX ST., 1337 SAUNDERS ST.,  
 ESQUIMALT, BC  
 V8A 4Z9

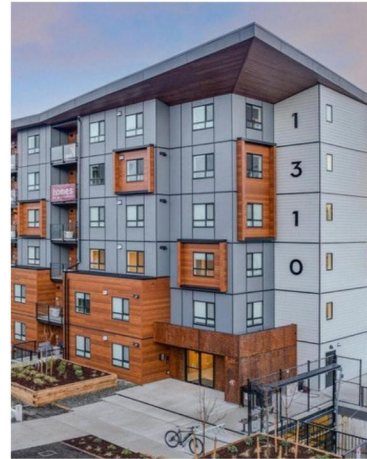
DRAWING TITLE

SCALE: 3/8" = 1'-0"  
 DRAWN BY: AM, DD, NT  
 CHECKED BY: VT, RA  
 PROJECT MANAGERS: DL, CV  
 APPROVED BY: LM  
 PROJECT NUMBER: ACA\_20250430\_00143037

ISSUE: **C** SHEET: **DP00.01**

# 1.2 NEIGHBORING USES

The proposed redevelopment is the centerpiece of an up-and-coming community of mixed-use residential apartments. To the north lies the six-storey harbourscape development; to the east are the Constance and Lighthouse developments, with six and ten storeys respectively. A proposal for another six-storey development is also planned to the south of the site. Flanking the neighborhood to the west across Ontario street is the Naval fleet school.



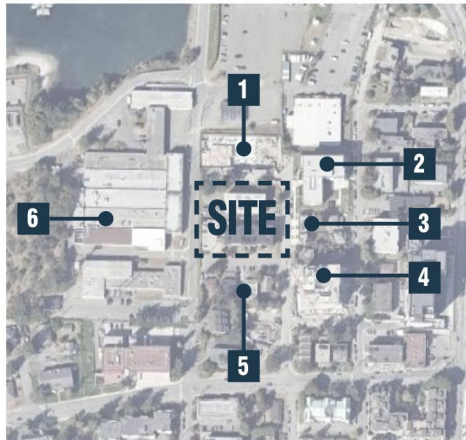
1/HARBOURSCAPE



2/CONSTANCE



3/633 NELSON ST.



4/LIGHTHOUSE



5/FUTURE DEVELOPMENT



6/NAVAL FLEET SCHOOL



PRIME CONSULTANT



ARCADIS ARCHITECTS (CANADA) INC.  
1353 Ellis Street - Suite 202  
Vancouver, BC V1Y 1Z9 Canada  
250 980 3432

www.arcadis.com

**COPYRIGHT**  
This drawing has been prepared solely for the intended use. No other reproduction or distribution for any purpose other than authorized by Arcadis is forbidden. Without limitation, neither the drawings nor the dimensions and conditions on the job, and liability shall be limited of any variations from the dimensions and conditions shown on this drawing. This drawing shall be controlled by Arcadis for general performance before proceeding with fabrication.

ISSUES	No.	DESCRIPTION	DATE
A	REZONING SUBMISSION - RESPONSE TO CITY COMMENTS	2024-09-27	
B	DEVELOPMENT PERMIT - RESPONSE TO CITY COMMENTS	2025-13-13	
C	DEVELOPMENT PERMIT - RESPONSE TO CITY COMMENTS	2026-03-31	

SEAL



2026-03-31

CLIENT



Suite 600 - 550 Burrard Street, Vancouver, BC V6C 2B5

PROJECT TITLE  
**SUSSEX & SAUNDERS**

1340 SUSSEX ST., 1337 SAUNDERS ST.  
ESQUIMALT, BC  
V8A 4Z9

DRAWING TITLE

SCALE: 3/8" = 1'-0"  
DRAWN BY: AM.DD.NT  
CHECKED BY: VT.RA  
PROJECT MANAGERS: DD.CV  
APPROVED BY: LM  
PROJECT NUMBER: ACA\_20250430\_00143037

ISSUE SHEET  
**C DP00.02**

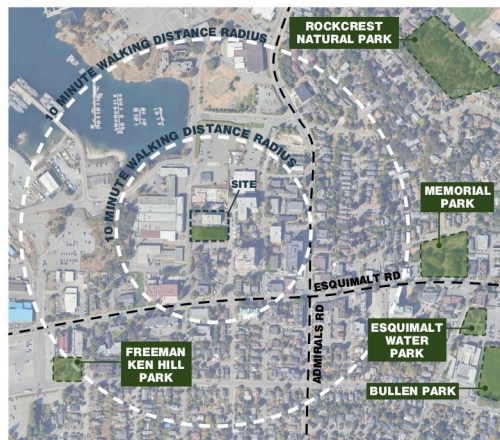
# 1.3 LOCAL PARKS AND GREENSPACES

## FILLING IN THE GAP

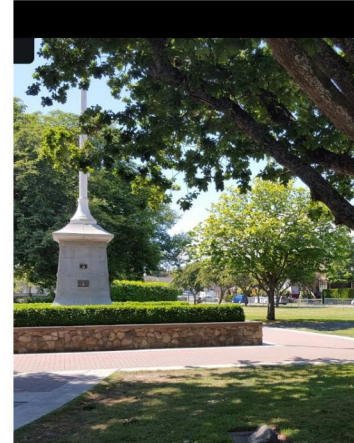
In response to Township of Esquimalt OCP - Section 10: Parks, Recreation & Trails

The application acknowledges the Township's policy goals of developing a network of parks and open spaces that meet both Township wide and local area user needs.

The proposed Public Park located within the existing site boundaries, supports this policy by adding a new public park node near the subject neighborhood, further expanding the Township's public park network.



1/ROCKCREST NATURAL PARK



2/MEMORIAL PARK



3/FREEMAN KEN HILL PARK

## PROPOSED PUBLIC PARK



PRIME CONSULTANT



ARCADIS ARCHITECTS (CANADA) INC.  
1353 Ellis Street - Suite 202  
Nanaimo BC V1Y 1Z9 Canada  
250 980 3432

www.arcadis.com

**COPYRIGHT**  
This drawing has been prepared solely for the intended use. No any reproduction or distribution for any purpose other than authorized by Arcadis is forbidden. Where dimensions shall have pre-eminence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job, and fixtures shall be confirmed of any variations from the dimensions and conditions shown on this drawing. This drawing shall be controlled by Arcadis for general performance before proceeding with fabrication.

ISSUES	No.	DESCRIPTION	DATE
A	REZONING SUBMISSION - RESPONSE TO CITY COMMENTS	2024-09-27	
B	DEVELOPMENT PERMIT - RESPONSE TO CITY COMMENTS	2025-13-19	
C	DEVELOPMENT PERMIT - RESPONSE TO CITY COMMENTS	2026-03-31	

SEAL



2026-03-31

CLIENT

**INTRACORP**  
Building the Extraordinary

Suite 600 - 550 Burrard Street, Vancouver, BC V6C 2B5

PROJECT TITLE  
**SUSSEX & SAUNDERS**

1340 SUSSEX ST., 1337 SAUNDERS ST.,  
ESQUIMALT, BC  
V8A 4Z9

DRAWING TITLE

SCALE: 3/8" = 1'-0"  
DRAWN BY: AM.DD.NT  
CHECKED BY: VT.RA  
PROJECT MANAGERS: DD.CV  
APPROVED BY: LM  
PROJECT NUMBER: ACA\_2025K438\_00143037

ISSUE

SHEET

**C DP00.03**

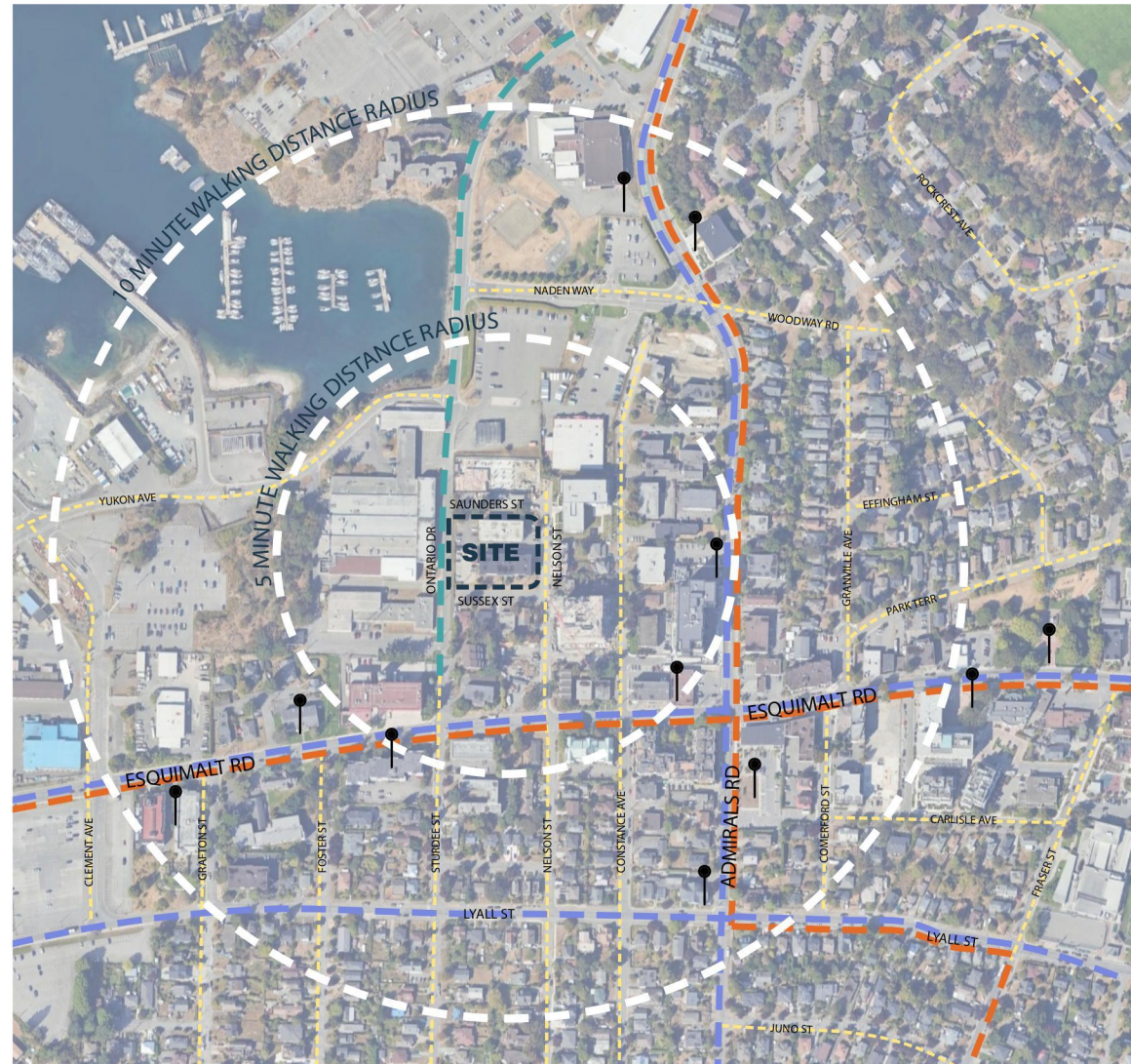
# 1.4 MOBILITY NETWORK

Esquimalt Road is the main arterial thoroughfare and connector in the area. It is served by bus routes 15, 26, and 46, each offering varying levels of frequency according to their designation as Frequent, Regional, or Local Route. These routes are generally accessible within a five-minute walking radius of the proposed development.

Additionally, Admirals Road features a bike lane and shoulder bikeway extending north-south, located just two blocks to the east. Esquimalt Road also supports cycling through its own east-west bike lane and shoulder bikeway capacity.

As part of redevelopment, new off-site sidewalks and street furniture will improve cyclist and pedestrian safety around the site area.

- Site Property Line
- Cycling Route
- Transit Routes (Frequent, regional, local)
- Transit Stops
- Existing Roads
- Private Road



ISSUES	No.	DESCRIPTION	DATE
A	REZONING SUBMISSION - RESPONSE TO CITY COMMENTS	2024-09-27	
B	DEVELOPMENT PERMIT - RESPONSE TO CITY COMMENTS	2025-13-10	
C	DEVELOPMENT PERMIT - RESPONSE TO CITY COMMENTS	2025-03-31	

SEAL



2026-03-31

CLIENT

**INTRACORP**  
 Building the Extraordinary

Suite 600 - 550 Burrard Street, Vancouver, BC V6C 2B5

PROJECT TITLE  
**SUSSEX & SAUNDERS**

1340 SUSSEX ST., 1337 SAUNDERS ST.,  
 ESQUIMALT, BC  
 V8A 4Z9

DRAWING TITLE

SCALE: 3/8" = 1' 0"  
 DRAWN BY: AM.DD.NT  
 CHECKED BY: VT.RA  
 PROJECT MANAGERS: DD.CV  
 APPROVED BY: LM  
 PROJECT NUMBER: ACA\_2025K438\_00143037

ISSUE SHEET  
**C DP00.04**

# 2/DESIGN RATIONALE

PRIME CONSULTANT



ARCADIS ARCHITECTS (CANADA) INC.  
1353 Ellis Street - Suite 202  
Vancouver, BC V1Y 1Z9 Canada  
250 960 3432

www.arcadis.com

**COPYRIGHT**  
This drawing has been prepared solely for the intended use. No reproduction or distribution for any purpose other than authorized by Arcadis is permitted. Where dimensions shall have pre-eminence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job, and Arcadis shall be relieved of any variations from the dimensions and conditions shown on this drawing. This drawing shall be governed by Arcadis' general performance before proceeding with fabrication.

**ISSUES**

No.	DESCRIPTION	DATE
A	REZONING SUBMISSION - RESPONSE TO CITY COMMENTS	2024-09-27
B	DEVELOPMENT PERMIT	2025-11-19
C	DEVELOPMENT PERMIT - RESPONSE TO CITY COMMENTS	2026-03-31

SCALE



2026-03-31

CLIENT

**INTRACORP**  
Building the Extraordinary

Suite 600 - 550 Burrard Street, Vancouver, BC V6C 2B5

PROJECT TITLE

**SUSSEX & SAUNDERS**

1340 SUSSEX ST., 1337 SAUNDERS ST.,  
ESQUIMALT, BC  
V8A 4Z9

DRAWING TITLE

SCALE: 3/8" = 1'-0"  
DRAWN BY: AM.DD.NT  
CHECKED BY: VT.RA  
PROJECT MANAGER(S): DM.CV  
APPROVED BY: LM  
PROJECT NUMBER: ACA\_2025K438\_00143037

ISSUE

SHEET

**C DP00.00**

# 2.1 CREATING A COMMUNITY HUB

The proposed development contains a variety of community oriented amenities that allow both the private and public to enjoy. The expansive, beautifully landscaped public park and neighbourhood-serving commercial retail are located on the traffic-heavy corner of the site. Additionally, the project includes a diverse unit mix, including family-sized units with

spacious balconies that connect residents with views of the waterfront and the public park. The project is accessible and well connected to transit.

As a result, the building, park, and commercial spaces all blend together to create a homogeneous mix of activity and lively community energy.



view showcasing materiality of the building as well as the public park's materiality and functionality

PRIME CONSULTANT



ARCADIS ARCHITECTS (CANADA) INC.  
1353 Ellis Street - Suite 202  
Vancouver, BC V1Y 1Z9 Canada  
250 960 3432

www.arcadis.com

**COPYRIGHT**  
This drawing has been prepared solely for the intended use. No reproduction or distribution for any purpose other than authorized by Arcadis is forbidden. Where dimensions shall have preeminence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job, and fixtures shall be confirmed of any variations from the dimensions and conditions shown on this drawing. This drawing shall be controlled by Arcadis for general conformance before proceeding with fabrication.

ISSUES

No.	DESCRIPTION	DATE
A	REZONING SUBMISSION - RESPONSE TO CITY COMMENTS	2024-09-27
B	DEVELOPMENT PERMIT - RESPONSE TO CITY COMMENTS	2025-11-19
C	DEVELOPMENT PERMIT - RESPONSE TO CITY COMMENTS	2026-03-31

SEAL



2026-03-31

CLIENT



Suite 600 - 550 Burrard Street, Vancouver, BC V6C 2B5

PROJECT TITLE

**SUSSEX & SAUNDERS**

1340 SUSSEX ST, 1337 SAUNDERS ST,  
ESQUIMALT, BC  
V8A 4Z9

DRAWING TITLE

SCALE: 3/8" = 1'-0"  
DRAWN BY: AM.DD.NT  
CHECKED BY: VT.RA  
PROJECT MANAGERS: DD.CV  
APPROVED BY: LM  
PROJECT NUMBER: ACA\_2025K438\_00143037

ISSUE

SHEET

**C DP01.00**

## 2.2 PUBLIC PARK

The application allows for a significant contribution to the Township's public park network by proposing a substantial public park along the Sussex Street frontage, spanning the entire width of the site.

The park is intended to be multi-functional, supporting a variety of uses. Notably, it is anchored by a large pirate-ship playground structure, which is a nod to the neighboring context of the Canadian Forces Base Esquimalt shipyard. Additional sensory play elements are incorporated to support a full range of children's activities, as well as a multi-purpose sports court.

Lawn areas, a learning garden, decorative landscaping, and stepped seating provide additional opportunities for people of all ages and stages of life to enjoy the park and foster social connection.

The focal point of the landscape design is the park located on the southern half of the site. Because it connects directly to the building and blends the private and public realms, care has been taken to ensure a clear visual delineation between private amenity patios and the adjacent public green space.



plan view render of the public park landscape design



view of the blended interface of the public park and the private residences

PRIME CONSULTANT



ARCADIS ARCHITECTS (CANADA) INC.  
1353 Ellis Street - Suite 202  
Nanaimo, BC V1Y 1Z9 Canada  
250 980 3432

www.arcadis.com

**COPYRIGHT**  
This drawing has been prepared solely for the intended use. No reproduction or distribution for any purpose other than authorized by Arcadis is permitted. Without limitation, no part of this drawing shall be used for any other project, in whole or in part, without the prior written consent of Arcadis. The drawing shall be controlled by Arcadis for general performance before proceeding with fabrication.

**ISSUES**

No.	DESCRIPTION	DATE
A	REZONING SUBMISSION - RESPONSE TO CITY COMMENTS	2024-09-27
B	DEVELOPMENT PERMIT - RESPONSE TO CITY COMMENTS	2025-11-19
C	DEVELOPMENT PERMIT - RESPONSE TO CITY COMMENTS	2026-03-31

SEAL



2026-03-31

CLIENT

**INTRACORP**  
Building the Extraordinary

Suite 600 - 550 Burrard Street, Vancouver, BC V6C 2B5

PROJECT TITLE

**SUSSEX & SAUNDERS**

1340 SUSSEX ST., 1337 SAUNDERS ST.,  
ESQUIMALT, BC  
V8A 4Z9

DRAWING TITLE

SCALE: 3/8" = 1'-0"  
DRAWN BY: AM.DD.NT  
CHECKED BY: VT.RA  
PROJECT MANAGERS: DD.CV  
APPROVED BY: LM  
PROJECT NUMBER: ACA\_2025K438\_00143037

ISSUE

SHEET

**C DP01.01**

## 2.3 MULTI-PURPOSE SPORTS COURT & CHILDREN'S PLAY AREA

Our proposed expansive public park is designed to be an inclusive, vibrant space that caters to a wide variety of individuals and interests. The park will feature a thoughtfully designed multi-purpose court for the community to be able to participate in an array of activities. The children's play area is designed with safety and security and fun in mind to allow children to play freely and develop a memorable relationship with the space and the community. These amenities aim to provide spaces of play and vibrancy for all members of the community.



offering an important amenity to the spacious public park while ensuring a uniform and elegant design

PRIME CONSULTANT



ARCADIS ARCHITECTS (CANADA) INC.  
1353 Ellis Street - Suite 202  
Vancouver, BC V1Y 1Z9 Canada  
250 980 3432

www.arcadis.com

**COPYRIGHT**  
This drawing has been prepared solely for the intended use. No reproduction or distribution for any purpose other than authorized by Arcadis is permitted. Where dimensions shall have pre-eminence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job, and Arcadis shall be relieved of any variations from the dimensions and conditions shown on this drawing. This drawing shall be controlled by Arcadis for general performance before proceeding with fabrication.

### ISSUES

No.	DESCRIPTION	DATE
A	REZONING SUBMISSION - RESPONSE TO CITY COMMENTS	2024-09-27
B	DEVELOPMENT PERMIT - RESPONSE TO CITY COMMENTS	2024-12-19
C	DEVELOPMENT PERMIT - RESPONSE TO CITY COMMENTS	2024-03-31

SEAL



2026-03-31

CLIENT

**INTRACORP**  
Building the Extraordinary

Suite 600 - 550 Burrard Street, Vancouver, BC V6C 2B5

PROJECT TITLE

**SUSSEX & SAUNDERS**

1340 SUSSEX ST., 1337 SAUNDERS ST.  
ESQUIMALT, BC  
V8A 4Z9

DRAWING TITLE

SCALE: 3/8" = 1'-0"  
DRAWN BY: AM.DD.NT  
CHECKED BY: VT.RA  
PROJECT MANAGERS: DO.CV  
APPROVED BY: LM  
PROJECT NUMBER: ACA\_2025K438\_00143037

ISSUE

SHEET

**C DP01.02**

# 2.4 BLENDED AMENITY & PUBLIC SPACES

The focal point of the landscape design is the park located on the southern half of the site. Because the park connects directly to the building and blends the private and public realms, care has been taken to ensure a clear visual delineation between private amenity patio spaces and the adjacent public green space. Raised planters create a firm border that can support trees, and are softened by berms of tall grasses, forming a gently sloped backdrop that clearly distinguishes private and public areas.

At the same time, the design intentionally intertwines private and public spaces to encourage activation of the park. Building amenities and patio spaces adjacent to the park can spill out visually and functionally into the public realm, creating opportunities for casual social interaction and giving the park a lively, community-oriented feel.



view of the blended interface of the public park and the private residences

PRIME CONSULTANT



ARCADIS ARCHITECTS (CANADA) INC.  
1353 Ellis Street - Suite 202  
Vancouver, BC V1Y 1Z9 Canada  
250 980 3432

www.arcadis.com

**COPYRIGHT**

This drawing has been prepared solely for the intended use. No reproduction or distribution for any purpose other than authorized by Arcadis is permitted. Where dimensions shall have pre-eminence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job, and liability shall be retained by any variations from the dimensions and conditions shown on this drawing. This drawing shall be controlled by Arcadis for general performance before proceeding with fabrication.

**ISSUES**

No.	DESCRIPTION	DATE
A	REZONING SUBMISSION - RESPONSE TO CITY COMMENTS	2024-09-27
B	DEVELOPMENT PERMIT - RESPONSE TO CITY COMMENTS	2025-11-19
C	DEVELOPMENT PERMIT - RESPONSE TO CITY COMMENTS	2026-03-31

SEAL



2026-03-31

CLIENT



Suite 600 - 550 Burrard Street, Vancouver, BC V6C 2B5

PROJECT TITLE

**SUSSEX & SAUNDERS**

1340 SUSSEX ST., 1337 SAUNDERS ST.,  
ESQUIMALT, BC  
V8A 4Z9

DRAWING TITLE

SCALE: 3/8" = 1'-0"  
DRAWN BY: AM.DD.NT  
CHECKED BY: VT.RA  
PROJECT MANAGERS: DD.CV  
APPROVED BY: LM  
PROJECT NUMBER: ACA\_2025K438\_00143037

ISSUE

SHEET

**C DP01.03**

# 2.5 NEIGHBORHOOD-SERVING RETAIL

The community-serving retail node responds to the increased density in the area, creating opportunities for both new and existing residents to stay and play within their own neighborhood. The envisioned retail environment is designed to be inviting, located on the corner to maximize visibility and provide seating options both indoors and outdoors. Improved pedestrian sidewalks, street furniture, and lighting will further enhance the retail node, promoting a sense of security and encouraging streetscape activity.



view showing the project's proposed commercial node and activating the corner of Nelson st. and Saunderson St.

PRIME CONSULTANT



ARCADIS ARCHITECTS (CANADA) INC.  
1353 Ellis Street - Suite 202  
Vancouver, BC V1Y 1Z9 Canada  
250 980 3432

www.arcadis.com

**COPYRIGHT**  
This drawing has been prepared solely for the intended use. No reproduction or distribution for any purpose other than authorized by Arcadis is forbidden. Where dimensions shall have pre-eminence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job, and location shall be verified of any variations from the dimensions and conditions shown on this drawing. This drawing shall be governed by Arcadis' general performance before proceeding with fabrication.

**ISSUES**

No.	DESCRIPTION	DATE
A	REZONING SUBMISSION - RESPONSE TO CITY COMMENTS	2024-09-27
B	DEVELOPMENT PERMIT - RESPONSE TO CITY COMMENTS	2024-11-19
C	DEVELOPMENT PERMIT - RESPONSE TO CITY COMMENTS	2024-03-31

SCALE



2026-03-31

CLIENT

**INTRACORP**  
Building the Extraordinary

Suite 600 - 550 Burrard Street, Vancouver, BC V6C 2B5

PROJECT TITLE

**SUSSEX & SAUNDERS**

1340 SUSSEX ST., 1337 SAUNDERS ST.,  
ESQUIMALT, BC  
V8A 4Z9

DRAWING TITLE

SCALE: 3/8" = 1'-0"  
DRAWN BY: AM.DD.NT  
CHECKED BY: VT.RA  
PROJECT MANAGERS: DD.CV  
APPROVED BY: LM  
PROJECT NUMBER: ACA\_20250430\_00143037

ISSUE

SHEET

**C DP01.04**

# 2.6 IMPROVING THE STREETScape

The proposed redevelopment significantly enhances the streetscape along Sussex Street by introducing a vibrant and multi-functional public realm. A substantial public park forms the centerpiece of the site frontage, offering lawn areas, decorative landscaping, stepped seating, and a large playground. These features create an inviting and accessible green space for residents of all ages and serve as a visual anchor for the neighbourhood, contributing to a stronger sense of place.

Corner retail spaces help bring life and activity to the streetscape, offering destinations that naturally draw residents and visitors into the area. Their prominent location on the corner maximizes visibility and strengthens the connection between the building and the surrounding neighbourhood, creating a welcoming and dynamic street edge.

The public realm improvements surrounding the site, including pedestrian-friendly sidewalks, street furniture, and lighting, enhance safety, comfort, and accessibility. Combined with private amenity patios that visually and functionally connect to the park, these features encourage casual social interaction and foster a strong sense of community. Together, the park, retail, and public realm enhancements create a streetscape that is lively, inviting, and reflective of the community's needs.



PLACING ACTIVE USES ALONG NELSON



CREATING PLACES TO GATHER AND BE ACTIVE



INCREASING NEIGHBORHOOD VEGETATION

PRIME CONSULTANT



ARCADIS ARCHITECTS (CANADA) INC.  
1353 Ellis Street - Suite 202  
Vancouver, BC V1Y 1Y1 129 Canada  
250 980 3432

www.arcadis.com

**COPYRIGHT**  
This drawing has been prepared solely for the intended use. No other reproduction or distribution for any purpose other than authorized by Arcadis is forbidden. Without permission, no part of this drawing shall be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system. The drawings shall be controlled by Arcadis for general performance before proceeding with fabrication.

**ISSUES**

No.	DESCRIPTION	DATE
A	REZONING SUBMISSION - RESPONSE TO CITY COMMENTS	2024-09-27
B	DEVELOPMENT PERMIT - RESPONSE TO CITY COMMENTS	2025-11-19
C	DEVELOPMENT PERMIT - RESPONSE TO CITY COMMENTS	2026-03-31

SCALE



2026-03-31

CLIENT



Suite 600 - 550 Burrard Street, Vancouver, BC V6C 2B5

PROJECT TITLE

**SUSSEX & SAUNDERS**

1340 SUSSEX ST., 1337 SAUNDERS ST.,  
ESQUIMALT, BC  
V8A 4Z9

DRAWING TITLE

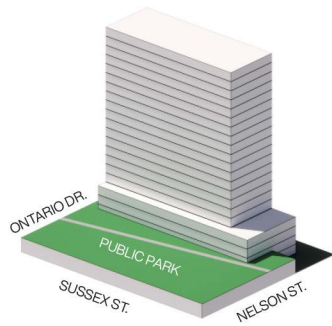
SCALE: 3/8" = 1'-0"  
DRAWN BY: AM.DD.NT  
CHECKED BY: VT.RA  
PROJECT MANAGERS: DD.CV  
APPROVED BY: LM  
PROJECT NUMBER: ACA\_20250430\_00143037

ISSUE

SHEET

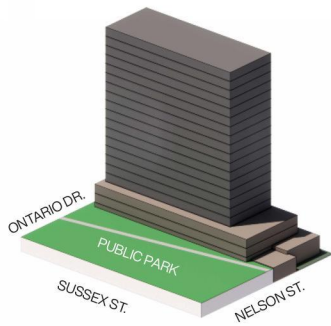
**C DP01.05**

# 2.8 MASSING ARTICULATION



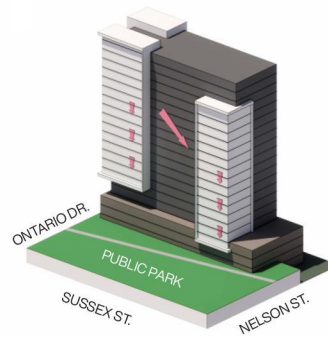
## 1. BASIC MASSING

Creating basic massing blocks of the building helps to understand the challenges and opportunities inherent in designing a large horizontal residential tower. By establishing the overall shape and volume of the building, we can lay the foundation for the design process to prioritize volumetric strategies in reducing the perceived massing, and in identifying important connections/transitions to the surrounding environment and neighborhood.



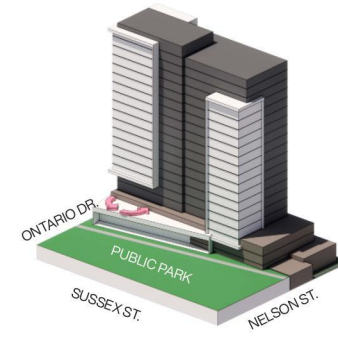
## 2. INTEGRATION OF PODIUM ELEMENT

We emphasized the building's podium along Saunders to run the full length of the block culminating in the collision of forms that highlights the residential entry. This four-storey element was continued around the east façade transitioning to a two-storey element facing the public park.



## 3. BREAKING DOWN VISUAL MASSING

The building massing is articulated through cascading platonic forms (the white boxes) which guide the eye down to the podium level. This design approach reduces the perceived scale of the structure while adding visual interest and depth. Variations in textures, colors, and finishes further highlight the distinct levels and shapes of the cascading forms, creating a subtle "skyline" effect within each elevation. The interplay of these forms with contrasting materials and textures results in a dynamic and visually engaging architectural composition.



## 4. TRANSITION FROM PUBLIC PARK TO PRIVATE RESIDENCE

The angle of the main walkway along the edge of the park informs the geometry of the indoor and outdoor amenity spaces. This approach enhances the aesthetic appeal while creating a sense of separation while maintaining a cohesive overall design. By implementing the angled walkway into the architectural form, the design bridges the gap between the park and the structure, successfully blending the two distinct environments into a visually cohesive and harmonious composition.

FRAME CONSULTANT



ARCADIS ARCHITECTS (CANADA) INC.  
1353 Ellis Street - Suite 202  
Vancouver, BC V1Y 1Z9 Canada  
250 980 3432

www.arcadis.com

**COPYRIGHT**  
This drawing has been prepared solely for the intended use. No any reproduction or distribution for any purpose other than authorized by Arcadis is forbidden. Written dimensions shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job, and fixtures shall be confirmed of any variations from the dimensions and conditions shown on this drawing. This drawing shall be controlled by Arcadis for general performance before proceeding with fabrication.

ISSUES

No.	DESCRIPTION	DATE
A	REZONING SUBMISSION - RESPONSE TO CITY COMMENTS	2024-09-27
B	DEVELOPMENT PERMIT - RESPONSE TO CITY COMMENTS	2025-11-19
C	DEVELOPMENT PERMIT - RESPONSE TO CITY COMMENTS	2026-03-31

SEAL



2026-03-31

CLIENT

**INTRACORP**  
Building the Extraordinary

Suite 600 - 550 Burrard Street, Vancouver, BC V6C 2B5

PROJECT TITLE

**SUSSEX & SAUNDERS**

1340 SUSSEX ST. | 1337 SAUNDERS ST.  
ESQUIMALT, BC  
V8A 4Z9

DRAWING TITLE

SCALE: 3/8" = 1'-0"  
DRAWN BY: AM.DD.NT  
CHECKED BY: VT.RA  
PROJECT MANAGERS: DD.CV  
APPROVED BY: LM  
PROJECT NUMBER: ACA\_30258438\_00143037

ISSUE

SHEET

**C DP01.07**

# 2.9 FORM + CHARACTER

The architectural character of this residential building is defined by its contrasting elements, varied materials, and clean lines. A street-level brick podium anchors the development to the ground plane and reinforces its residential character. Ground-oriented, street-facing units along Saunders Street are carefully designed to engage with the streetscape, featuring individually elevated “front” entrances with yards and terraces. These elements humanize the scale of the building while maintaining an appropriate separation from the public realm.

Ample green space both around and within the building footprint enhances the overall aesthetic and provides residents with a strong connection to nature. The building combines visual appeal with functionality, emphasizing durability, sustainability, and thoughtful design. With well-appointed indoor and outdoor amenities, varied materials, and bold accent colors, the development offers a sophisticated, welcoming environment that embodies modern community living.

The overall massing has been broken using contrasting white box elements, which create a downward visual movement and divide the facade into distinct architectural zones. This approach guides the eye from the summit of the white tower element on the west facade down to the podium and commercial node to the east. The west tower that is clad in white highlights the residential entry on Saunders Street while taking advantage of the spectacular harbor views to the west and the mountain and ocean panoramas to the south.

The transition between the public park and private amenity spaces is informed by the same angle of the park’s main east-west walkway, visually connecting and harmonizing the landscape design with the architectural form. Terraced planters, seating, and steps along Nelson Street provide an inviting transition from the lower public sidewalk to the elevated park, creating a cohesive and engaging connection between the public and private realms.



PRIME CONSULTANT



ARCADIS ARCHITECTS (CANADA) INC.  
1353 Ellis Street - Suite 202  
Vancouver, BC V1Y 1Z9 Canada  
250 980 3432

www.arcadis.com

**COPYRIGHT**  
This drawing has been prepared solely for the intended use. No reproduction or distribution for any purpose other than authorized by Arcadis is permitted. Where dimensions shall have preeminence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job, and liability shall be retained by any variations from the dimensions and conditions shown on this drawing. This drawing shall be controlled by Arcadis for general performance before proceeding with fabrication.

**ISSUES**

No.	DESCRIPTION	DATE
A	REZONING SUBMISSION - RESPONSE TO CITY COMMENTS	2024-09-27
B	DEVELOPMENT PERMIT	2024-11-19
C	DEVELOPMENT PERMIT - RESPONSE TO CITY COMMENTS	2024-03-31

SEAL



2026-03-31

CLIENT



Suite 600 - 550 Burrard Street, Vancouver, BC V6C 2B5

PROJECT TITLE

**SUSSEX & SAUNDERS**

1340 SUSSEX ST., 1337 SAUNDERS ST.,  
ESQUIMALT, BC  
V8A 4Z9

DRAWING TITLE

SCALE: 3/8" = 1'-0"  
DRAWN BY: AM.DD.NT  
CHECKED BY: VT.RA  
PROJECT MANAGERS: DD.CV  
APPROVED BY: LM  
PROJECT NUMBER: ACA\_20250430\_00143037

ISSUE

SHEET

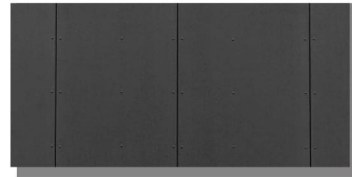
**C DP01.08**

# 2.10 MATERIAL BOARD

This proposed multi-family residential tower features a modern design with a focus on durability and low maintenance. The exterior incorporates a window wall system, with reflective white metal and glass panels on the white box elements, creating a clean and contemporary aesthetic while mitigating the perception of the building's large scale and massing.

To add visual interest and texture, wood-look metal soffits and brick are used at the podium level, grounding the building and enhancing the pedestrian experience. High-contrast color fields emphasize distinct architectural zones and help break up the overall massing of the tower.

Picket and glass guardrails are integrated into the design against a backdrop of a grid pattern of windows, doors, and balconies. The carefully curated combination of colors and materials creates a visually engaging skyline effect, drawing the eye down toward the public park and townhome-style units facing the street. This strategy reinforces the building's modern aesthetic while clearly conveying its diverse programming.



FIBRE CEMENT PANEL



CONCRETE PLANTERS, LINTELS & SILLS



WINDOW WALL GLAZING AND SPANDREL PANEL



STEEL & GLASS CANOPY



FEATURE WINDOW WALL METAL PANEL



HERITAGE BRICK VENEER CLADDING



WOOD-LOOK SOFFIT



FIRM CONSULTANT



ARCADIS ARCHITECTS (CANADA) INC.  
1353 Ellis Street - Suite 202  
Vancouver, BC V1Y 1Z9 Canada  
250 980 3432

www.arcadis.com

**COPYRIGHT**

This drawing has been prepared solely for the intended use. No reproduction or distribution for any purpose other than authorized by Arcadis is permitted. Where dimensions shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job, and fixtures shall be confirmed of any variations from the dimensions and conditions shown on this drawing. This drawing shall be controlled by Arcadis for general performance before proceeding with fabrication.

**ISSUES**

No.	DESCRIPTION	DATE
A	REZONING SUBMISSION - RESPONSE TO CITY COMMENTS	2024-09-27
B	DEVELOPMENT PERMIT - RESPONSE TO CITY COMMENTS	2025-11-19
C	DEVELOPMENT PERMIT - RESPONSE TO CITY COMMENTS	2026-03-31

SCALE



2026-03-31

CLIENT

**INTRACORP**  
Building the Extraordinary

Suite 600 - 550 Burrard Street, Vancouver, BC V6C 2B5

PROJECT TITLE

**SUSSEX & SAUNDERS**

1340 SUSSEX ST., 1337 SAUNDERS ST.  
ESQUIMALT, BC  
V8A 4Z9

DRAWING TITLE

SCALE: 3/8" = 1'-0"  
DRAWN BY: AM.DD.NT  
CHECKED BY: VT.RA  
PROJECT MANAGERS: DD.CV  
APPROVED BY: LM  
PROJECT NUMBER: ACA\_20250430\_00143037

ISSUE

SHEET

**C DP01.09**

# 3/DESIGN GUIDELINES



PRIME CONSULTANT



ARCADIS ARCHITECTS (CANADA) INC.  
1353 Ellis Street - Suite 202  
Vancouver, BC V1Y 1Z9 Canada  
250 980 3432  
www.arcadis.com

**COPYRIGHT**  
This drawing has been prepared solely for the intended use. No reproduction or distribution for any purpose other than authorized by Arcadis is forbidden. Where dimensions shall have pre-eminence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job, and fixtures shall be ordered of any vendors from the dimensions and conditions shown on this drawing. This drawing shall be controlled by Arcadis for general conformance before proceeding with fabrication.

**ISSUES**

No.	DESCRIPTION	DATE
A	REZONING SUBMISSION - RESPONSE TO CITY COMMENTS	2024-09-27
B	DEVELOPMENT PERMIT	2025-11-19
C	DEVELOPMENT PERMIT - RESPONSE TO CITY COMMENTS	2026-03-31

SEAL



2026-03-31

CLIENT



Suite 600 - 550 Burrard Street, Vancouver, BC V6C 2B5

**PROJECT TITLE**  
SUSSEX & SAUNDERS

1340 SUSSEX ST., 1337 SAUNDERS ST.,  
ESQUIMALT, BC  
V8A 4Z9

**DRAWING TITLE**

SCALE: 3/8" = 1'-0"  
DRAWN BY: AM.DD.NT  
CHECKED BY: VT.RA  
PROJECT MANAGERS: DD.CV  
APPROVED BY: LM  
PROJECT NUMBER: ACA\_20250430\_00143037

**ISSUE SHEET**  
**C DP00.00**

# 3.1 DEVELOPMENT TABLE

REGULATION	REQUIREMENT	PROVIDED
<b>BUILDING HEIGHT</b>	63m MAXIMUM	61.8 m
<b>SITE COVERAGE</b>	84% - BELOW GRADE MAXIMUM 43% - ABOVE GRADE MAXIMUM	83.1% BELOW GRADE 42.2% ABOVE GRADE
<b>OPEN SPACE CALCULATION</b>	1718 sqm	1,718 sqm
<b>FRONT SETBACK</b>	2.0 m	2.0m
<b>SIDE SETBACK</b>	1.8 m	1.8m
<b>REAR SETBACK</b>	30.0 m above grade for Principal Building / 2.0 m for parking structure below grade	30.0 m above grade for Principal Building / 2.0 m for parking structure below grade
<b>UNIT TYPE AND NUMBER</b>	Maximum 335 Dwelling Units	Studio: 21 units 1 Bed: 136 units 2 Bed: 108 units 3 Bed 62 units <b>Total: 327 Units</b>
<b>VEHICLE PARKING</b>	Commercial - 1.0 stall per 35 sqm Residential: 0.5 stalls per studio dwelling unit 0.6 stalls per one-bedroom dwelling unit 0.8 stalls per dwelling unit greater than one bedroom  0.1 visitor stalls per dwelling unit  <u>REDUCTIONS:</u> Parking Bylaw No. 3089 Part 4, Section 10: Vehicle Parking Supply = <b>7 visitor/commercial stall reduction</b> Up to 50% of required visitor spaces may be assigned to commercial use Bylaw No. 3089 Part 12, Table 3 - Transportation Demand Management Strategies: = 229 residential stalls x 5% = 12 stalls x 2 car shares Car Share Reduction -5% of total vehicle parking supply per car share vehicle and dedicated parking space provided (to a maximum of 10% of required parking supply) = <b>24 residential stall reduction</b> <b>Total = 205 residential stalls required</b> <b>Total = 33 visitor/commercial stalls required</b> <b>Total = 2 car share stalls/vehicles required</b> <b>Total = 240 required stalls</b>	Vehicle parking will be provided to meet the minimum bylaw requirements. Residential Stalls: 205 Visitor Stalls: 35 (7 assigned to commercial use) Car Share Vehicles and Stalls: 2 <b>Total stalls provided: 242</b>
<b>BIKE PARKING - LONG TERM</b>	Commercial - 1.0 per 150 sqm gross floor area Residential: 1.0 stalls per dwelling unit with one bedroom or less 1.5 per dwelling unit with two or more bedrooms	= 257 sqm / 150 sqm = 2 commercial stalls  = 1.0 stalls x 157 units = 157 stalls = 1.5 stalls x 170 units = 255 stalls Total = 412 residential stalls <b>Total = 414 required stalls</b>
<b>BIKE PARKING - SHORT TERM</b>	Commercial - 6.0 spaces per primary public building entrance Residential - 6.0 spaces per building Commercial - 1.0 Mobility Scooter stall per building	Long-term bike parking will be provided to meet the minimum bylaw requirements. Commercial: 2 Long-term bike stalls Residential: 413 Long-term bike stalls <b>Total Long-Term Bike Stalls: 415 stalls</b>
<b>BIKE PARKING - SHORT TERM</b>	Commercial - 6.0 spaces per primary public building entrance Residential - 6.0 spaces per building Commercial - 1.0 Mobility Scooter stall per building	Short-term bike parking will be provided to meet the minimum bylaw requirements. 6 Short-term commercial spaces located near main CRU entrance 6 Short-term residential spaces located near main building entrance 12 Additional short-term spaces located within the public park 1 Mobility Scooter stall near main CRU entrance <b>Total short-term stalls: 24 stalls + 1 Mobility Scooter Stall</b>
<b>LOADING</b>	Residential - 2.0 for over 100 residential units	2 spaces
<b>AMENITY SPACE</b>	380 sqm	454 sqm
<b>COMMERCIAL SPACE</b>	240 sqm	257 sqm
<b>GROSS FLOOR AREA</b>	N/A	34,007 sqm
<b>FLOOR AREA RATIO</b>	4.05	4.05

PRIME CONSULTANT



ARCADIS ARCHITECTS (CANADA) INC.  
1353 Ellis Street - Suite 202  
Vancouver, BC V1Y 1Z9 Canada  
250 980 3432

www.arcadis.com

**COPYRIGHT**  
This drawing has been prepared solely for the intended use. No any reproduction or distribution for any purpose other than authorized by Arcadis is forbidden. Where dimensions shall have pre-eminence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job, and location shall be determined of any variations from the dimensions and conditions shown on this drawing. This drawing shall be controlled by Arcadis for general performance before proceeding with fabrication.

**ISSUES**

No.	DESCRIPTION	DATE
A	REVISION SUBMISSION - RESPONSE TO CITY COMMENTS	2024-09-27
B	DEVELOPMENT PERMIT - RESPONSE TO CITY COMMENTS	2024-11-10
C	DEVELOPMENT PERMIT - RESPONSE TO CITY COMMENTS	2024-03-31

SEAL



CLIENT



Suite 600 - 550 Burrard Street, Vancouver, BC V6C 2B5

PROJECT TITLE

**SUSSEX & SAUNDERS**

1340 SUSSEX ST., 1337 SAUNDERS ST.,  
ESQUIMALT, BC  
V8A 4Z9

DRAWING TITLE

SCALE: 3/8" = 1'-0"  
DRAWN BY: AM.DD.NT  
CHECKED BY: VT.RA  
PROJECT MANAGERS: DD.CV  
APPROVED BY: LM  
PROJECT NUMBER: ACA\_20250438\_00143037

ISSUE

SHEET

**C DP02.00**

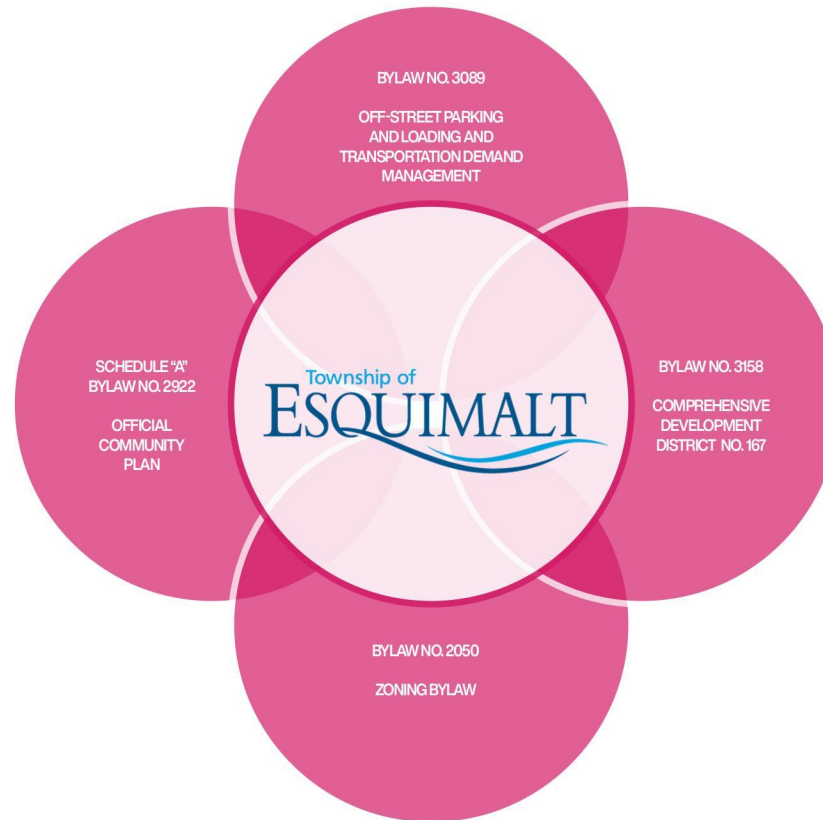
# 3.2 POLICY FRAMEWORK

This application responds to relevant policies to ensure alignment with the Township's goals and objectives and provides a successful and community-oriented project.

The proposed redevelopment is subject to the guidance of the Official Community Plan (OCP). Notably, the application responds to Anticipated Housing Needs, by delivering new housing units to support the Regional Growth Strategy forecasted growth metrics.

Furthermore, the OCP sets out policy directions with respect to land use and growth management, as well as objectives related to housing and community, transportation, parks and natural areas, greenhouse gas emissions, and environment and infrastructure.

The design follows the guidelines of Development Permit Area No. 6, in response to objectives related to the form and character of multi-family residential development.

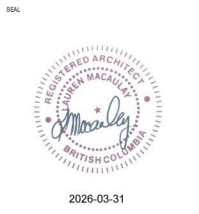


ARCADIS ARCHITECTS (CANADA) INC.  
 1353 Ellis Street - Suite 202  
 Nanaimo, BC V1Y 1Z9 Canada  
 250 980 3432  
 www.arcadis.com

**COPYRIGHT**  
 This drawing has been prepared solely for the intended use. No any reproduction or distribution for any purpose other than authorized by Arcadis is forbidden. Writers dimensions shall have preeminence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job, and Arcadis shall be relieved of any variations from the dimensions and conditions shown on this drawing. This drawing shall be controlled by Arcadis for general performance before proceeding with fabrication.

**ISSUES**

No.	DESCRIPTION	DATE
A	REZONING SUBMISSION - RESPONSE TO CITY COMMENTS	2024-09-27
B	DEVELOPMENT PERMIT - RESPONSE TO CITY COMMENTS	2025-11-19
C	DEVELOPMENT PERMIT - RESPONSE TO CITY COMMENTS	2026-03-31



CLIENT  
**INTRACORP**  
 Building the Extraordinary

Suite 600 - 550 Burrard Street, Vancouver, BC V6C 2B5

PROJECT TITLE  
**SUSSEX & SAUNDERS**

1340 SUSSEX ST., 1337 SAUNDERS ST.,  
 ESQUIMALT, BC  
 V8A 4Z9

DRAWING TITLE

SCALE: 3/8" = 1'-0"  
 DRAWN BY: AM, DD, NT  
 CHECKED BY: VT, RA  
 PROJECT MANAGERS: DD, CV  
 APPROVED BY: LM  
 PROJECT NUMBER: ACA\_30229438\_00143037

ISSUE: **C** SHEET: **DP02.01**

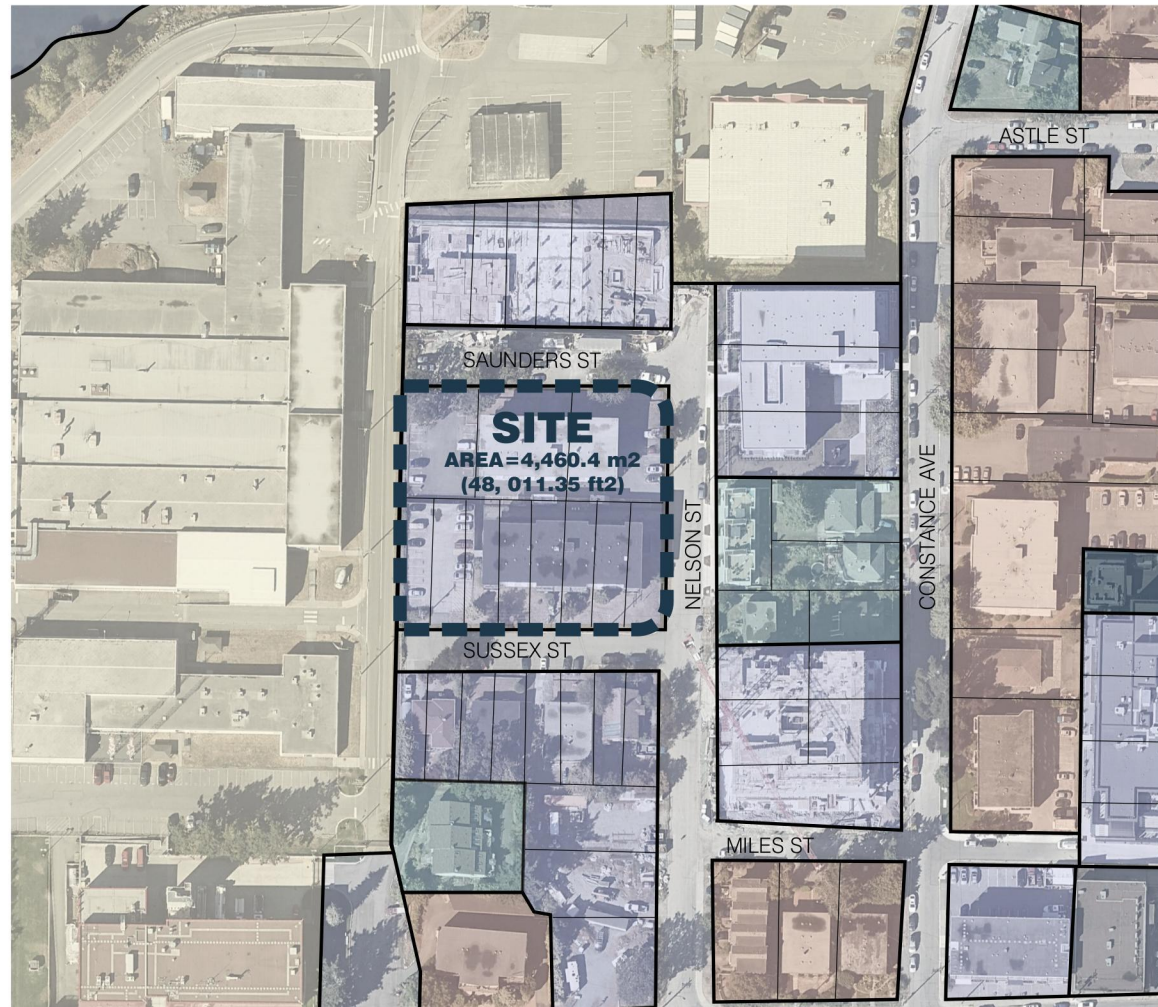
# 3.3 LAND USES

- Street Address: 1337 Saunders St  
Parcel ID: 004-019-903  
Plan:
- Street Address: 1337 Saunders St  
Parcel ID: 004-019-890  
Plan: VIP16681
- Street Address: 1337 Saunders St  
Parcel ID: 004-019-911  
Plan:
- Street Address: 1340 Sussex St  
Parcel ID: 000-009-351  
Plan:
- Street Address: 1340 Sussex St  
Parcel ID: 000-009-369  
Plan: VIP2854
- Street Address: 1340 Sussex St  
Parcel ID: 000-009-377  
Plan:
- Street Address: 1340 Sussex St  
Parcel ID: 000-009-385  
Plan:
- Street Address: 1340 Sussex St  
Parcel ID: 000-009-393  
Plan:
- Street Address: 1340 Sussex St  
Parcel ID: 000-009-407  
Plan:
- Street Address: 1340 Sussex St  
Parcel ID: 000-009-415  
Plan:
- Street Address: 1340 Sussex St  
Parcel ID: 000-009-423  
Plan:

The subject site is comprised of 11 legal parcels occupied by two 4 storey apartment buildings constructed in the late 1960s and early 1970s, respectively on Saunders Street and Sussex Street.

The proposed redevelopment has been subject to an approved rezoning to Comprehensive Development District No. 167. Previously zoned under RM-4: Medium Density Residential. The project is surrounded by many new developments that fall under the same land use type.

- (CD) Comprehensive Development
- (P-1) Public/Institutional
- (RM-1) Multiple Family Residential
- (RM-4) Multiple Family Residential
- (C-3) Core Commercial



**ISSUES**

No.	DESCRIPTION	DATE
A	REZONING SUBMISSION - RESPONSE TO CITY COMMENTS	2024-09-27
B	DEVELOPMENT PERMIT	2025-11-19
C	DEVELOPMENT PERMIT - RESPONSE TO CITY COMMENTS	2026-03-31

SEAL



2026-03-31

CLIENT

**INTRACORP**  
Building the Extraordinary

Suite 600 - 550 Burrard Street, Vancouver, BC V6C 2B5

PROJECT TITLE

**SUSSEX & SAUNDERS**

1340 SUSSEX ST, 1337 SAUNDERS ST,  
ESQUIMALT, BC  
V8A 4Z9

DRAWING TITLE

SCALE: 3/8" = 1'-0"  
DRAWN BY: AM.DD.NT  
CHECKED BY: VT.RA  
PROJECT MANAGERS: DD.CV  
APPROVED BY: LM  
PROJECT NUMBER: ACA\_20250430\_00143037

ISSUE SHEET  
**C DP02.02**

# 3.4 OFFICIAL COMMUNITY PLAN

The proposed redevelopment is subject to the guidance of the Official Community Plan under the land use designations of Housing & Residential Land Use, and Commercial & Commercial Mixed-Use Land Use.

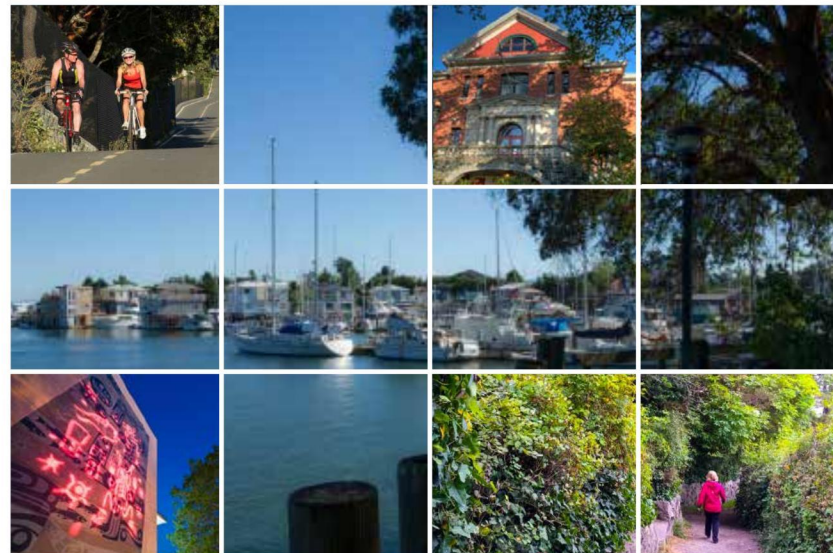
Notably, the application responds to Anticipated Housing Needs, by delivering new housing units to support the Regional Growth Strategy forecasted growth metrics.

Furthermore, the OCP sets out policy directions with respect to land use and growth management, as well as objectives related to housing and community, transportation, parks and natural areas, greenhouse gas emissions, and environment and infrastructure.

The application aligns with the Commercial and Commercial Mixed-Use Land Designation, which encourages a mix of uses while ensuring density and scale are sensitive to the surrounding context. The proposed density, form, and character reflect the neighboring high-density land uses.

The application provides substantial public park space. Additional neighborhood enhancements include street and boulevard improvements, street furniture, and enhanced green play spaces for families.

LAND USE GUIDELINES	
Catergating a complete community, by providing a mix of housing units intended to support those in all ages and stages of life - from seniors to families with children, workforce housing, and singles.	✓
Enhancing neighborhood recreation by providing a substantial public park in the neighborhood area.	✓
Delivering community serving retail, through the provision of a new retail node at the intersection of Nelson St. and Saunders St.	✓
Revitalizing the area with new housing units, supporting an investment into the municipality as a long term vision for new housing.	✓
Considering environmental impacts of new construction, by aligning the application with sustainability policy and green building code construction practices.	✓



**ISSUES**

No.	DESCRIPTION	DATE
A	REZONING SUBMISSION - RESPONSE TO CITY COMMENTS	2024-09-27
B	DEVELOPMENT PERMIT - RESPONSE TO CITY COMMENTS	2025-11-10
C	DEVELOPMENT PERMIT - RESPONSE TO CITY COMMENTS	2026-03-31

SEAL



CLIENT

**INTRACORP**  
Building the Extraordinary

Suite 600 - 550 Burrard Street, Vancouver, BC V6C 2B5

PROJECT TITLE  
**SUSSEX & SAUNDERS**

1340 SUSSEX ST., 1337 SAUNDERS ST.,  
ESQUIMALT, BC  
V8A 4Z9

DRAWING TITLE

SCALE: 3/8" = 1'-0"  
DRAWN BY: AM.DD.NT  
CHECKED BY: VT.RA  
PROJECT MANAGERS: DD.CV  
APPROVED BY: LM  
PROJECT NUMBER: ACA\_20250430\_00143037

ISSUE SHEET  
**C DP02.03**

# 3.5 DEVELOPMENT PERMIT AREA GUIDELINES

In response to Section 4.0 - Land Use Planning of the OCP, the application aligns with land use planning policy objectives by adhering to Development Permit Area guidelines. This approach ensures that the building's form and character contribute to a cohesive urban pattern, integrate well with surrounding land uses, enhance community livability, and protect the environment.

The project aligns with Development Permit Area requirements in:

- DPA 1 - Natural Environment
- DPA 6 - Multi-Family Residential
- DPA 7 - Energy Conservation and Greenhouse Gas Reduction
- DPA 8 - Water Conservation

The project design and coordination addresses objectives concerning form and character of the building, energy and water conservation, greenhouse gas reduction and protection of the natural environment.

DEVELOPMENT PERMIT AREA GUIDELINES		
DPA NO. 1 - NATURAL ENVIRONMENT		
18.5	Natural features and areas are preserved, protected, restored and enhanced where feasible. Landscaping features protect, restore and enhance biodiversity where feasible. Measures to protect, restore and enhance the natural environment, limit noise, light and air-pollution where possible. Measures to control drainage and shoreline erosion where feasible. Measures to protect, restore and enhance native bird biodiversity.	✓
DPA NO. 6 - MULTI-FAMILY RESIDENTIAL		
23.5	Developing a high-quality new development construction that does not have a negative impact on, or is out of character with existing and surrounding residential uses and neighborhoods. The development is compatible with surrounding uses.	✓
DPA NO. 7 - ENERGY CONSERVATION AND GREENHOUSE GASES		
24.5	Supporting reductions in energy consumption and reduces maintenance costs through material choice. Delivering a development that supports residents physical and mental health with long-term livability, including walkability. Creating a development where people want to live, work, walk and play and that has a positive impact on community resilience and resident health.	✓
DPA NO. 8- WATER CONSERVATION		
25.5	Implemented stormwater management system, irrigation and other water conservation strategies are implemented in the project.	✓

PRIME CONSULTANT



ARCADIS ARCHITECTS (CANADA) INC.  
1353 Ellis Street - Suite 202  
Vancouver, BC V1Y 1Z9 Canada  
250 980 3432

www.arcadis.com

**COPYRIGHT**

This drawing has been prepared solely for the intended use. No any reproduction or distribution for any purpose other than authorized by Arcadis is forbidden. Written dimensions shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job, and fixtures shall be confirmed of any variations from the dimensions and conditions shown on this drawing. This drawing shall be controlled by Arcadis for general performance before proceeding with fabrication.

**ISSUES**

No.	DESCRIPTION	DATE
A	REZONING SUBMISSION - RESPONSE TO CITY COMMENTS	2024-09-27
B	DEVELOPMENT PERMIT - RESPONSE TO CITY COMMENTS	2024-11-19
C	DEVELOPMENT PERMIT - RESPONSE TO CITY COMMENTS	2024-03-31

SEAL



2026-03-31

CLIENT



Suite 600 - 550 Burrard Street, Vancouver, BC V6C 2B5

PROJECT TITLE

**SUSSEX & SAUNDERS**

1340 SUSSEX ST, 1337 SAUNDERS ST,  
ESQUIMALT, BC  
V8A 4Z9

DRAWING TITLE

SCALE: 3/8" = 1'-0"  
DRAWN BY: AM.DD.NT  
CHECKED BY: VT.RA  
PROJECT MANAGERS: DD.CV  
APPROVED BY: LM  
PROJECT NUMBER: ACA\_20250430\_00143037

ISSUE

SHEET

**C DP02.04**

# 4/ARCHITECTURAL DRAWING SET



PRIME CONSULTANT



ARCADIS ARCHITECTS (CANADA) INC.  
1353 Ellis Street - Suite 202  
Vancouver, BC V1Y 1Z9 Canada  
250 980 3432

www.arcadis.com

**COPYRIGHT**  
This drawing has been prepared solely for the intended use. No reproduction or distribution for any purpose other than authorized by Arcadis is permitted. Where dimensions shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job, and location shall be confirmed of any variations from the dimensions and conditions shown on this drawing. This drawing shall be controlled by Arcadis for general performance before proceeding with fabrication.

**ISSUES**

No.	DESCRIPTION	DATE
A	REZONING SUBMISSION - RESPONSE TO CITY COMMENTS	2024-09-27
B	DEVELOPMENT PERMIT - RESPONSE TO CITY COMMENTS	2025-11-19
C	DEVELOPMENT PERMIT - RESPONSE TO CITY COMMENTS	2026-03-31

SEAL



2026-03-31

CLIENT



Suite 600 - 550 Burrard Street, Vancouver, BC V6C 2B5

PROJECT TITLE

**SUSSEX & SAUNDERS**

1340 SUSSEX ST, 1337 SAUNDERS ST,  
ESQUIMALT, BC  
V8A 4Z9

DRAWING TITLE

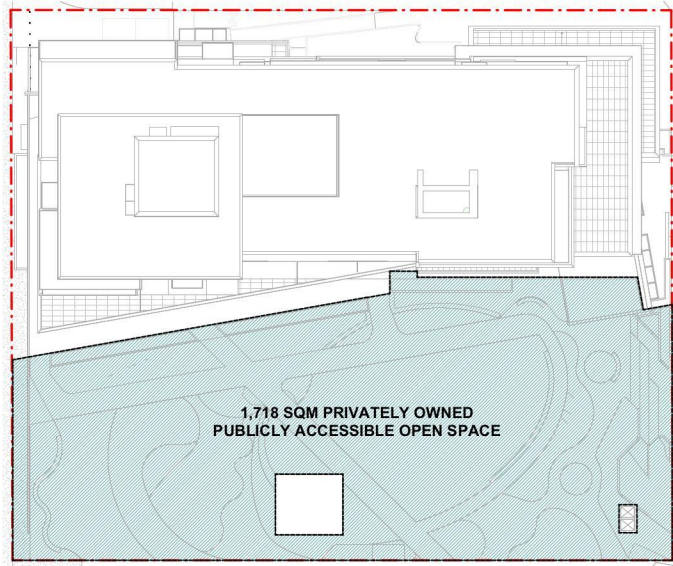
SCALE: 3/8" = 1'-0"  
DRAWN BY: AM.DD.NT  
CHECKED BY: VT.RA  
PROJECT MANAGERS: DD.CV  
APPROVED BY: LM  
PROJECT NUMBER: ACA\_2025K438\_00143037

ISSUE

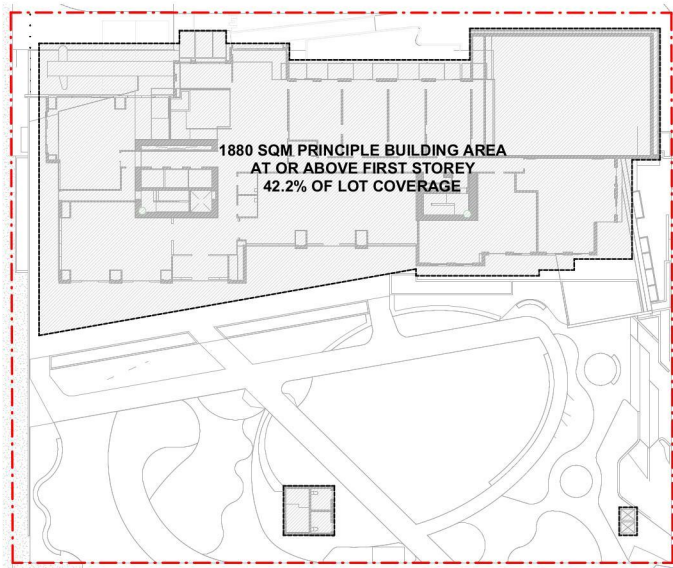
SHEET

**C DP00.00**

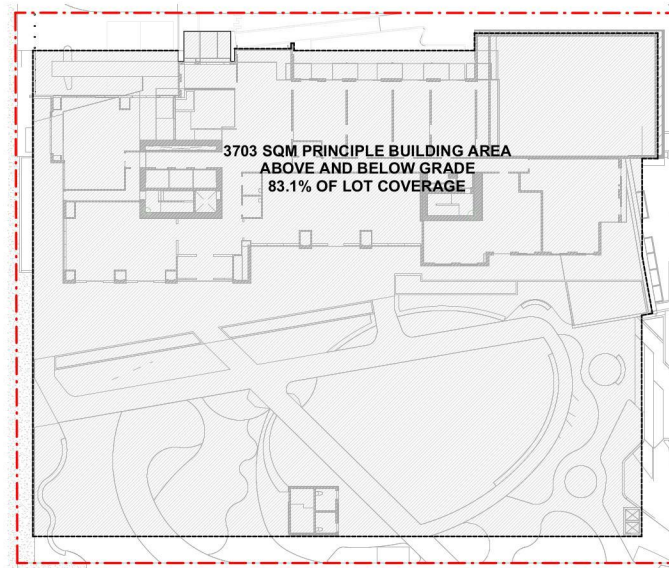




1 OPEN SPACE  
DP03.01 Scale: 3/64" = 1'-0"



2 ABOVE GRADE BUILDING COVERAGE  
DP03.01 Scale: 3/64" = 1'-0"



3 TOTAL BUILDING COVERAGE  
DP03.01 Scale: 3/64" = 1'-0"

PRIME CONSULTANT



ARCADIS ARCHITECTS (CANADA) INC.  
1353 Ellis Street - Suite 202  
Vancouver, BC V1Y 1Z9 Canada  
250 980 3432

www.arcadis.com

**COPYRIGHT**  
This drawing has been prepared solely for the intended use. No any reproduction or distribution for any purpose other than authorized by Arcadis is forbidden. Written dimensions shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job, and Arcadis shall be relieved of any variations from the dimensions and conditions shown on this drawing. Site drawings shall be controlled by Arcadis for general conformance before proceeding with fabrication.

ISSUES

No.	DESCRIPTION	DATE
A	REZONING SUBMISSION - RESPONSE TO CITY COMMENTS	2024-09-27
B	DEVELOPMENT PERMIT - RESPONSE TO CITY COMMENTS	2025-11-19
C	DEVELOPMENT PERMIT - RESPONSE TO CITY COMMENTS	2026-03-31

SEAL



2026-03-31

CLIENT

**INTRACORP**  
Building the Extraordinary

Suite 600 - 550 Burrard Street, Vancouver, BC V6C 2B5

PROJECT TITLE

**SUSSEX & SAUNDERS**

1360 SUSSEX ST., 1337 SAUNDERS ST.  
ESQUIMALT, BC  
V8A 4Z9

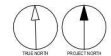
DRAWING TITLE

**SITE COVERAGE**

SCALE: 3/64" = 1'-0"  
DRAWN BY: AM/DD/NT  
CHECKED BY: VT/JRA  
PROJECT MANAGER(S): DL/CLV  
APPROVED BY: LM  
PROJECT NUMBER: ACA\_30259438\_00143037

ISSUE

SHEET



**C DP03.01**

**ISSUES**

No.	DESCRIPTION	DATE
A	REVISION SUBMISSION - RESPONSE TO CITY COMMENTS	2024-09-27
B	DEVELOPMENT PERMIT - RESPONSE TO	2024-13-13
C	DEVELOPMENT PERMIT - RESPONSE TO CITY COMMENTS	2024-03-31

SEAL



2026-03-31

CLIENT

**INTRACORP**  
 Building the Extraordinary

Suite 600 - 550 Burrard Street, Vancouver, BC V6C 2B5

PROJECT TITLE

**SUSSEX & SAUNDERS**

1360 SUSSEX ST, 1337 SAUNDERS ST,  
 ESQUIMALT, BC  
 V8A 4Z9

DRAWING TITLE

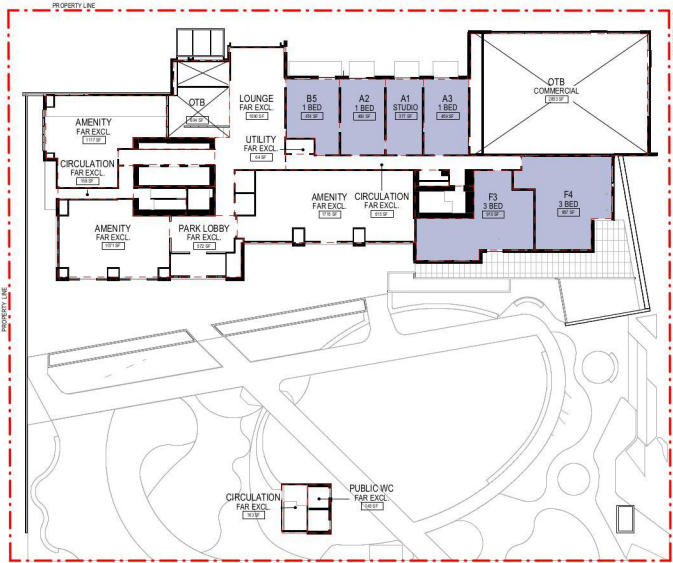
**FAR PLANS**

SCALE: 3/8" = 1'-0"  
 DRAWN BY: AM.DD.NT  
 CHECKED BY: VT.RA  
 PROJECT MANAGER(S): DD.CV  
 APPROVED BY: Approver  
 PROJECT NUMBER: ACA\_30259438\_00143037

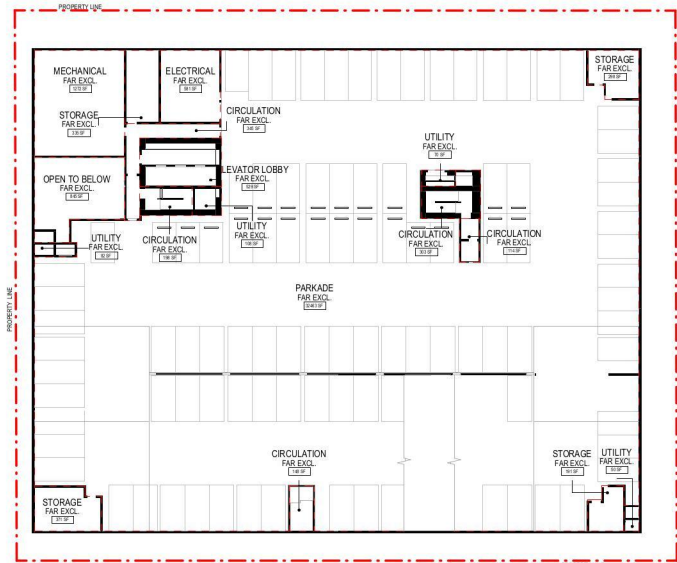
ISSUE

SHEET

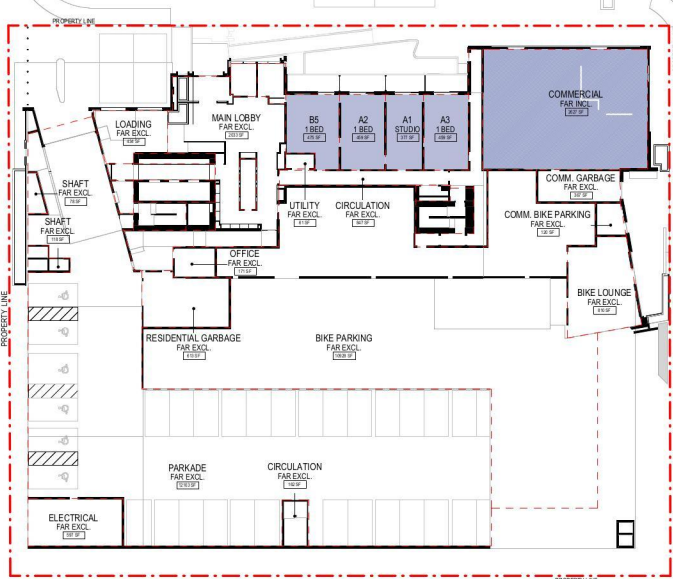
**C DP03.02**



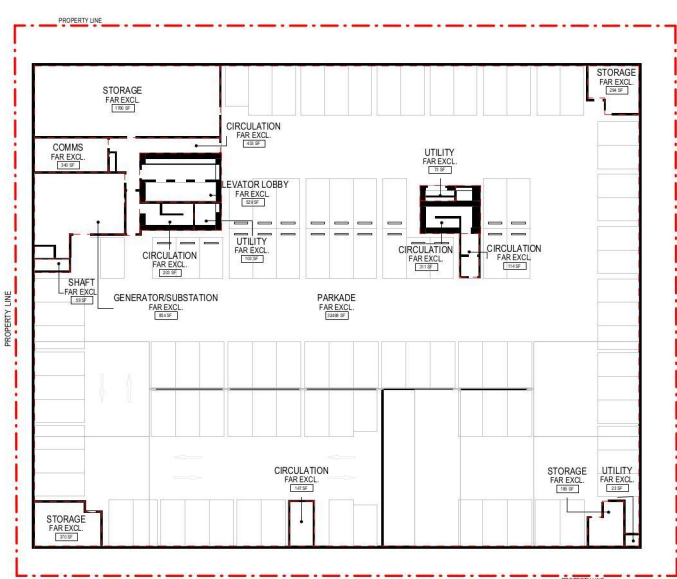
**4 LEVEL 02 FAR**  
 DPK3.02 SCALE: 3/8" = 1'-0"



**2 LEVEL P2 FAR**  
 DPK3.02 SCALE: 3/8" = 1'-0"



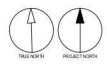
**3 LEVEL 01 FAR**  
 DPK3.02 SCALE: 3/8" = 1'-0"



**1 LEVEL P3 FAR**  
 DPK3.02 SCALE: 3/8" = 1'-0"

**DP FLOOR AREA RATIO  
 STATS**

Level	Area	FAR
LEVEL 01	196 SF	0.00
	196 SF	0.00
FAR INCL.		
LEVEL 01	4,397 SF	0.09
LEVEL 02	3,637 SF	0.08
LEVEL 03	7,523 SF	0.16
LEVEL 04	11,235 SF	0.25
LEVEL 05	9,242 SF	0.19
LEVEL 06	9,239 SF	0.19
LEVEL 07	9,928 SF	0.21
LEVEL 08	9,928 SF	0.21
LEVEL 09	9,928 SF	0.21
LEVEL 10	9,928 SF	0.21
LEVEL 11	9,928 SF	0.21
LEVEL 12	9,928 SF	0.21
LEVEL 13	9,928 SF	0.21
LEVEL 14	9,928 SF	0.21
LEVEL 15	9,928 SF	0.21
LEVEL 16	9,928 SF	0.21
LEVEL 17	9,928 SF	0.21
LEVEL 18	9,928 SF	0.21
LEVEL 19	9,928 SF	0.21
LEVEL 20	9,928 SF	0.21
LEVEL 21	9,928 SF	0.21
Grand Total:	194,196 SF	4.65
	194,196 SF	4.65



**ISSUES**

No.	DESCRIPTION	DATE
A	REZONING SUBMISSION - RESPONSE TO CITY COMMENTS	2024-09-27
B	DEVELOPMENT PERMIT	2025-12-15
C	DEVELOPMENT PERMIT - RESPONSE TO CITY COMMENTS	2026-03-11

**SEAL**



2026-03-31

**CLIENT**

**INTRACORP**  
 Building the Extraordinary

Suite 600 - 550 Burrard Street, Vancouver, BC V6C 2B5

**PROJECT TITLE**

**SUSSEX & SAUNDERS**

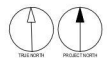
1350 SUSSEX ST, 1337 SAUNDERS ST,  
 SQUAMISH, BC  
 V5A 4Z9

**DRAWING TITLE**

**FAR PLANS**

SCALE: 3/8" = 1'-0"  
 DRAWN BY: AM, DONT  
 CHECKED BY: VT, RA  
 PROJECT MANAGER(S): DO, CV  
 APPROVED BY: LM  
 PROJECT NUMBER: ACA\_30255438\_00143037

ISSUE SHEET



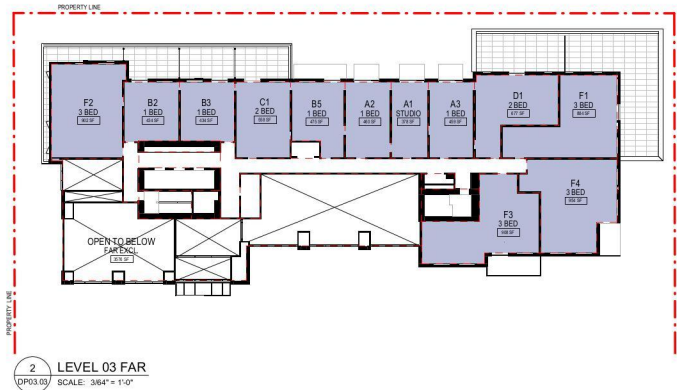
**C DP03.03**



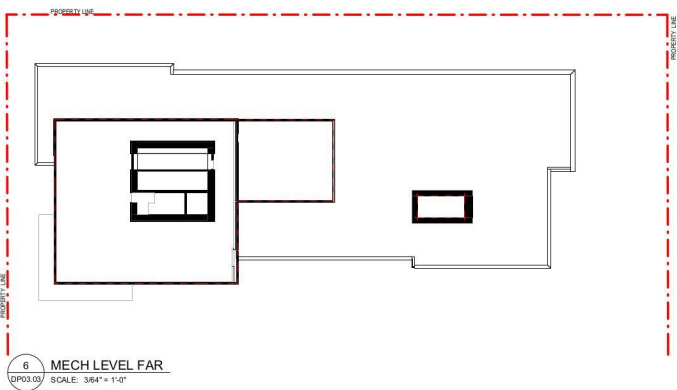
**4 LEVEL 05 FAR**  
 DP03.03 SCALE: 3/8" = 1'-0"



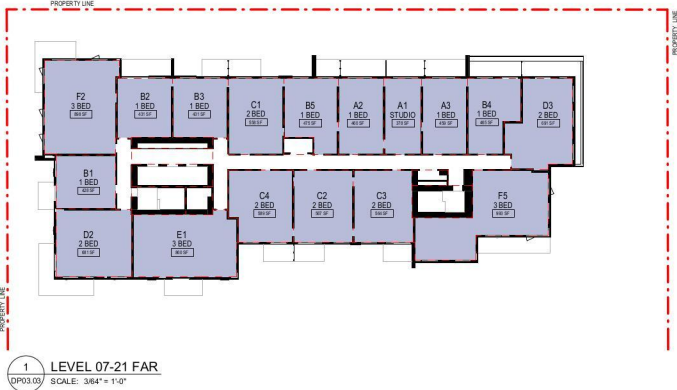
**3 LEVEL 04 FAR**  
 DP03.03 SCALE: 3/8" = 1'-0"



**2 LEVEL 03 FAR**  
 DP03.03 SCALE: 3/8" = 1'-0"



**6 MECH LEVEL FAR**  
 DP03.03 SCALE: 3/8" = 1'-0"



**1 LEVEL 07-21 FAR**  
 DP03.03 SCALE: 3/8" = 1'-0"



**5 LEVEL 06 FAR**  
 DP03.03 SCALE: 3/8" = 1'-0"

FOR INFORMATION ONLY

PRIME CONSULTANT



ARCADIS ARCHITECTS (CANADA) INC.  
1353 Ellis Street - Suite 202  
Vancouver BC V1Y 1Z9 Canada  
250 980 3432

www.arcadis.com

**COPYRIGHT**  
This drawing has been prepared solely for the intended use. No any reproduction or distribution by any person other than authorized by Arcadis is forbidden. Writers dimensions shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job, and facilities shall be confirmed of any variations from the dimensions and conditions shown on the drawing. Site drawings shall be controlled by Arcadis for general conformance before proceeding with fabrication.

ISSUES	No.	DESCRIPTION	DATE
	A	REZONING SUBMISSION - RESPONSE TO CITY COMMENTS	2024-09-27
	B	DEVELOPMENT PERMIT	2025-11-19
	C	DEVELOPMENT PERMIT - RESPONSE TO CITY COMMENTS	2026-03-13

SEAL

CLIENT



Suite 600 - 550 Burrard Street, Vancouver, BC V6C 2B5

PROJECT TITLE

SUSSEX & SAUNDERS

1360 SUSSEX ST., 1337 SAUNDERS ST,  
ESQUIMALT, BC  
V8A 4Z9

DRAWING TITLE

SITE SURVEY PLAN

SCALE: N/A  
 DRAWN BY: VJ.RA  
 CHECKED BY: DOLCV  
 PROJECT MANAGER(S): LM  
 APPROVED BY: ACA\_3025438\_00143037  
 PROJECT NUMBER:

ISSUE: C SHEET: DP10.00

LEGAL DESCRIPTION	PID	CIVIC ADDRESS	AREA
LOT 1 PLAN 1661	804-01480	1337 SAUNDERS STREET	803.54 SF
LOT 2 PLAN 1661	804-01480	1337 SAUNDERS STREET	794.54 SF
LOT 3 PLAN 1661	804-01481	1337 SAUNDERS STREET	763.47 SF
LOT 4 PLAN 2854	800-00401	1360 SUSSEX STREET	276.17 SF
LOT 5 PLAN 2854	800-00402	1360 SUSSEX STREET	276.17 SF
LOT 6 PLAN 2854	800-00403	1360 SUSSEX STREET	276.17 SF
LOT 7 PLAN 2854	800-00404	1360 SUSSEX STREET	276.17 SF
LOT 8 PLAN 2854	800-00405	1360 SUSSEX STREET	276.17 SF
LOT 9 PLAN 2854	800-00406	1360 SUSSEX STREET	276.17 SF
LOT 10 PLAN 2854	800-00407	1360 SUSSEX STREET	276.17 SF
LOT 11 PLAN 2854	800-00408	1360 SUSSEX STREET	276.17 SF
LOT 12 PLAN 2854	800-00409	1360 SUSSEX STREET	276.17 SF
LOT 13 PLAN 2854	800-00410	1360 SUSSEX STREET	276.17 SF
LOT 14 PLAN 2854	800-00411	1360 SUSSEX STREET	276.17 SF
LOT 15 PLAN 2854	800-00412	1360 SUSSEX STREET	276.17 SF
LOT 16 PLAN 2854	800-00413	1360 SUSSEX STREET	276.17 SF
LOT 17 PLAN 2854	800-00414	1360 SUSSEX STREET	276.17 SF
LOT 18 PLAN 2854	800-00415	1360 SUSSEX STREET	276.17 SF
LOT 19 PLAN 2854	800-00416	1360 SUSSEX STREET	276.17 SF
LOT 20 PLAN 2854	800-00417	1360 SUSSEX STREET	276.17 SF
LOT 21 PLAN 2854	800-00418	1360 SUSSEX STREET	276.17 SF
LOT 22 PLAN 2854	800-00419	1360 SUSSEX STREET	276.17 SF
LOT 23 PLAN 2854	800-00420	1360 SUSSEX STREET	276.17 SF
LOT 24 PLAN 2854	800-00421	1360 SUSSEX STREET	276.17 SF
LOT 25 PLAN 2854	800-00422	1360 SUSSEX STREET	276.17 SF
LOT 26 PLAN 2854	800-00423	1360 SUSSEX STREET	276.17 SF
LOT 27 PLAN 2854	800-00424	1360 SUSSEX STREET	276.17 SF
LOT 28 PLAN 2854	800-00425	1360 SUSSEX STREET	276.17 SF
LOT 29 PLAN 2854	800-00426	1360 SUSSEX STREET	276.17 SF
LOT 30 PLAN 2854	800-00427	1360 SUSSEX STREET	276.17 SF
LOT 31 PLAN 2854	800-00428	1360 SUSSEX STREET	276.17 SF
LOT 32 PLAN 2854	800-00429	1360 SUSSEX STREET	276.17 SF
LOT 33 PLAN 2854	800-00430	1360 SUSSEX STREET	276.17 SF
LOT 34 PLAN 2854	800-00431	1360 SUSSEX STREET	276.17 SF
LOT 35 PLAN 2854	800-00432	1360 SUSSEX STREET	276.17 SF
LOT 36 PLAN 2854	800-00433	1360 SUSSEX STREET	276.17 SF
LOT 37 PLAN 2854	800-00434	1360 SUSSEX STREET	276.17 SF
LOT 38 PLAN 2854	800-00435	1360 SUSSEX STREET	276.17 SF
LOT 39 PLAN 2854	800-00436	1360 SUSSEX STREET	276.17 SF
LOT 40 PLAN 2854	800-00437	1360 SUSSEX STREET	276.17 SF
LOT 41 PLAN 2854	800-00438	1360 SUSSEX STREET	276.17 SF
LOT 42 PLAN 2854	800-00439	1360 SUSSEX STREET	276.17 SF
LOT 43 PLAN 2854	800-00440	1360 SUSSEX STREET	276.17 SF
LOT 44 PLAN 2854	800-00441	1360 SUSSEX STREET	276.17 SF
LOT 45 PLAN 2854	800-00442	1360 SUSSEX STREET	276.17 SF
LOT 46 PLAN 2854	800-00443	1360 SUSSEX STREET	276.17 SF
LOT 47 PLAN 2854	800-00444	1360 SUSSEX STREET	276.17 SF
LOT 48 PLAN 2854	800-00445	1360 SUSSEX STREET	276.17 SF
LOT 49 PLAN 2854	800-00446	1360 SUSSEX STREET	276.17 SF
LOT 50 PLAN 2854	800-00447	1360 SUSSEX STREET	276.17 SF
LOT 51 PLAN 2854	800-00448	1360 SUSSEX STREET	276.17 SF
LOT 52 PLAN 2854	800-00449	1360 SUSSEX STREET	276.17 SF
LOT 53 PLAN 2854	800-00450	1360 SUSSEX STREET	276.17 SF
LOT 54 PLAN 2854	800-00451	1360 SUSSEX STREET	276.17 SF
LOT 55 PLAN 2854	800-00452	1360 SUSSEX STREET	276.17 SF
LOT 56 PLAN 2854	800-00453	1360 SUSSEX STREET	276.17 SF
LOT 57 PLAN 2854	800-00454	1360 SUSSEX STREET	276.17 SF
LOT 58 PLAN 2854	800-00455	1360 SUSSEX STREET	276.17 SF
LOT 59 PLAN 2854	800-00456	1360 SUSSEX STREET	276.17 SF
LOT 60 PLAN 2854	800-00457	1360 SUSSEX STREET	276.17 SF
LOT 61 PLAN 2854	800-00458	1360 SUSSEX STREET	276.17 SF
LOT 62 PLAN 2854	800-00459	1360 SUSSEX STREET	276.17 SF
LOT 63 PLAN 2854	800-00460	1360 SUSSEX STREET	276.17 SF
LOT 64 PLAN 2854	800-00461	1360 SUSSEX STREET	276.17 SF
LOT 65 PLAN 2854	800-00462	1360 SUSSEX STREET	276.17 SF
LOT 66 PLAN 2854	800-00463	1360 SUSSEX STREET	276.17 SF
LOT 67 PLAN 2854	800-00464	1360 SUSSEX STREET	276.17 SF
LOT 68 PLAN 2854	800-00465	1360 SUSSEX STREET	276.17 SF
LOT 69 PLAN 2854	800-00466	1360 SUSSEX STREET	276.17 SF
LOT 70 PLAN 2854	800-00467	1360 SUSSEX STREET	276.17 SF
LOT 71 PLAN 2854	800-00468	1360 SUSSEX STREET	276.17 SF
LOT 72 PLAN 2854	800-00469	1360 SUSSEX STREET	276.17 SF
LOT 73 PLAN 2854	800-00470	1360 SUSSEX STREET	276.17 SF
LOT 74 PLAN 2854	800-00471	1360 SUSSEX STREET	276.17 SF
LOT 75 PLAN 2854	800-00472	1360 SUSSEX STREET	276.17 SF
LOT 76 PLAN 2854	800-00473	1360 SUSSEX STREET	276.17 SF
LOT 77 PLAN 2854	800-00474	1360 SUSSEX STREET	276.17 SF
LOT 78 PLAN 2854	800-00475	1360 SUSSEX STREET	276.17 SF
LOT 79 PLAN 2854	800-00476	1360 SUSSEX STREET	276.17 SF
LOT 80 PLAN 2854	800-00477	1360 SUSSEX STREET	276.17 SF
LOT 81 PLAN 2854	800-00478	1360 SUSSEX STREET	276.17 SF
LOT 82 PLAN 2854	800-00479	1360 SUSSEX STREET	276.17 SF
LOT 83 PLAN 2854	800-00480	1360 SUSSEX STREET	276.17 SF
LOT 84 PLAN 2854	800-00481	1360 SUSSEX STREET	276.17 SF
LOT 85 PLAN 2854	800-00482	1360 SUSSEX STREET	276.17 SF
LOT 86 PLAN 2854	800-00483	1360 SUSSEX STREET	276.17 SF
LOT 87 PLAN 2854	800-00484	1360 SUSSEX STREET	276.17 SF
LOT 88 PLAN 2854	800-00485	1360 SUSSEX STREET	276.17 SF
LOT 89 PLAN 2854	800-00486	1360 SUSSEX STREET	276.17 SF
LOT 90 PLAN 2854	800-00487	1360 SUSSEX STREET	276.17 SF
LOT 91 PLAN 2854	800-00488	1360 SUSSEX STREET	276.17 SF
LOT 92 PLAN 2854	800-00489	1360 SUSSEX STREET	276.17 SF
LOT 93 PLAN 2854	800-00490	1360 SUSSEX STREET	276.17 SF
LOT 94 PLAN 2854	800-00491	1360 SUSSEX STREET	276.17 SF
LOT 95 PLAN 2854	800-00492	1360 SUSSEX STREET	276.17 SF
LOT 96 PLAN 2854	800-00493	1360 SUSSEX STREET	276.17 SF
LOT 97 PLAN 2854	800-00494	1360 SUSSEX STREET	276.17 SF
LOT 98 PLAN 2854	800-00495	1360 SUSSEX STREET	276.17 SF
LOT 99 PLAN 2854	800-00496	1360 SUSSEX STREET	276.17 SF
LOT 100 PLAN 2854	800-00497	1360 SUSSEX STREET	276.17 SF
LOT 101 PLAN 2854	800-00498	1360 SUSSEX STREET	276.17 SF
LOT 102 PLAN 2854	800-00499	1360 SUSSEX STREET	276.17 SF
LOT 103 PLAN 2854	800-00500	1360 SUSSEX STREET	276.17 SF
LOT 104 PLAN 2854	800-00501	1360 SUSSEX STREET	276.17 SF
LOT 105 PLAN 2854	800-00502	1360 SUSSEX STREET	276.17 SF
LOT 106 PLAN 2854	800-00503	1360 SUSSEX STREET	276.17 SF
LOT 107 PLAN 2854	800-00504	1360 SUSSEX STREET	276.17 SF
LOT 108 PLAN 2854	800-00505	1360 SUSSEX STREET	276.17 SF
LOT 109 PLAN 2854	800-00506	1360 SUSSEX STREET	276.17 SF
LOT 110 PLAN 2854	800-00507	1360 SUSSEX STREET	276.17 SF
LOT 111 PLAN 2854	800-00508	1360 SUSSEX STREET	276.17 SF
LOT 112 PLAN 2854	800-00509	1360 SUSSEX STREET	276.17 SF
LOT 113 PLAN 2854	800-00510	1360 SUSSEX STREET	276.17 SF
LOT 114 PLAN 2854	800-00511	1360 SUSSEX STREET	276.17 SF
LOT 115 PLAN 2854	800-00512	1360 SUSSEX STREET	276.17 SF
LOT 116 PLAN 2854	800-00513	1360 SUSSEX STREET	276.17 SF
LOT 117 PLAN 2854	800-00514	1360 SUSSEX STREET	276.17 SF
LOT 118 PLAN 2854	800-00515	1360 SUSSEX STREET	276.17 SF
LOT 119 PLAN 2854	800-00516	1360 SUSSEX STREET	276.17 SF
LOT 120 PLAN 2854	800-00517	1360 SUSSEX STREET	276.17 SF
LOT 121 PLAN 2854	800-00518	1360 SUSSEX STREET	276.17 SF
LOT 122 PLAN 2854	800-00519	1360 SUSSEX STREET	276.17 SF
LOT 123 PLAN 2854	800-00520	1360 SUSSEX STREET	276.17 SF
LOT 124 PLAN 2854	800-00521	1360 SUSSEX STREET	276.17 SF
LOT 125 PLAN 2854	800-00522	1360 SUSSEX STREET	276.17 SF
LOT 126 PLAN 2854	800-00523	1360 SUSSEX STREET	276.17 SF
LOT 127 PLAN 2854	800-00524	1360 SUSSEX STREET	276.17 SF
LOT 128 PLAN 2854	800-00525	1360 SUSSEX STREET	276.17 SF
LOT 129 PLAN 2854	800-00526	1360 SUSSEX STREET	276.17 SF
LOT 130 PLAN 2854	800-00527	1360 SUSSEX STREET	276.17 SF
LOT 131 PLAN 2854	800-00528	1360 SUSSEX STREET	276.17 SF
LOT 132 PLAN 2854	800-00529	1360 SUSSEX STREET	276.17 SF
LOT 133 PLAN 2854	800-00530	1360 SUSSEX STREET	276.17 SF
LOT 134 PLAN 2854	800-00531	1360 SUSSEX STREET	276.17 SF
LOT 135 PLAN 2854	800-00532	1360 SUSSEX STREET	276.17 SF
LOT 136 PLAN 2854	800-00533	1360 SUSSEX STREET	276.17 SF
LOT 137 PLAN 2854	800-00534	1360 SUSSEX STREET	276.17 SF
LOT 138 PLAN 2854	800-00535	1360 SUSSEX STREET	276.17 SF
LOT 139 PLAN 2854	800-00536	1360 SUSSEX STREET	276.17 SF
LOT 140 PLAN 2854	800-00537	1360 SUSSEX STREET	276.17 SF
LOT 141 PLAN 2854	800-00538	1360 SUSSEX STREET	276.17 SF
LOT 142 PLAN 2854	800-00539	1360 SUSSEX STREET	276.17 SF
LOT 143 PLAN 2854	800-00540	1360 SUSSEX STREET	276.17 SF
LOT 144 PLAN 2854	800-00541	1360 SUSSEX STREET	276.17 SF
LOT 145 PLAN 2854	800-00542	1360 SUSSEX STREET	276.17 SF
LOT 146 PLAN 2854	800-00543	1360 SUSSEX STREET	276.17 SF
LOT 147 PLAN 2854	800-00544	1360 SUSSEX STREET	276.17 SF
LOT 148 PLAN 2854	800-00545	1360 SUSSEX STREET	276.17 SF
LOT 149 PLAN 2854	800-00546	1360 SUSSEX STREET	276.17 SF
LOT 150 PLAN 2854	800-00547	1360 SUSSEX STREET	276.17 SF
LOT 151 PLAN 2854	800-00548	1360 SUSSEX STREET	276.17 SF
LOT 152 PLAN 2854	800-00549	1360 SUSSEX STREET	276.17 SF
LOT 153 PLAN 2854	800-00550	1360 SUSSEX STREET	276.17 SF
LOT 154 PLAN 2854	800-00551	1360 SUSSEX STREET	276.17 SF
LOT 155 PLAN 2854	800-00552	1360 SUSSEX STREET	276.17 SF
LOT 156 PLAN 2854	800-00553	1360 SUSSEX STREET	276.17 SF
LOT 157 PLAN 2854	800-00554	1360 SUSSEX STREET	276.17 SF
LOT 158 PLAN 2854	800-00555	1360 SUSSEX STREET	276.17 SF
LOT 159 PLAN 2854	800-00556	1360 SUSSEX STREET	276.17 SF
LOT 160 PLAN 2854	800-00557	1360 SUSSEX STREET	276.17 SF
LOT 161 PLAN 2854	800-00558	1360 SUSSEX STREET	276.17 SF
LOT 162 PLAN 2854	800-00559	1360 SUSSEX STREET	276.17 SF
LOT 163 PLAN 2854	800-00560	1360 SUSSEX STREET	276.17 SF
LOT 164 PLAN 2854	800-00561	1360 SUSSEX STREET	276.17 SF
LOT 165 PLAN 2854	800-00562	1360 SUSSEX STREET	276.17 SF
LOT 166 PLAN 2854	800-00563	1360 SUSSEX STREET	276.17 SF
LOT 167 PLAN 2854	800-00564	1360 SUSSEX STREET	276.17 SF
LOT 168 PLAN 2854	800-00565	1360 SUSSEX STREET	276.17 SF
LOT 169 PLAN 2854	800-00566	1360 SUSSEX STREET	276.17 SF
LOT 170 PLAN 2854	800-00567	1360 SUSSEX STREET	276.17 SF
LOT 171 PLAN 2854	800-00568	1360 SUSSEX STREET	276.17 SF
LOT 172 PLAN 2854	800-00569	1360 SUSSEX STREET	276.17 SF
LOT 173 PLAN 2854	800-00570	1360 SUSSEX STREET	276.17 SF
LOT 174 PLAN 2854	800-00571	1360 SUSSEX STREET	276.17 SF
LOT 175 PLAN 2854	800-00572	1360 SUSSEX STREET	276.17 SF
LOT 176 PLAN 2854	800-00573	1360 SUSSEX STREET	276.17 SF
LOT 177 PLAN 2854	800-00574	1360 SUSSEX STREET	276.17 SF
LOT 178 PLAN 2854	800-00575	1360 SUSSEX STREET	276.17 SF
LOT 179 PLAN 2854	800-00576	1360 SUSSEX STREET	276.17 SF
LOT 180 PLAN 2854	800-00577	1360 SUSSEX STREET	276.17 SF
LOT 181 PLAN 2854	800-00578	1360 SUSSEX STREET	276.17 SF
LOT 182 PLAN 2854	800-00579	1360 SUSSEX STREET	276.17 SF
LOT 183 PLAN 2854	800-00580	1360 SUSSEX STREET	276.17 SF
LOT 184 PLAN 2854	800-00581	1360 SUSSEX STREET	276.17 SF
LOT 185 PLAN 2854	800-00582	1360 SUSSEX STREET	276.17 SF
LOT 186 PLAN 2854	800-00583	1360 SUSSEX STREET	276.17 SF
LOT 187 PLAN 2854	800-00584	1360 SUSSEX STREET	276.17 SF
LOT 188 PLAN 2854	800-00585	1360 SUSSEX STREET	276.17 SF
LOT 189 PLAN 2854	800-00586	1360 SUSSEX STREET	276.17 SF
LOT 190 PLAN 2854	800-00587	1360 SUSSEX STREET	276.17 SF
LOT 191 PLAN 2854	800-00588	1360 SUSSEX STREET	

**ISSUES**

NO.	DESCRIPTION	DATE
A	REZONING SUBMISSION - RESPONSE TO CITY COMMENTS	2024-09-27
B	DEVELOPMENT PERMIT	2025-13-10
C	DEVELOPMENT PERMIT - RESPONSE TO CITY COMMENTS	2025-03-31

SEAL



2026-03-31

CLIENT



Suite 600 - 550 Burrard Street, Vancouver, BC V6C 2B5

PROJECT TITLE

**SUSSEX & SAUNDERS**

1360 SUSSEX ST, 1337 SAUNDERS ST, ESQUIMALT, BC V8A 4Z9

DRAWING TITLE

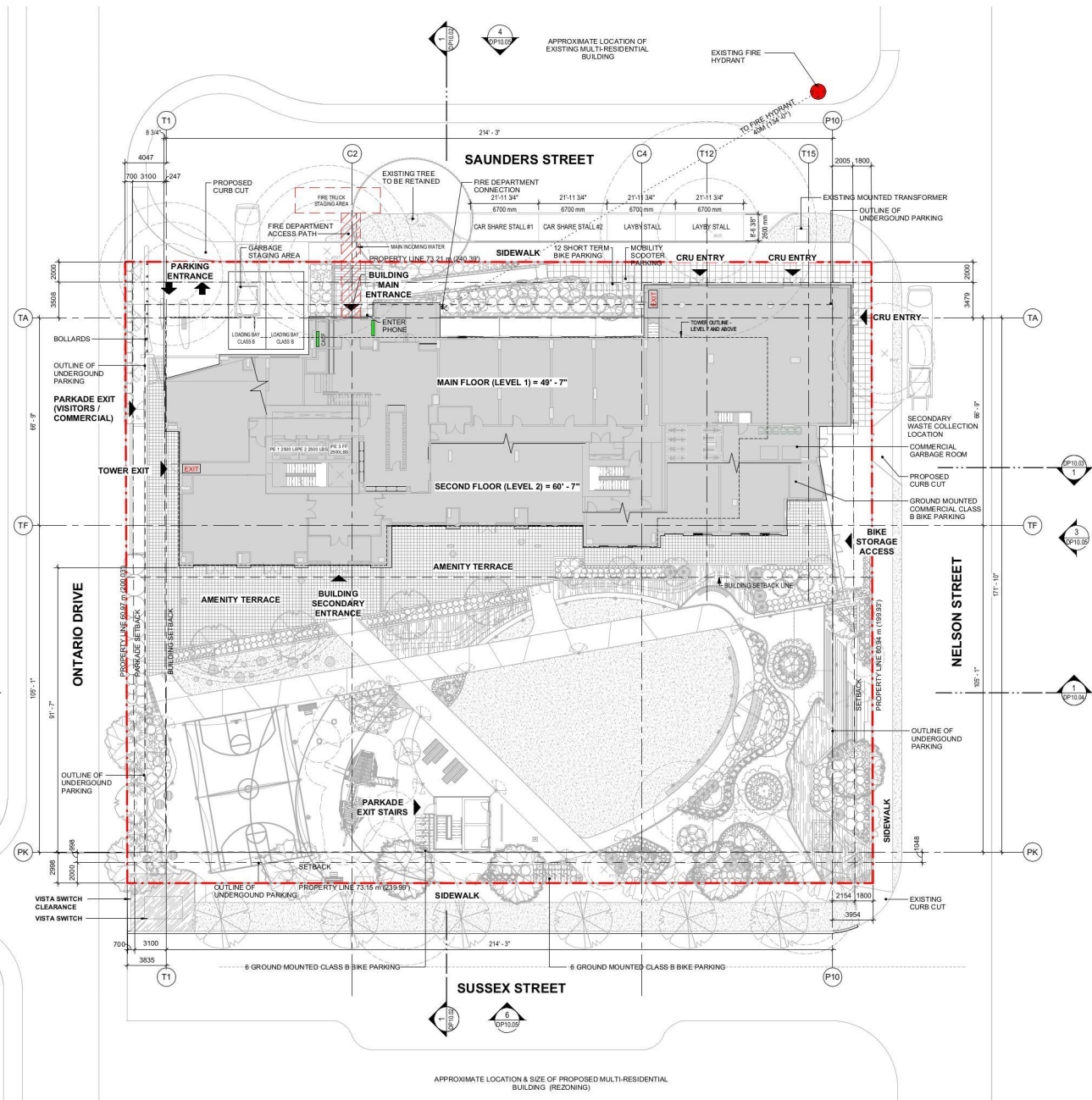
**OVERALL SITE PLAN**

SCALE: 1/16" = 1'-0"  
 DRAWN BY: NT,DD,AM  
 CHECKED BY: VT,RA  
 PROJECT MANAGER(S): DD,CV  
 APPROVED BY: LM  
 PROJECT NUMBER: ACA\_30259438\_00143037

ISSUE: **C** SHEET: **DP10.01**

**SITE LEGEND**

- PROPERTY LINE
- SETBACK LINE
- TRAVEL DISTANCE
- UNDERGROUND PARKADE OUTLINE
- EXISTING FIRE HYDRANT
- CENTRAL ALARM AND CONTROL FACILITY
- FIRE ALARM ANNUNCIATOR
- FIRE DEPARTMENT CONNECTION
- VEHICLE ENTRANCE / EXIT
- BOLLARD
- EXIT PATH
- EXISTING TREE



**COPYRIGHT**  
 This drawing has been prepared solely for the intended use. No any reproduction or distribution for any purpose other than authorized by Arcadis is forbidden. Where dimensions shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job, and facilities shall be confirmed of any variations from the dimensions and conditions shown on this drawing. Shop drawings shall be submitted to Arcadis for general conformance before proceeding with fabrication.

**ISSUES**

No.	DESCRIPTION	DATE
A	REVISION SUBMISSION - RESPONSE TO CITY COMMENTS	2024-09-27
B	DEVELOPMENT PERMIT RESPONSE TO CITY COMMENTS	2024-11-19
C	DEVELOPMENT PERMIT RESPONSE TO CITY COMMENTS	2024-03-31

**SEAL**



2026-03-31

**CLIENT**

**INTRACORP**  
 Building the Extraordinary

Suite 600 - 550 Burrard Street, Vancouver, BC V6C 2B5

**PROJECT TITLE**

**SUSSEX & SAUNDERS**

1360 SUSSEX ST. 1337 SAUNDERS ST.  
 ESCQUALE, BC  
 V5A 4Z9

**DRAWING TITLE**

**SITE SECTIONS**

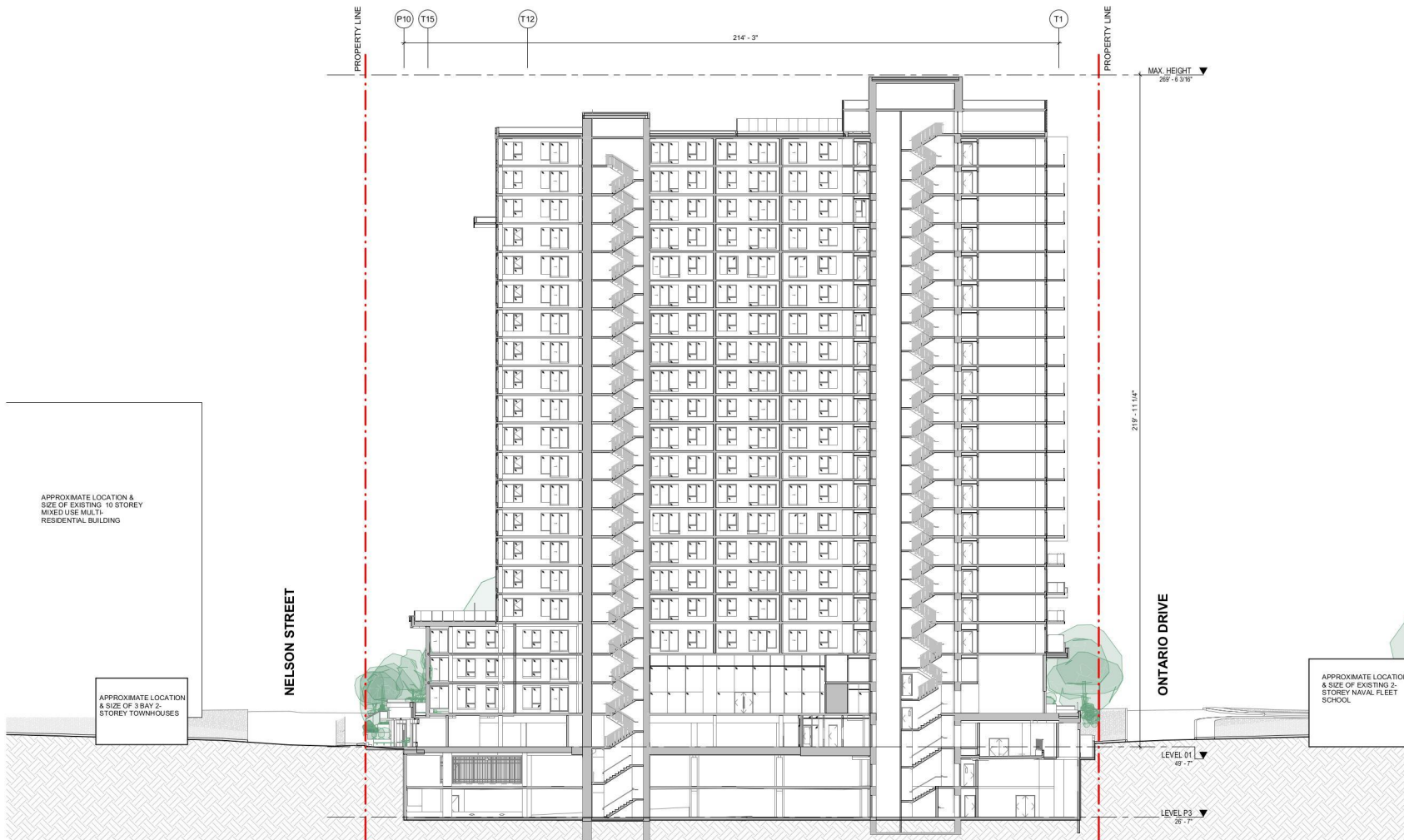
SCALE: 1/16" = 1'-0"  
 DRAWN BY: DO AMANT  
 CHECKED BY: VT JRA  
 PROJECT MANAGER(S): DO CVJ  
 APPROVED BY: LM  
 PROJECT NUMBER: ACA\_30259438\_00143037

**ISSUE**

**SHEET**

**C DP10.02**





PRIME CONSULTANT



ARCADIS ARCHITECTS (CANADA) INC.  
 1353 Ellis Street - Suite 202  
 Kelowna, BC V1Y 1Z9 Canada  
 250 860 3432

www.arcadis.com

**COPYRIGHT**  
 This drawing has been prepared solely for the intended use. No any reproduction or distribution for any purpose other than authorized by Arcadis is allowed. Writers dimensions shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job, and facilities shall be confirmed of any variations from the dimensions and conditions shown on this drawing. Site drawings shall be controlled by Arcadis for general conformance before proceeding with fabrication.

**ISSUES**

No.	DESCRIPTION	DATE
A	REZONING SUBMISSION - RESPONSE TO CITY COMMENTS	2024-09-27
B	DEVELOPMENT PERMIT	2022-11-19
C	DEVELOPMENT PERMIT - RESPONSE TO CITY COMMENTS	2024-03-31

SEAL



2026-03-31

CLIENT

**INTRACORP**  
 Building the Extraordinary

Suite 600 - 550 Burrard Street, Vancouver, BC V6C 2B5

PROJECT TITLE

**SUSSEX & SAUNDERS**

1360 SUSSEX ST, 1337 SAUNDERS ST,  
 ESQUIMALT, BC  
 V8A 4Z9

DRAWING TITLE

**SITE SECTIONS**

SCALE: 1/16" = 1'-0"  
 DRAWN BY: DD/AMNT  
 CHECKED BY: VT/JRA  
 PROJECT MANAGER(S): DD/CV  
 APPROVED BY: Approver  
 PROJECT NUMBER: ACA\_30259438\_00143037

ISSUE SHEET

**C DP10.03**

**ISSUES**

No.	DESCRIPTION	DATE
A	REZONING SUBMISSION - RESPONSE TO CITY COMMENTS	2024-09-27
B	DEVELOPMENT PERMIT RESPONSE TO CITY COMMENTS	2025-13-19
C	DEVELOPMENT PERMIT RESPONSE TO CITY COMMENTS	2026-03-31

**SEAL**



2026-03-31

**CLIENT**

**INTRACORP**  
 Building the Extraordinary

Suite 600 - 550 Burrard Street, Vancouver, BC V6C 2B5

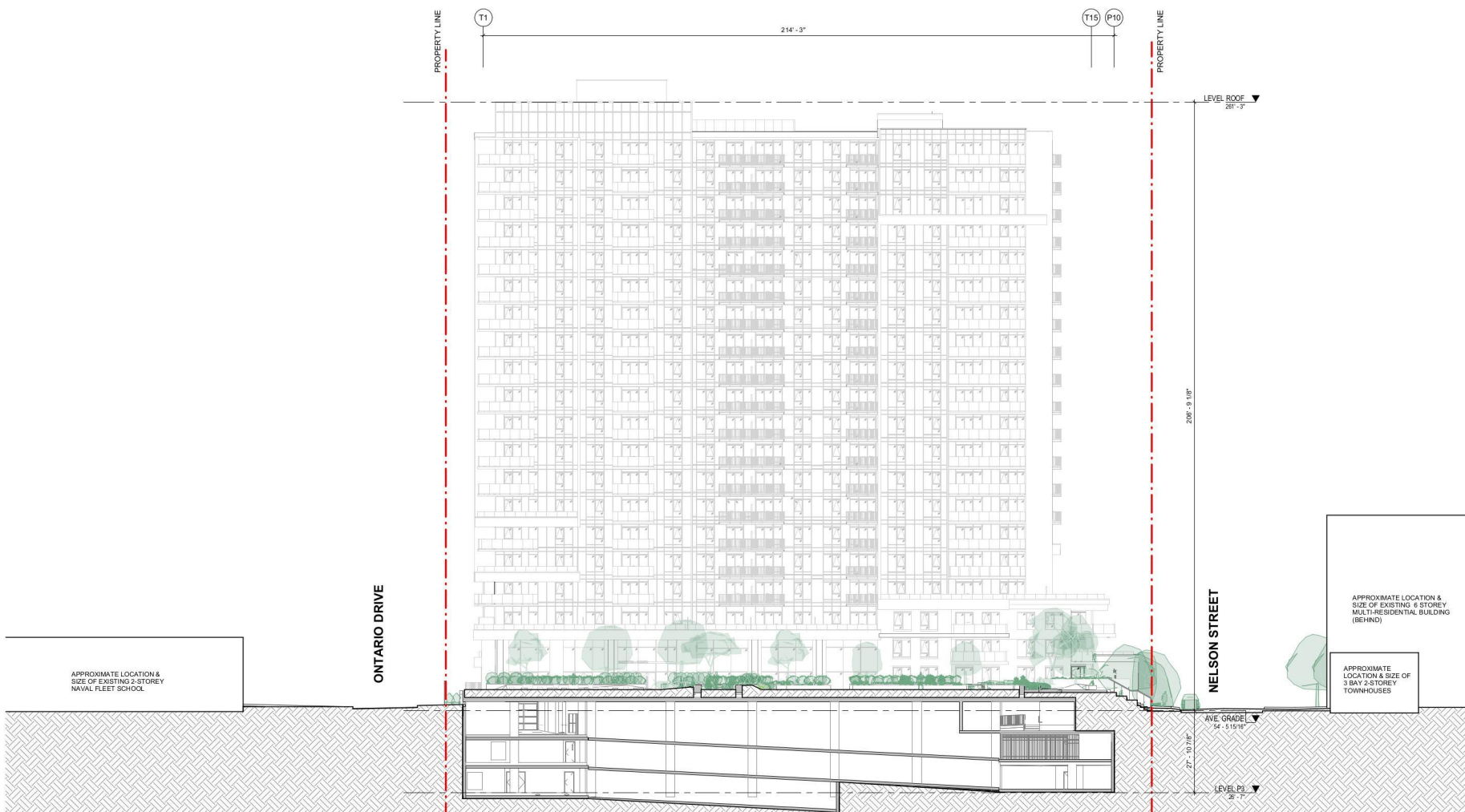
**PROJECT TITLE**  
**SUSSEX & SAUNDERS**

1360 SUSSEX ST., 1337 SAUNDERS ST.,  
 ESQUIMALT, BC  
 V8A 4Z9

**DRAWING TITLE**  
**SITE SECTIONS**

SCALE: 1/16" = 1'-0"  
 DRAWN BY: DD,AMANT  
 CHECKED BY: VT,RA  
 PROJECT MANAGER(S): DD,CV  
 APPROVED BY: LM  
 PROJECT NUMBER: ACA\_30254348\_00143037

ISSUE: **C** SHEET: **DP10.04**



**ISSUES**

No.	DESCRIPTION	DATE
A	REZONING SUBMISSION - RESPONSE TO CITY COMMENTS	2024-09-27
B	DEVELOPMENT PERMIT - RESPONSE TO CITY COMMENTS	2025-13-10
C	DEVELOPMENT PERMIT - RESPONSE TO CITY COMMENTS	2026-03-31

**SEAL**



2026-03-31

**CLIENT**

**INTRACORP**  
 Building the Extraordinary

Suite 600 - 550 Burrard Street, Vancouver, BC V6C 2B5

**PROJECT TITLE**

**SUSSEX & SAUNDERS**

1360 SUSSEX ST, 1337 SAUNDERS ST,  
 ESCQUALET, BC  
 V5A 4Z9

**DRAWING TITLE**

**STREETSCAPES**

SCALE: 1" = 30'-0"  
 DRAWN BY: DD/AMNT  
 CHECKED BY: VTR/A  
 PROJECT MANAGER(S): DD/LV  
 APPROVED BY: LM  
 PROJECT NUMBER: ACA\_30259438\_00143037

ISSUE SHEET

**C DP10.05**



5 ONTARIO STREETSCAPE  
 DP10.05 SCALE: 1" = 30'-0"



6 SUSSEX STREETSCAPE  
 DP10.05 SCALE: 1" = 30'-0"



3 NELSON STREETSCAPE  
 DP10.05 SCALE: 1" = 30'-0"



4 SAUNDERS STREETSCAPE  
 DP10.05 SCALE: 1" = 30'-0"

**ISSUES**

NO.	DESCRIPTION	DATE
A	REZONING SUBMISSION - RESPONSE TO CITY COMMENTS	2024-09-27
B	DEVELOPMENT PERMIT - RESPONSE TO CITY COMMENTS	2025-13-10
C	DEVELOPMENT PERMIT - RESPONSE TO CITY COMMENTS	2026-03-31

SEAL



2026-03-31

CLIENT

**INTRACORP**  
 Building the Extraordinary

Suite 600 - 550 Burrard Street, Vancouver, BC V6C 2B5

PROJECT TITLE

**SUSSEX & SAUNDERS**

1360 SUSSEX ST. 1337 SAUNDERS ST.  
 ESQUIMALT, BC  
 V8A 4Z9

DRAWING TITLE

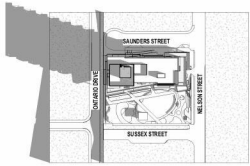
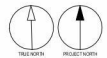
**SHADOW STUDY  
 DIAGRAMS**

SCALE: 1" = 160'-0"  
 DRAWN BY: DO,AMANT  
 CHECKED BY: VTR,RA  
 PROJECT MANAGERS: DO,CV  
 APPROVED BY: LM  
 PROJECT NUMBER: ACA\_30259438\_00143037

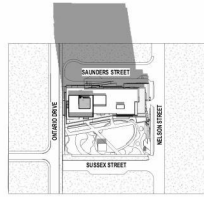
ISSUE

SHEET

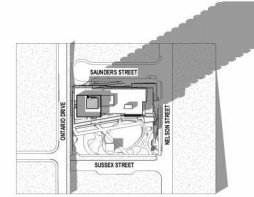
**C DP10.06**



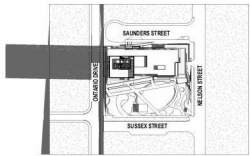
5 **SPRING EQUINOX - MARCH 20 AT 8AM**  
 DP10.06 Scale: 1" = 160'-0"



6 **SPRING EQUINOX - MARCH 20 AT 12PM**  
 DP10.06 Scale: 1" = 160'-0"



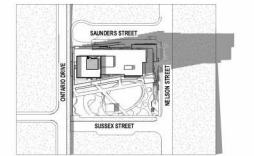
4 **SPRING EQUINOX - MARCH 20 AT 4PM**  
 DP10.06 Scale: 1" = 160'-0"



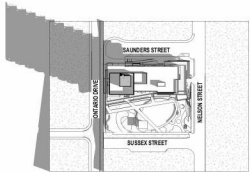
8 **SUMMER SOLSTICE - JUNE 20 AT 8AM**  
 DP10.06 Scale: 1" = 160'-0"



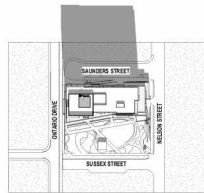
9 **SUMMER SOLSTICE - JUNE 20 AT 12PM**  
 DP10.06 Scale: 1" = 160'-0"



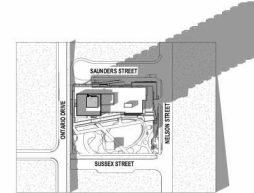
7 **SUMMER SOLSTICE - JUNE 20 AT 4PM**  
 DP10.06 Scale: 1" = 160'-0"



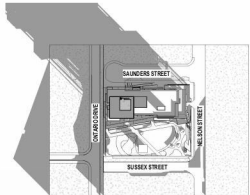
2 **FALL EQUINOX - SEPT 22 AT 8 AM**  
 DP10.06 Scale: 1" = 160'-0"



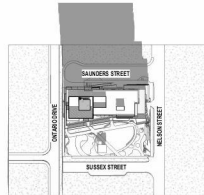
3 **FALL EQUINOX - SEPT 22 AT 12 PM**  
 DP10.06 Scale: 1" = 160'-0"



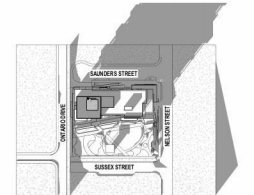
1 **FALL EQUINOX - SEPT 22 AT 4 PM**  
 DP10.06 Scale: 1" = 160'-0"



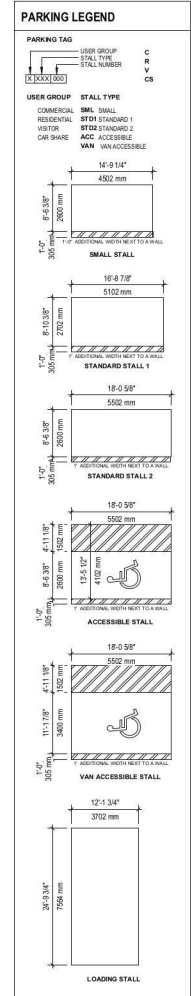
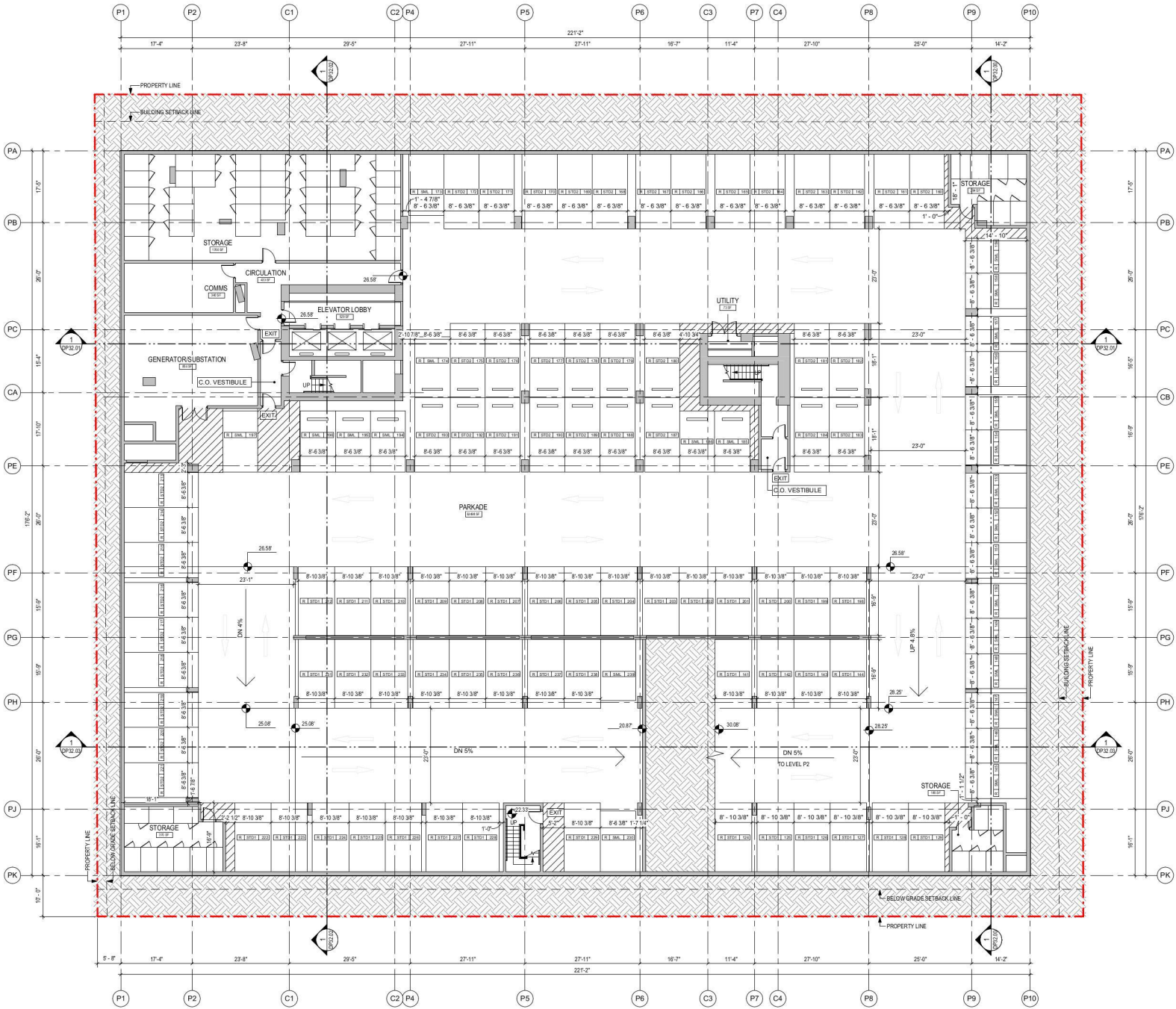
11 **WINTER SOLSTICE - DEC 21 AT 9 AM**  
 DP10.06 Scale: 1" = 160'-0"



12 **WINTER SOLSTICE - DEC 21 AT 12 PM**  
 DP10.06 Scale: 1" = 160'-0"



10 **WINTER SOLSTICE - DEC 21 AT 3 PM**  
 DP10.06 Scale: 1" = 160'-0"



### DP PARKING SCHEDULE - P3

STALL	COUNT
SMALL STALL - RESIDENTIAL	25
STANDARD 1 - RESIDENTIAL	41
STANDARD 2 - RESIDENTIAL	39
<b>Grand Total:</b>	<b>105</b>

PRIME CONSULTANT

ARCADIS ARCHITECTS (CANADA) INC.  
 1353 Ellis Street - Suite 202  
 Vancouver, BC V1Y 1Z9 Canada  
 250 980 3432  
[www.arcadis.com](http://www.arcadis.com)

**COPYRIGHT**  
 This drawing has been prepared solely for the intended use. No reproduction or distribution for any purpose other than authorized by Arcadis is permitted. Where dimensions conflict, the most restrictive shall prevail. Contractors shall verify and be responsible for all dimensions and conditions on the job, and specific shall be obtained if any variations from the dimensions and conditions shown on this drawing. Shop drawings shall be submitted by Arcadis for general conformance before proceeding with fabrication.

**ISSUES**

No.	DESCRIPTION	DATE
A	REVISION SUBMISSION - RESPONSE TO CITY COMMENTS	2024-09-27
B	DEVELOPMENT PERMIT	2025-12-10
C	DEVELOPMENT PERMIT - RESPONSE TO CITY COMMENTS	2026-03-31

**SEAL**

2026-03-31

**CLIENT**

**INTRACORP**  
 Building the Extraordinary

Suite 600 - 550 Burrard Street, Vancouver, BC V6C 2B5

**PROJECT TITLE**

**SUSSEX & SAUNDERS**

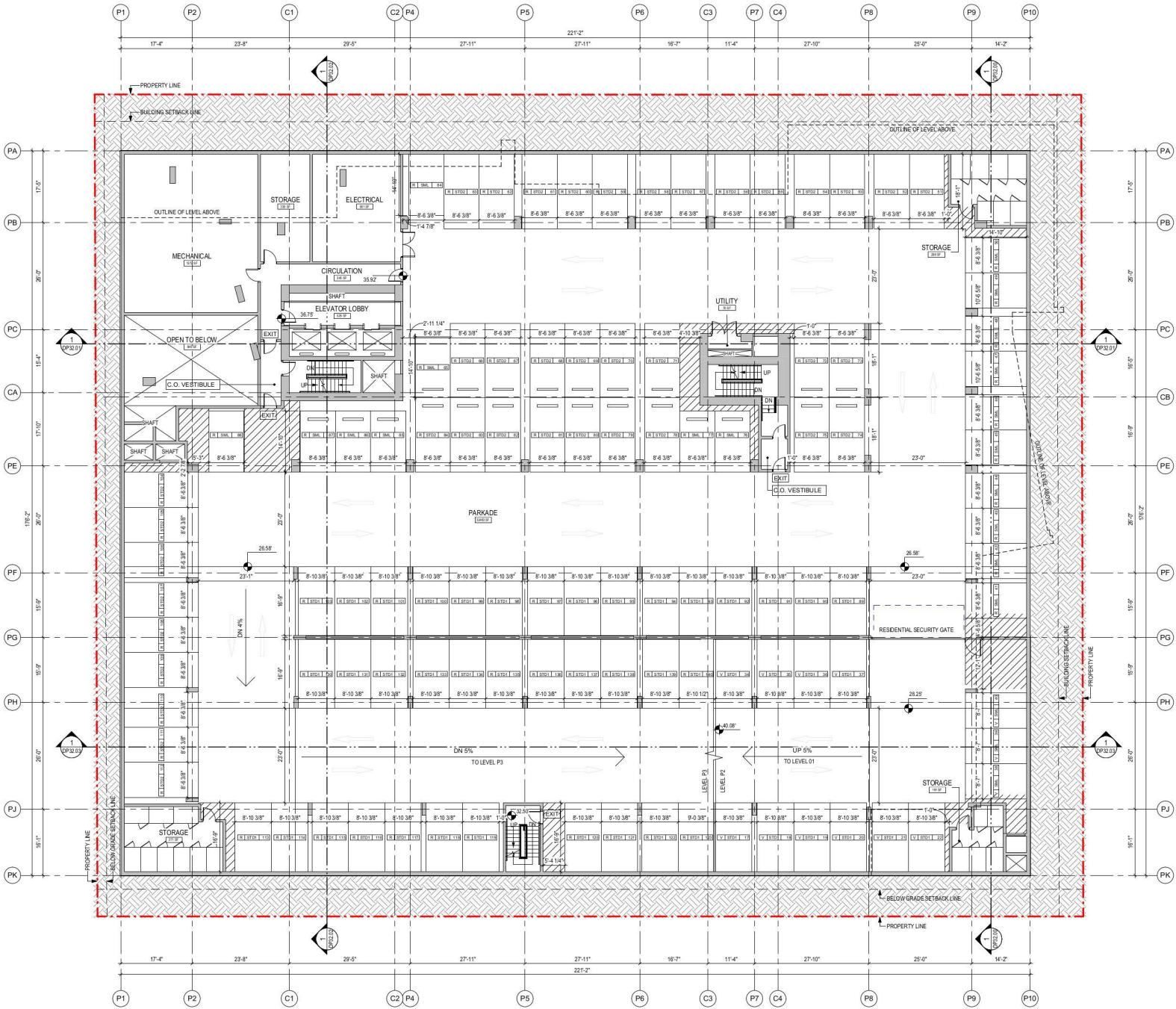
**DRAWING TITLE**

**LEVEL P3 FLOOR PLAN**

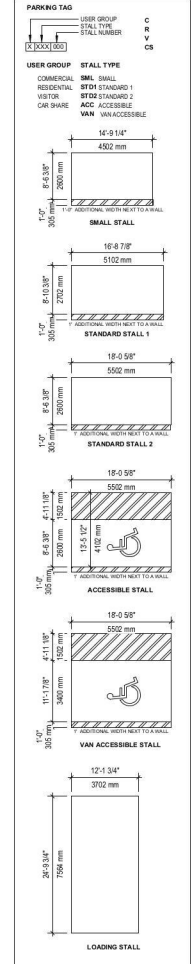
SCALE: 3/32" = 1'-0"  
 DRAWN BY: DD,AMNT  
 CHECKED BY: VJ,RA  
 PROJECT MANAGER(S): DD,CV  
 APPROVED BY: LM  
 PROJECT NUMBER: ACA\_30259438\_00143037

**ISSUE** **SHEET**

**C DP20.00**



**PARKING LEGEND**



**DP PARKING SCHEDULE - P2**

STALL	COUNT
SMALL STALL - RESIDENTIAL	18
STANDARD 1 - RESIDENTIAL	37
STANDARD 2 - RESIDENTIAL	39
SMALL STALL - VISITOR	3
STANDARD 1 - VISITOR	10
<b>Grand total:</b>	<b>107</b>



ARCADIS ARCHITECTS (CANADA) INC.  
 1353 Ellis Street - Suite 202  
 Vancouver, BC V1Y 1Z9 Canada  
 250 980 3432  
 www.arcadis.com

**COPYRIGHT**  
 This drawing has been prepared solely for the intended use. No reproduction or distribution for any purpose other than authorized by Arcadis is allowed. Where dimensions shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job, and specify shall be deemed of any variations from the dimensions and conditions shown on this drawing. Shop drawings shall be submitted to Arcadis for general conformance before proceeding with fabrication.

**ISSUES**

No.	DESCRIPTION	DATE
A	REVISION SUBMISSION - RESPONSE TO CITY COMMENTS	2024-09-27
B	DEVELOPMENT PERMIT	2024-10-10
C	DEVELOPMENT PERMIT - RESPONSE TO CITY COMMENTS	2024-03-11



2026-03-31  
 CLIENT



Suite 600 - 550 Burrard Street, Vancouver, BC V6C 2B5

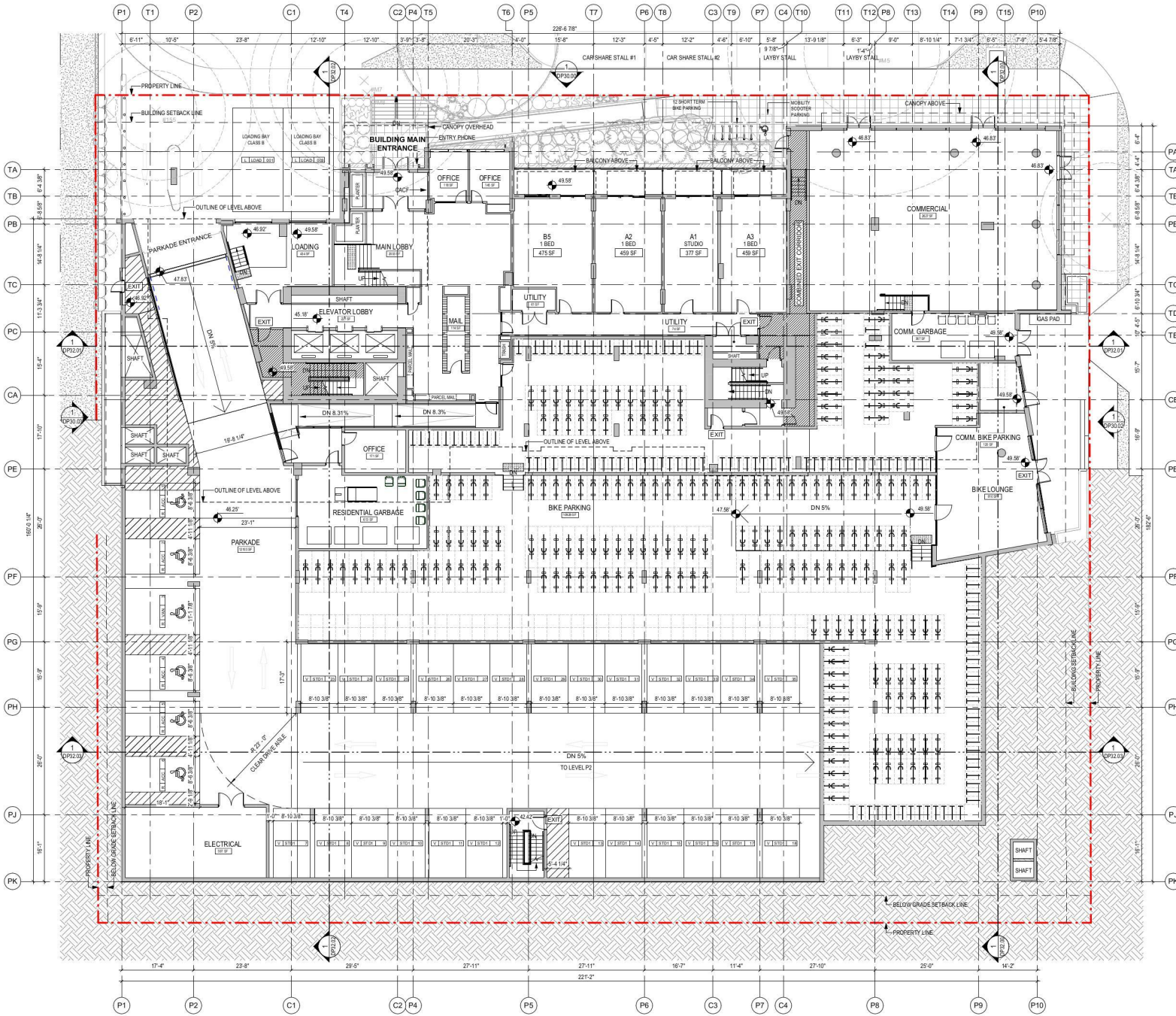
PROJECT TITLE  
**SUSSEX & SAUNDERS**

1360 SUSSEX ST. 137 SAUNDERS ST.  
 ESSAVAL, BC  
 V5A 4Z9

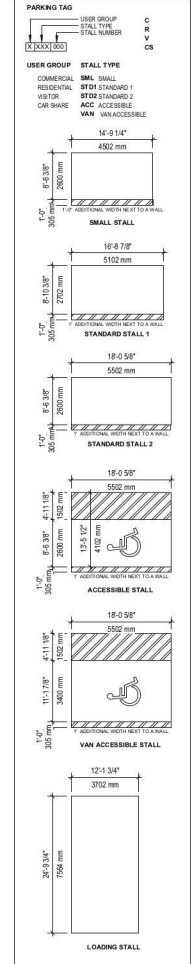
DRAWING TITLE  
**LEVEL P2 FLOOR PLAN**

SCALE: 3/32" = 1'-0"  
 DRAWN BY: D/AMANT  
 CHECKED BY: D/VRA  
 PROJECT MANAGER(S): D/CLV  
 APPROVED BY: LM  
 PROJECT NUMBER: ACA\_30259438\_00143037

ISSUE: **C**  
 SHEET: **DP20.01**



**PARKING LEGEND**



**DP PARKING SCHEDULE - P1**

Type	Count
STANDARD 1 - CARSHARE	2
STANDARD 1 - VISITORS	21
STANDARD 1 - VISITORS	21
<b>Grand total:</b>	<b>23</b>

**DP RESIDENTIAL BIKE PARKING PLAN**

TYPE	STALL SIZE (L/W)	COUNT	PERCENT
Horizontal Class B	8'0", 3'0"	167	40%
Horizontal	10'0", 3'0"	43	10%
Overhead Class A	8'0", 3'0"	82	20%
Stacked	8'0", 3'0"	124	30%
Vertical Class A	4'0", 2'0"	416	100%

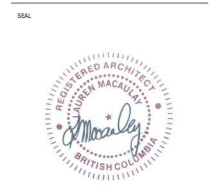


ARCADIS ARCHITECTS (CANADA) INC.  
 1353 Ellis Street - Suite 202  
 Vancouver, BC V1Y 1Z9 Canada  
 250 980 3432  
 www.arcadis.com

**COPYRIGHT**  
 This drawing has been prepared solely for the intended use. No reproduction or distribution for any purpose other than authorized by Arcadis is permitted. Where dimensions shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job, and Arcadis shall be relieved of any variations from the dimensions and conditions shown on this drawing. Shop drawings shall be submitted by Arcadis for general performance before proceeding with fabrication.

**ISSUES**

No	DESCRIPTION	RESPONSE TO	DATE
A	REVISION SUBMISSION	CITY COMMENTS	2024-09-27
B	DEVELOPMENT PERMIT	CITY COMMENTS	2024-11-19
C	DEVELOPMENT PERMIT	CITY COMMENTS	2024-03-31



2026-03-31

CLIENT  
**INTRACORP**  
 Building the Extraordinary

1340 SUSSEX ST. 1337 SAUNDERS ST.  
 ESQUIMALT, BC  
 V8A 4Z9

PROJECT TITLE  
**SUSSEX & SAUNDERS**

DRAWING TITLE  
**LEVEL 1 FLOOR PLAN**

SCALE: 3/32" = 1'-0"  
 DRAWN BY: DD AMANT  
 CHECKED BY: VJ RA  
 PROJECT MANAGER(S): DD CV  
 APPROVED BY: LM  
 PROJECT NUMBER: ACA\_30255438\_00143037

ISSUE  
**C**

SHEET  
**DP20.02**



**COPYRIGHT**

This drawing has been prepared solely for the intended use. No any reproduction or distribution for any purpose other than authorized by Arcadis is forbidden. Where dimensions shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job, and location shall be determined of any variations from the dimensions and conditions shown on this drawing. Shop drawings shall be submitted to Arcadis for general conformance before proceeding with fabrication.

**ISSUES**

No.	DESCRIPTION	DATE
A	REVISION SUBMISSION - RESPONSE TO CITY COMMENTS	2024-09-27
B	DEVELOPMENT PERMIT	2024-11-19
C	DEVELOPMENT PERMIT - RESPONSE TO CITY COMMENTS	2024-03-13

**SEAL**



2026-03-31

**CLIENT**

**INTRACORP**  
 Building the Extraordinary

Suite 600 - 550 Burrard Street, Vancouver, BC V6C 2B5

**PROJECT TITLE**

**SUSSEX & SAUNDERS**

1360 SUSSEX ST., 1337 SAUNDERS ST.,  
 ESQUALME, BC  
 V3A 4Z9

**DRAWING TITLE**

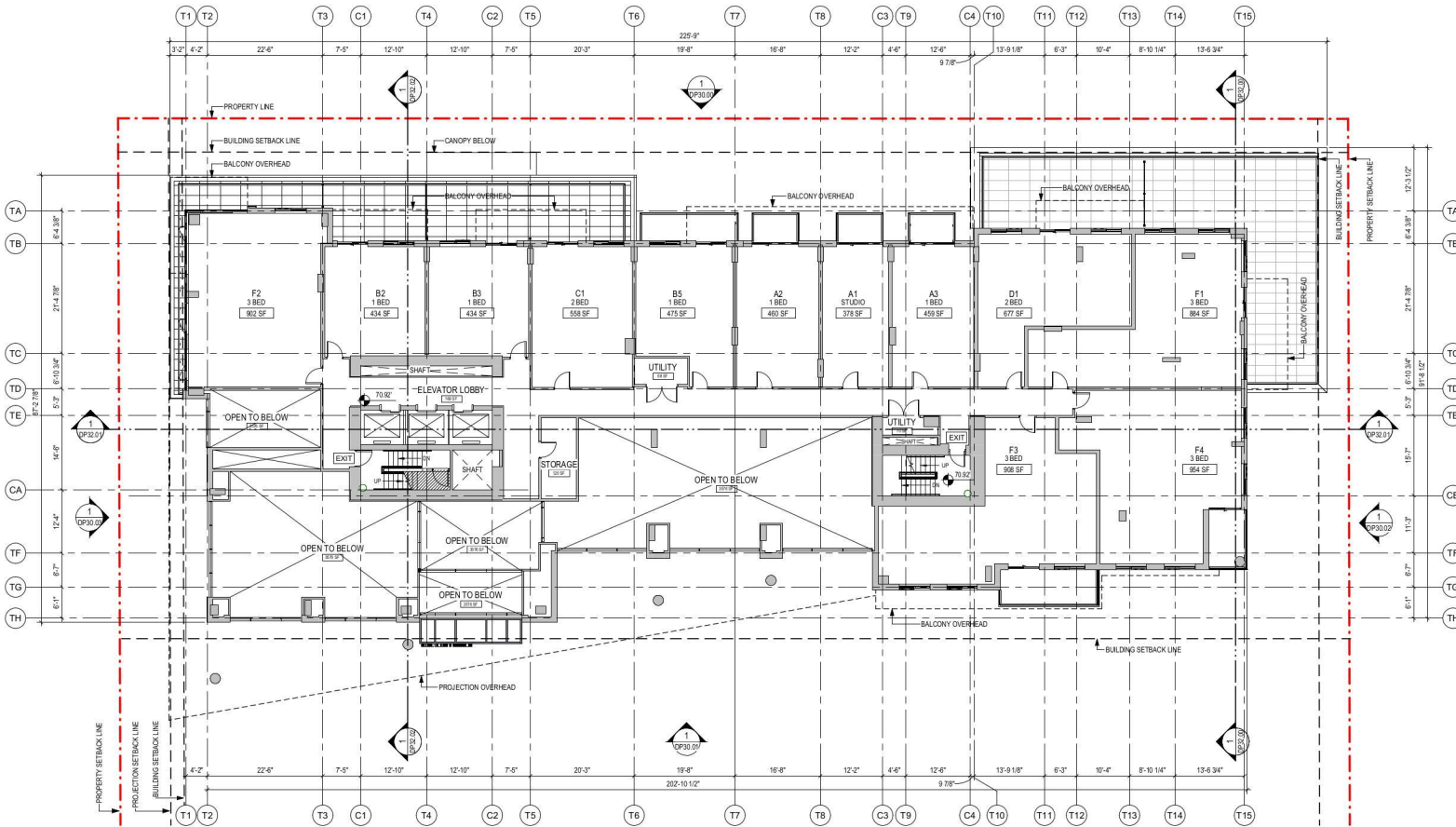
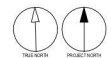
**LEVEL 3 FLOOR PLAN**

SCALE: 3/32" = 1'-0"  
 DRAWN BY: DD,AMANT  
 CHECKED BY: VT,RA  
 PROJECT MANAGERS: DD,CV  
 APPROVED BY: LM  
 PROJECT NUMBER: ACA\_30255438\_00143037

**ISSUE**

**SHEET**

**C DP20.04**



**COPYRIGHT**  
 This drawing has been prepared solely for the intended use. No any reproduction or distribution for any purpose other than authorized by Arcadis is forbidden. Where dimensions shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job, and location shall be determined of any variations from the dimensions and conditions shown on this drawing. Shop drawings shall be submitted to Arcadis for general conformance before proceeding with fabrication.

ISSUE	No.	DESCRIPTION	DATE
A	1	REZONING SUBMISSION - RESPONSE TO CITY COMMENTS	2024-09-27
B	2	DEVELOPMENT PERMIT	2025-11-19
C	3	DEVELOPMENT PERMIT - RESPONSE TO CITY COMMENTS	2026-03-31

SEAL



2026-03-31

CLIENT

**INTRACORP**  
 Building the Extraordinary

Suite 600 - 550 Burrard Street, Vancouver, BC V6C 2B5

PROJECT TITLE

**SUSSEX & SAUNDERS**

1360 SUSSEX ST., 1337 SAUNDERS ST.  
 ESQUALME, BC  
 V3A 4Z9

DRAWING TITLE

**LEVEL 4 FLOOR PLAN**

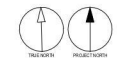
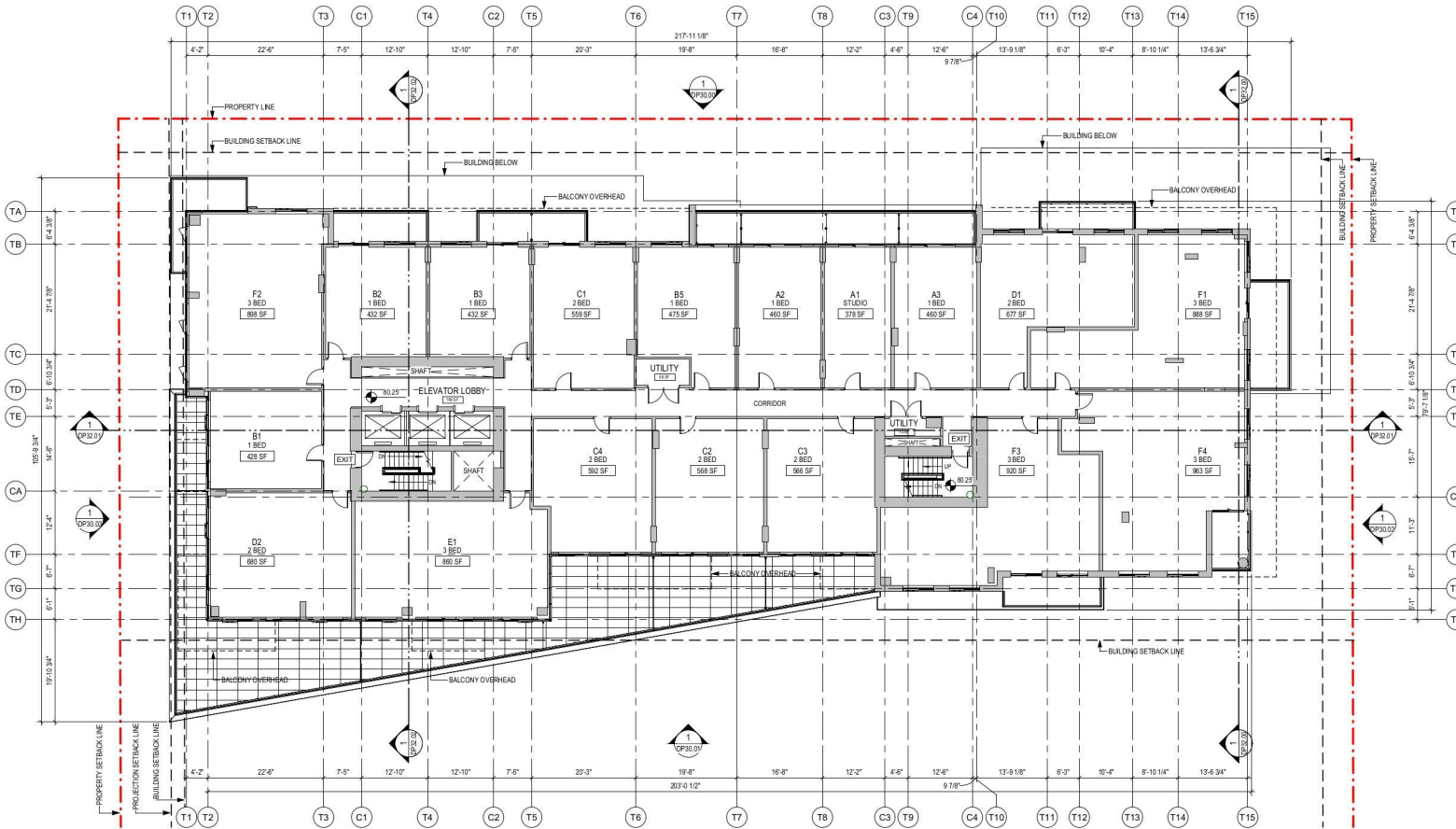
SCALE: 3/32" = 1'-0"  
 DRAWN BY: DD,AMNT  
 CHECKED BY: VT,RAA  
 PROJECT MANAGERS: DD,CV  
 APPROVED BY: LM  
 PROJECT NUMBER: ACA\_30259438\_00143037

ISSUE

SHEET

**C**

**DP20.05**



**COPYRIGHT**  
 This drawing has been prepared solely for the intended use. No any reproduction or distribution for any purpose other than authorized by Arcadis is permitted. Where dimensions shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job, and liability shall be retained of any variations from the dimensions and conditions shown on this drawing. Shop drawings shall be submitted to Arcadis for general conformance before proceeding with fabrication.

ISSUE	No.	DESCRIPTION	DATE
A	1	REVISION SUBMISSION - RESPONSE TO CITY COMMENTS	2024-09-27
B	2	DEVELOPMENT PERMIT	2024-11-19
C	3	DEVELOPMENT PERMIT - RESPONSE TO CITY COMMENTS	2024-03-31

SEAL



2026-03-31

CLIENT

**INTRACORP**  
 Building the Extraordinary

Suite 600 - 550 Burrard Street, Vancouver, BC V6C 2B5

PROJECT TITLE

**SUSSEX & SAUNDERS**

1360 SUSSEX ST., 1337 SAUNDERS ST.,  
 ESQUALTEM, BC  
 V8A 4Z9

DRAWING TITLE

**LEVEL 5 FLOOR PLAN**

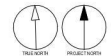
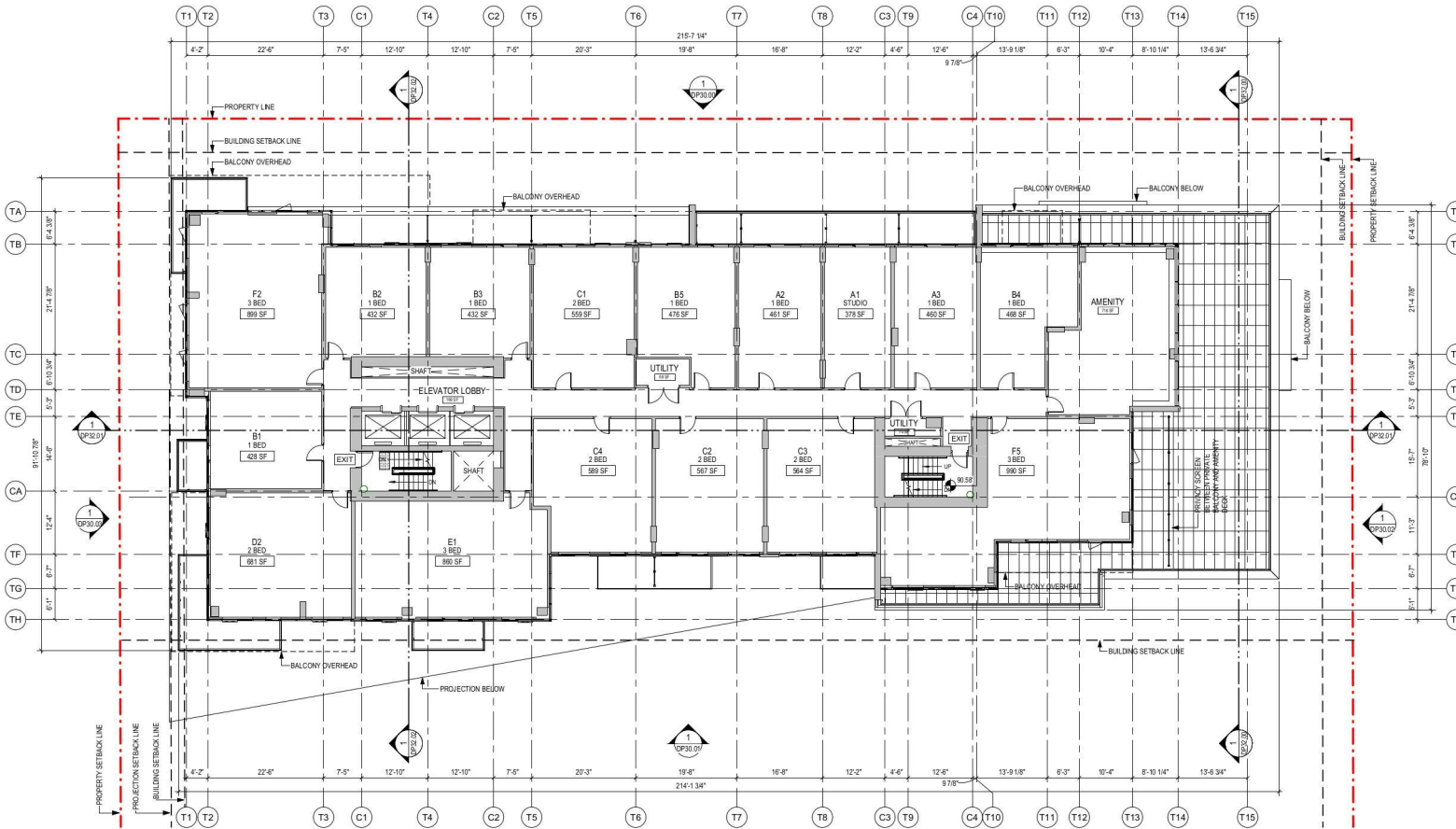
SCALE: 3/32" = 1'-0"  
 DRAWN BY: DD,AMNT  
 CHECKED BY: VT,RA  
 PROJECT MANAGER(S): DD,CV  
 APPROVED BY: LM  
 PROJECT NUMBER: ACA\_30259438\_00143037

ISSUE

SHEET

**C**

**DP20.06**



**COPYRIGHT**  
 This drawing has been prepared solely for the intended use. No reproduction or distribution for any purpose other than authorized by Arcadis is permitted. Written dimensions shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job, and Arcadis shall be relieved of any variations from the dimensions and conditions shown on this drawing. Shop drawings shall be submitted to Arcadis for general conformance before proceeding with fabrication.

ISSUE No.	DESCRIPTION	DATE
A	REZONING SUBMISSION - RESPONSE TO CITY COMMENTS	2024-09-27
B	DEVELOPMENT PERMIT	2025-11-19
C	DEVELOPMENT PERMIT - RESPONSE TO CITY COMMENTS	2026-03-31

SEAL



2026-03-31

CLIENT

**INTRACORP**  
 Building the Extraordinary

Suite 600 - 550 Burrard Street, Vancouver, BC V6C 2B5

PROJECT TITLE

**SUSSEX & SAUNDERS**

1360 SUSSEX ST., 1337 SAUNDERS ST.,  
 ESQUALME, BC  
 V5A 4Z9

DRAWING TITLE

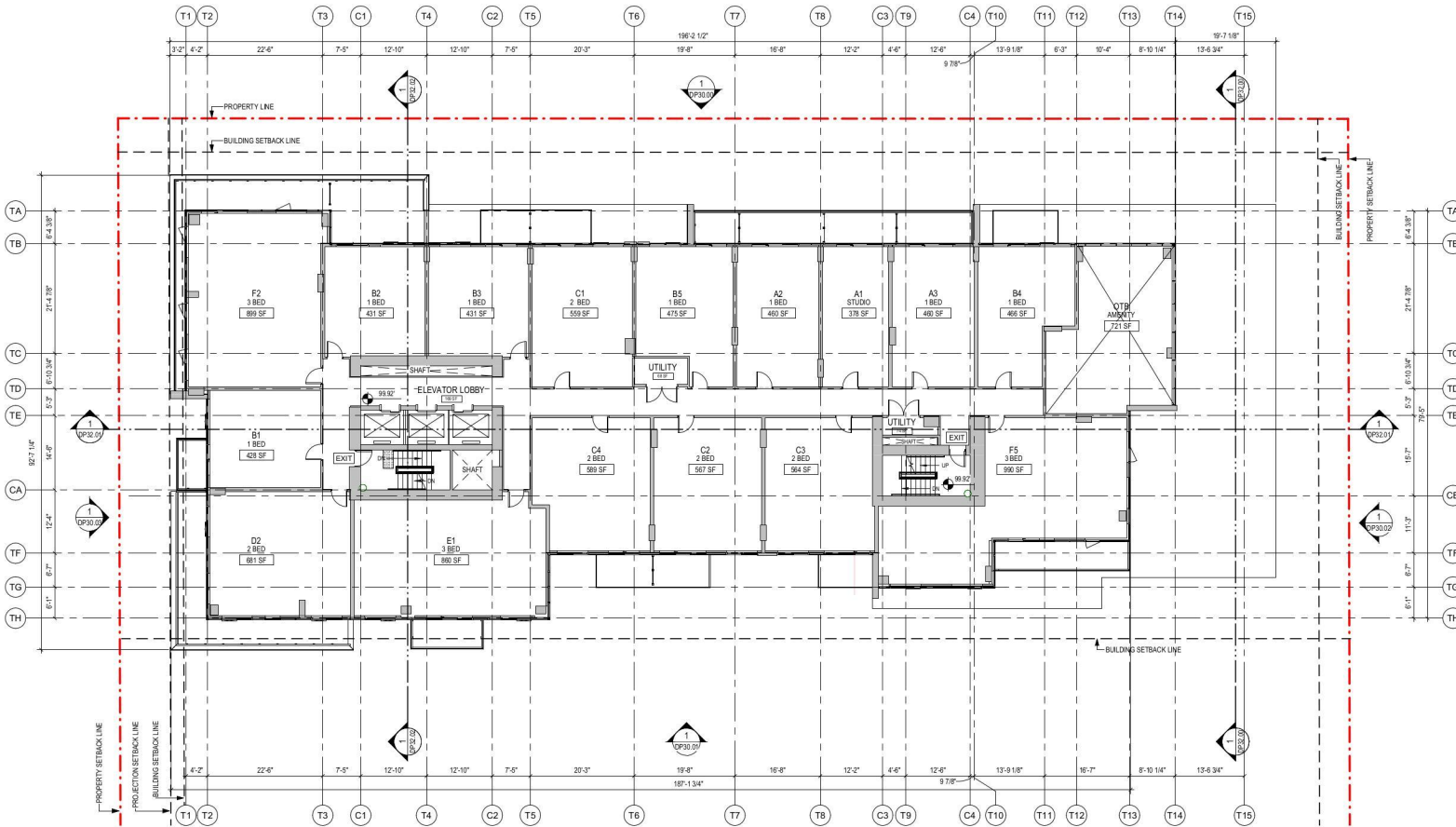
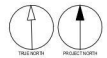
**LEVEL 6 FLOOR PLAN**

SCALE: 3/32" = 1'-0"  
 DRAWN BY: DD,AMANT  
 CHECKED BY: VT,RA  
 PROJECT MANAGER(S): DD,CV  
 APPROVED BY: LM  
 PROJECT NUMBER: ACA\_30259438\_00143037

ISSUE

SHEET

**C DP20.07**



**COPYRIGHT**  
 This drawing has been prepared solely for the intended use. No any reproduction or distribution for any purpose other than authorized by Arcadis is permitted. Where dimensions shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job, and location shall be determined of any variations from the dimensions and conditions shown on this drawing. Shop drawings shall be submitted to Arcadis for general confirmation before proceeding with fabrication.

ISSUE	No.	DESCRIPTION	DATE
A	1	REVISION SUBMISSION - RESPONSE TO CITY COMMENTS	2024-09-27
B	2	DEVELOPMENT PERMIT	2024-11-13
C	3	DEVELOPMENT PERMIT - RESPONSE TO CITY COMMENTS	2024-03-31

SEAL



2026-03-31

CLIENT

**INTRACORP**  
 Building the Extraordinary

Suite 600 - 550 Burrard Street, Vancouver, BC V6C 2B5

PROJECT TITLE

**SUSSEX & SAUNDERS**

1360 SUSSEX ST, 1337 SAUNDERS ST,  
 ESQUAULT, BC  
 V3A 4Z9

DRAWING TITLE

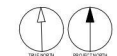
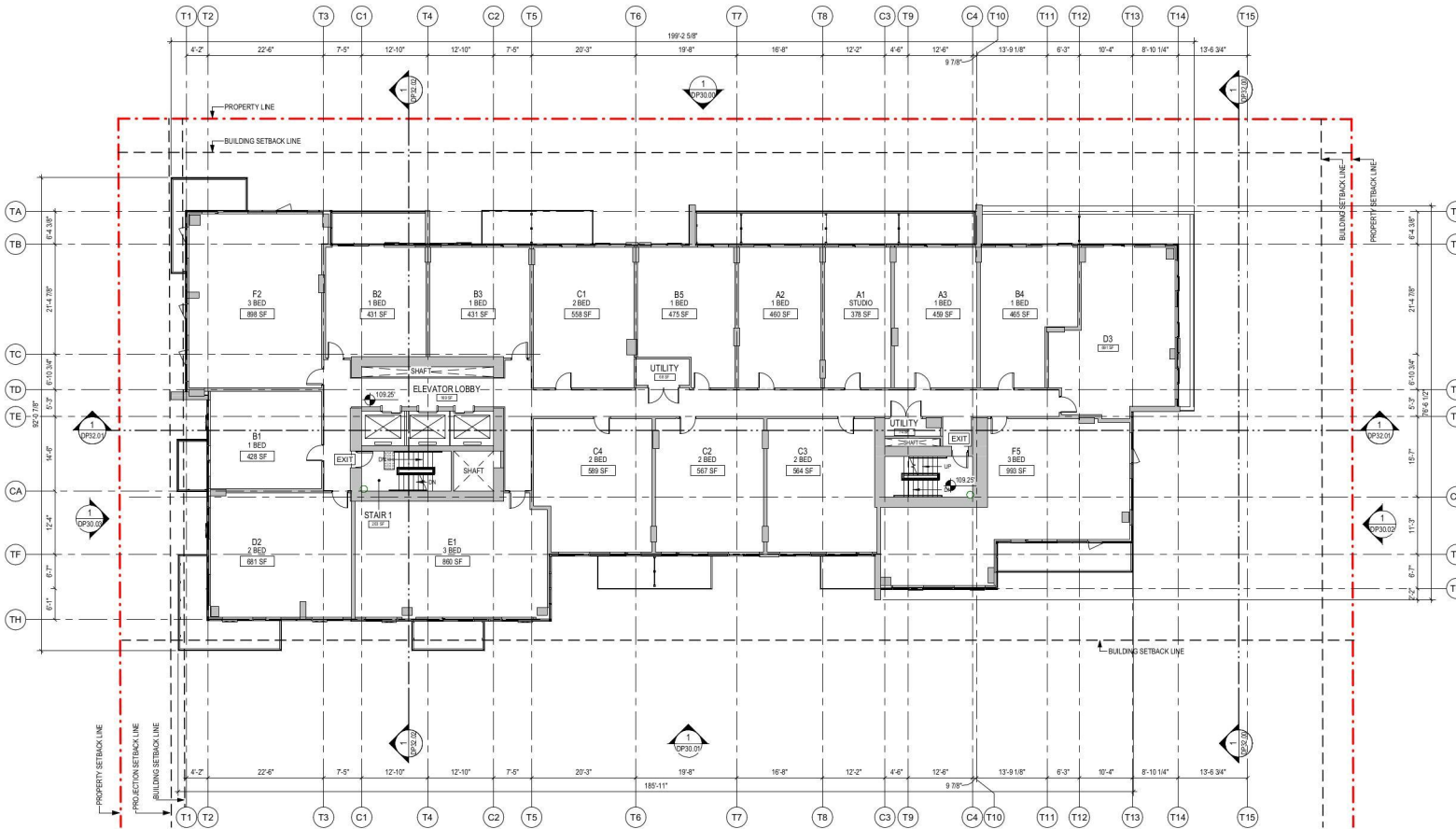
**LVL 7-21 FLOOR PLAN**

SCALE: 3/32" = 1'-0"  
 DRAWN BY: DD,AMNT  
 CHECKED BY: VT,RA  
 PROJECT MANAGER(S): DD,CV  
 APPROVED BY: LM  
 PROJECT NUMBER: ACA\_30259438\_00143037

ISSUE

SHEET

**C DP20.08**



ISSUE	No.	DESCRIPTION	DATE
	A	REVISION SUBMISSION - RESPONSE TO CITY COMMENTS	2024-09-27
	B	DEVELOPMENT PERMIT	2025-11-19
	C	DEVELOPMENT PERMIT - RESPONSE TO CITY COMMENTS	2026-03-31

SEAL



2026-03-31

CLIENT

**INTRACORP**  
 Building the Extraordinary

Suite 600 - 550 Burrard Street, Vancouver, BC V6C 2B5

PROJECT TITLE

**SUSSEX & SAUNDERS**

1360 SUSSEX ST., 1337 SAUNDERS ST.,  
 ESQUIMALT, BC  
 V8A 4Z9

DRAWING TITLE

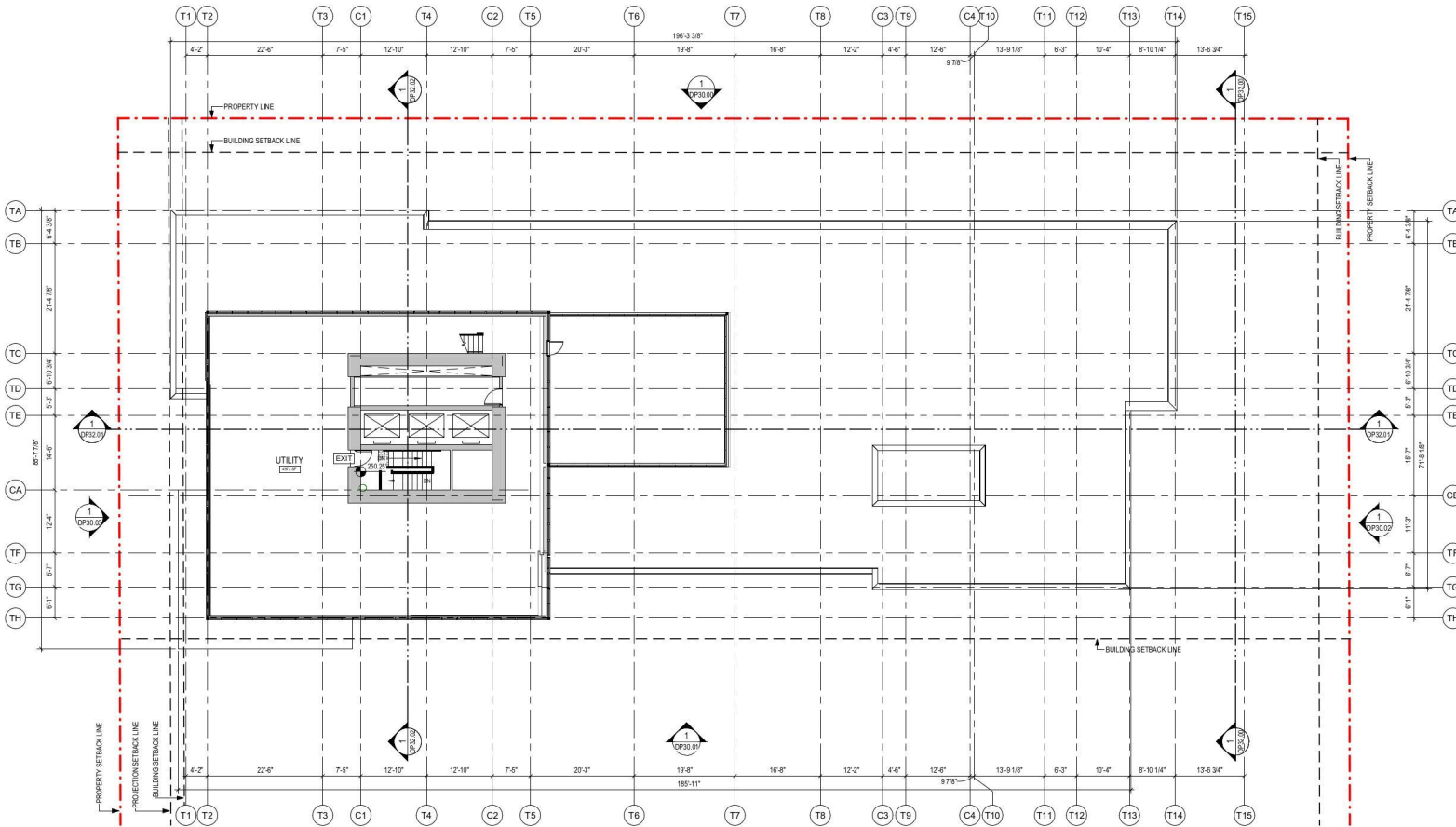
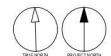
**MECH PLAN**

SCALE: 3/32" = 1'-0"  
 DRAWN BY: DO,AMANT  
 CHECKED BY: VT,RA  
 PROJECT MANAGER(S): DO,CV  
 APPROVED BY: LM  
 PROJECT NUMBER: ACA\_30259438\_00143037

ISSUE

SHEET

**C DP20.09**



**ISSUES**

No.	DESCRIPTION	DATE
A	REZONING SUBMISSION - RESPONSE TO CITY COMMENTS	2024-09-27
B	DEVELOPMENT PERMIT	2025-11-19
C	DEVELOPMENT PERMIT - RESPONSE TO CITY COMMENTS	2026-03-31

**SEAL**



2026-03-31

**CLIENT**



Suite 600 - 550 Burrard Street, Vancouver, BC V6C 2B5

**PROJECT TITLE**

**SUSSEX & SAUNDERS**

1360 SUSSEX ST., 1337 SAUNDERS ST.,  
 ESQUAULT, BC  
 V3A 4Z9

**DRAWING TITLE**

**ROOF PLAN**

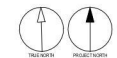
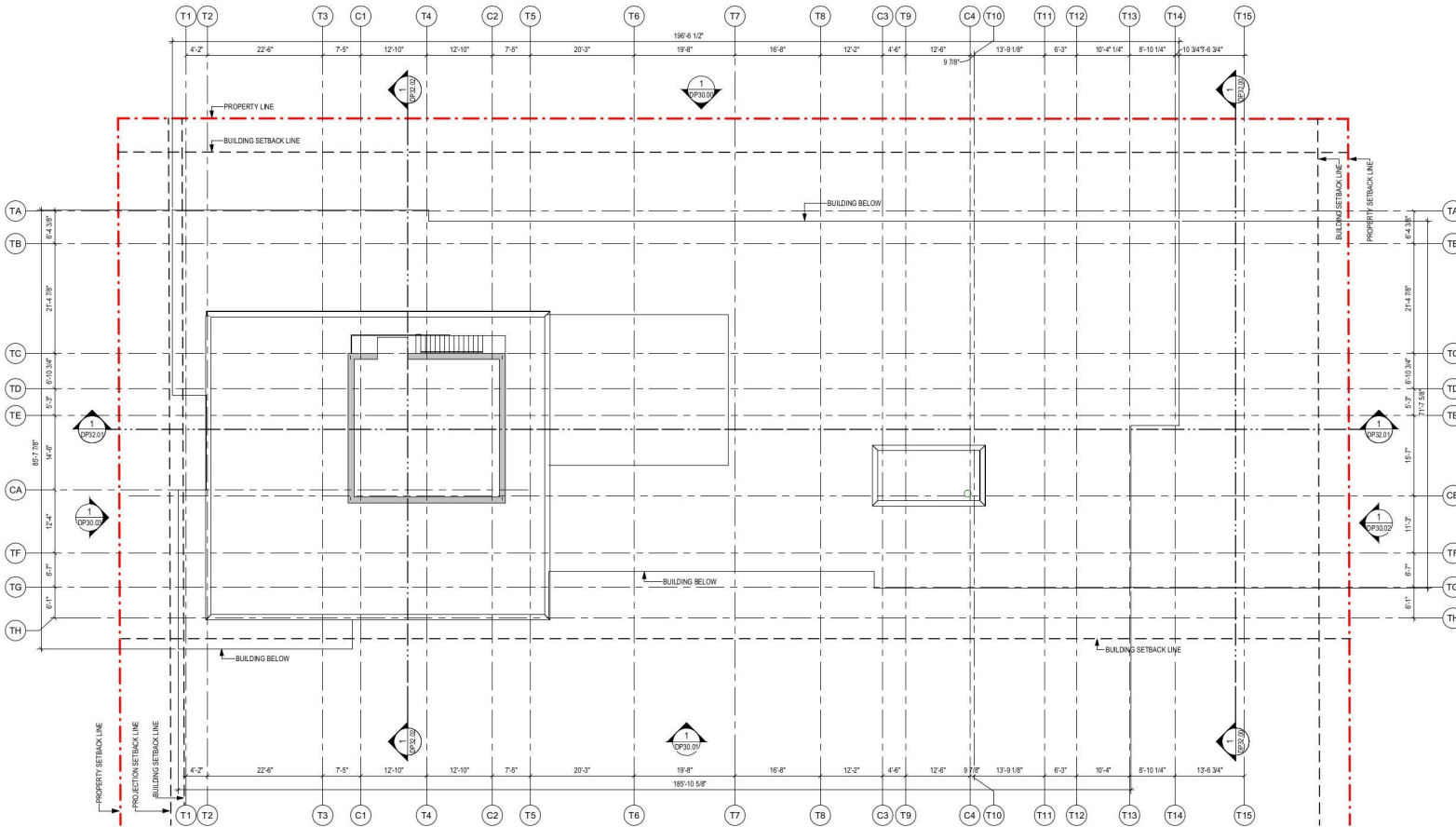
SCALE: 3/32" = 1'-0"  
 DRAWN BY: DD,AMNT  
 CHECKED BY: VT,RA  
 PROJECT MANAGER(S): DD,CV  
 APPROVED BY: LM  
 PROJECT NUMBER: ACA\_30259438\_00143037

**ISSUE**

**SHEET**

**C**

**DP20.10**



**COPYRIGHT**  
 This drawing has been prepared solely for the intended use. No any reproduction or distribution for any purpose other than authorized by Arcadis is forbidden. Writers dimensions shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job, and location shall be determined of any variations from the dimensions and conditions shown on this drawing. Shop drawings shall be submitted by Arcadis for general confirmation before proceeding with fabrication.

**ISSUES**

No.	DESCRIPTION	DATE
A	REVISION SUBMISSION - RESPONSE TO CITY COMMENTS	2024-09-27
B	DEVELOPMENT PERMIT	2024-12-10
C	DEVELOPMENT PERMIT - RESPONSE TO CITY COMMENTS	2024-03-31

SCALE



2026-03-31

CLIENT

**INTRACORP**  
 Building the Extraordinary

Suite 600 - 550 Burrard Street, Vancouver, BC V6C 2B5

PROJECT TITLE

**SUSSEX & SAUNDERS**

1360 SUSSEX ST., 1337 SAUNDERS ST.,  
 ESQUIMALT, BC  
 V8A 4Z9

DRAWING TITLE

**NORTH ELEVATION**

SCALE: 1/16" = 1'-0"  
 DRAWN BY: DD/AMNT  
 CHECKED BY: VJ/RA  
 PROJECT MANAGERS: DD/CLV  
 APPROVED BY: LM  
 PROJECT NUMBER: ACA\_20250438\_00143037

ISSUE

SHEET

**C DP30.00**



Key Value	Keynote Text
1	Window Wall Vision Glass - White Frame
3	Window Wall Vision Glass - Charcoal Frame
4	Window Wall Metal Panel Spandrel - White Panel and Frame
6	Window Wall Glass Spandrel - Beige Panel and Charcoal Frame
7	Window Wall Raised Metal Panel Spandrel - Light Blue Panel and Charcoal Frame
8	Brick Veneer Cladding - Heritage
9	Fibre Cement Panel - Charcoal
10	Fibre Cement Panel - White
11	Concrete Lintel/Sill
12	Railing - Glass Panel and Charcoal Frame
13	Railing - Charcoal Picket
14	Privacy Screen - Charcoal Frame
15	Metal Panel on Concrete Column - Light Blue
16	Metal Panel - Wood Look (Oak)
17	Louvers - Charcoal
18	Overhead Door - Charcoal
19	Steel and Glass Canopy - Charcoal
20	Painted Concrete

**COPYRIGHT**  
 This drawing has been prepared solely for the intended use. No any reproduction or distribution for any purpose other than authorized by Arcadis is forbidden. Writers dimensions shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job, and Arcadis shall be relieved of any variations from the dimensions and conditions shown on this drawing. Shop drawings shall be submitted by Arcadis for general conformance before proceeding with fabrication.

ISSUE	No.	DESCRIPTION	DATE
A	REZONING SUBMISSION - RESPONSE TO CITY COMMENTS	2024-09-27	
B	DEVELOPMENT PERMIT - RESPONSE TO CITY COMMENTS	2025-13-19	
C	DEVELOPMENT PERMIT - RESPONSE TO CITY COMMENTS	2025-03-31	

SCALE



2026-03-31

CLIENT

**INTRACORP**  
 Building the Extraordinary

Suite 600 - 550 Burrard Street, Vancouver, BC V6C 2B5

PROJECT TITLE

**SUSSEX & SAUNDERS**

1360 SUSSEX ST, 1337 SAUNDERS ST,  
 ESQUIMALT, BC  
 V8A 4Z9

DRAWING TITLE

**SOUTH ELEVATION**

SCALE: 1/16" = 1'-0"  
 DRAWN BY: DD,AMNT  
 CHECKED BY: VJ,RA  
 PROJECT MANAGERS: DD,CV  
 APPROVED BY: LM  
 PROJECT NUMBER: ACA\_30258438\_00143037

ISSUE SHEET

**C DP30.01**



**COPYRIGHT**  
 This drawing has been prepared solely for the intended use. No any reproduction or distribution for any purpose other than authorized by Arcadis is forbidden. Where dimensions shall have prevailed over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job, and liability shall be retained of any variations from the dimensions and conditions shown on this drawing. Shop drawings shall be submitted by Arcadis for general confirmation before proceeding with fabrication.

**ISSUES**

No.	DESCRIPTION	DATE
A	REZONING SUBMISSION - RESPONSE TO CITY COMMENTS	2024-09-27
B	DEVELOPMENT PERMIT - RESPONSE TO CITY COMMENTS	2024-12-19
C	DEVELOPMENT PERMIT - RESPONSE TO CITY COMMENTS	2024-03-31

SCALE



2026-03-31

CLIENT



Suite 600 - 550 Burrard Street, Vancouver, BC V6C 2B5

PROJECT TITLE

**SUSSEX & SAUNDERS**

1360 SUSSEX ST, 1337 SAUNDERS ST,  
 ESQUIMALT, BC  
 V8A 4Z9

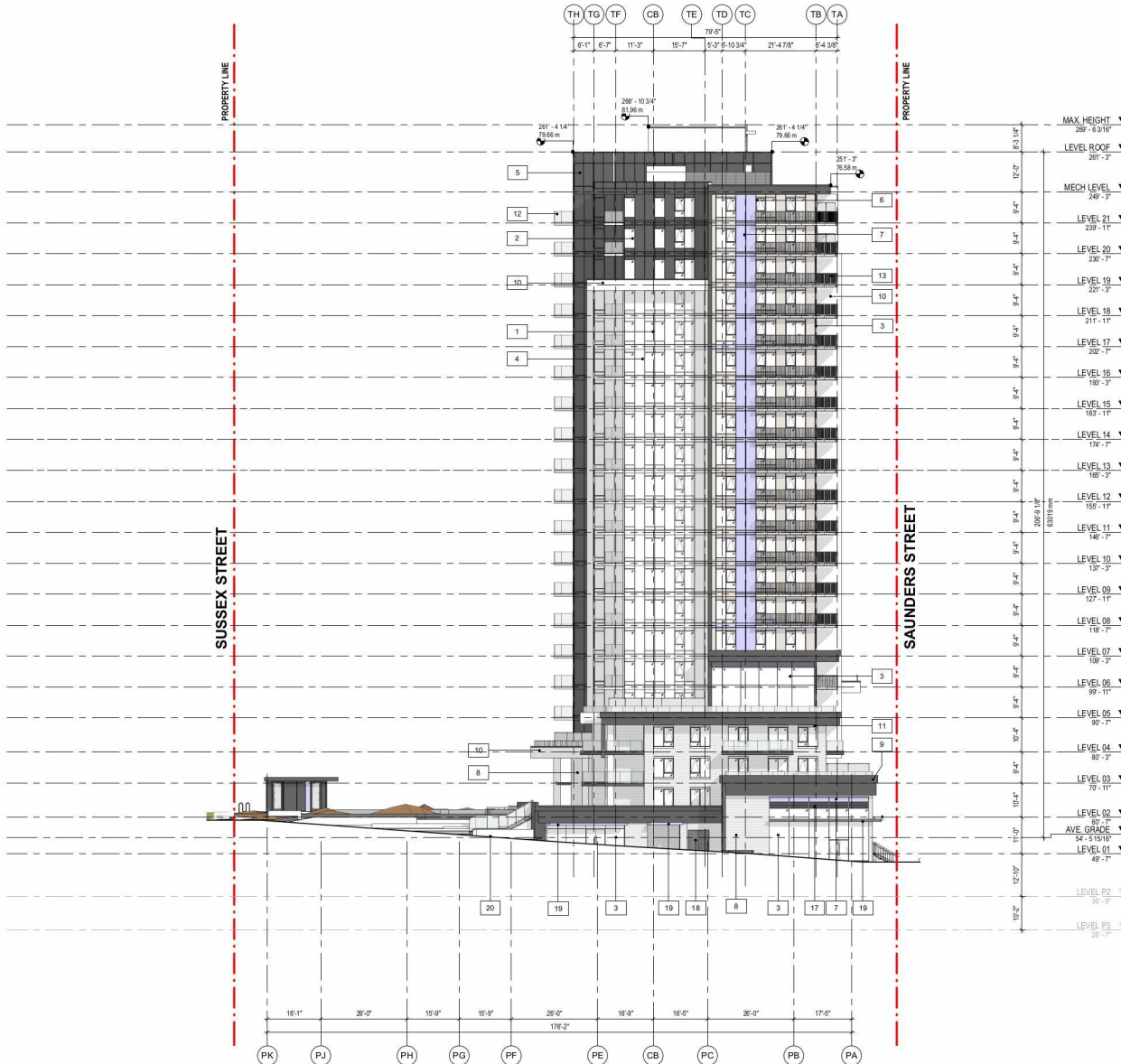
DRAWING TITLE

**EAST ELEVATION**

SCALE: 1/16" = 1'-0"  
 DRAWN BY: DD/AMNT  
 CHECKED BY: VT/RA  
 PROJECT MANAGERS: DD/CLV  
 APPROVED BY: LM  
 PROJECT NUMBER: ACA\_30258438\_00143037

ISSUE SHEET

**C DP30.02**



**COPYRIGHT**  
 This drawing has been prepared solely for the intended use. No any reproduction or distribution for any purpose other than authorized by Arcadis is forbidden. Writers dimensions shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job, and location shall be determined of any variations from the dimensions and conditions shown on this drawing. Shop drawings shall be submitted by Arcadis for general conformance before proceeding with fabrication.

**ISSUES**

No.	DESCRIPTION	DATE
A	REZONING SUBMISSION - RESPONSE TO CITY COMMENTS	2024-09-27
B	DEVELOPMENT PERMIT - RESPONSE TO CITY COMMENTS	2025-12-10
C	DEVELOPMENT PERMIT - RESPONSE TO CITY COMMENTS	2026-03-31

SCALE



2026-03-31

CLIENT



Suite 600 - 550 Burrard Street, Vancouver, BC V6C 2B5

PROJECT TITLE

**SUSSEX & SAUNDERS**

1360 SUSSEX ST., 1337 SAUNDERS ST.  
 ESQUIMALT, BC  
 V8A 4Z9

DRAWING TITLE

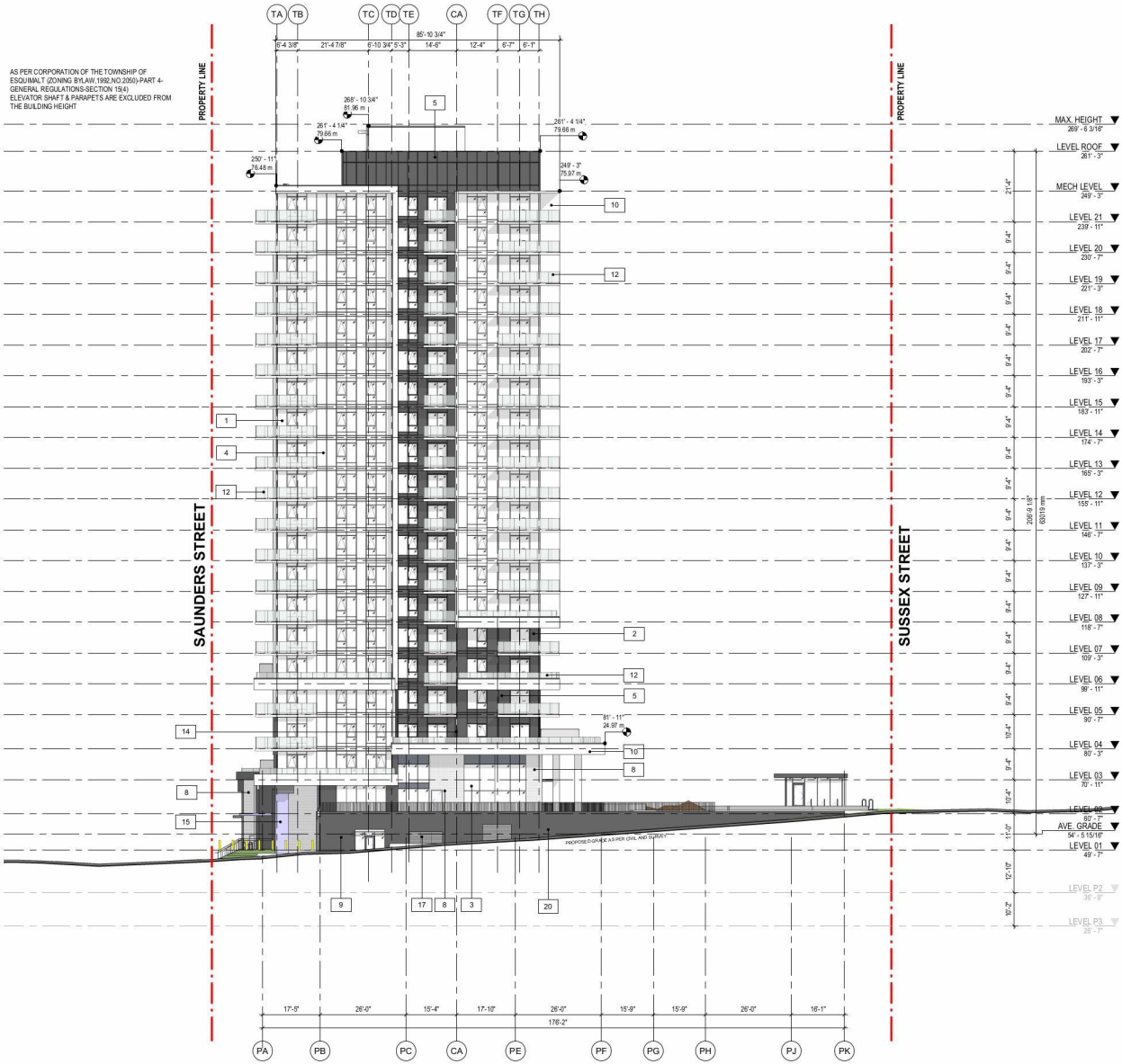
**WEST ELEVATION**

SCALE: 1/16" = 1'-0"  
 DRAWN BY: DD/AMNT  
 CHECKED BY: VT/RA  
 PROJECT MANAGER(S): DD/CLV  
 APPROVED BY: LM  
 PROJECT NUMBER: ACA\_20250438\_00143037

ISSUE

SHEET

**C DP30.03**



Key Value	Keynote Text
1	Window Wall Vision Glass - White Frame
2	Window Wall Vision Glass - Navy Blue Frame
3	Window Wall Vision Glass - Charcoal Frame
4	Window Wall Metal Panel Spandrel - White Panel and Frame
5	Window Wall Metal Panel Spandrel - Navy Blue Panel and Frame
8	Brick Veneer Cladding - Heritage
9	Fibre Cement Panel - Charcoal
10	Fibre Cement Panel - White
12	Railing - Glass Panel and Charcoal Frame
14	Privacy Screen - Charcoal Frame
15	Metal Panel on Concrete Column - Light Blue
17	Louvers - Charcoal
20	Painted Concrete

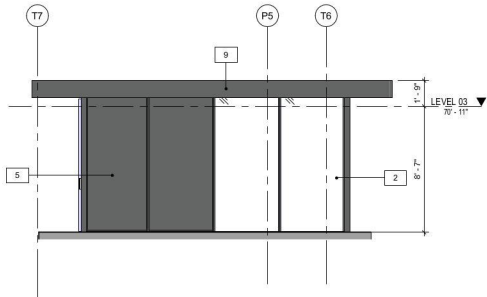
AS PER CORPORATION OF THE TOWNSHIP OF ESQUIMALT (ZONING BY-LAW 1992 NO.2305) PART 4 - GENERAL REGULATIONS SECTION 15(4) ELEVATOR SHAFT & PARAPETS ARE EXCLUDED FROM THE BUILDING HEIGHT

**COPYRIGHT**  
 This drawing has been prepared solely for the intended use. No any reproduction or distribution for any purpose other than authorized by Arcadis is forbidden. Where dimensions shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job, and accept that the dimensions of any variations from the dimensions and conditions shown on this drawing. Shop drawings shall be submitted to Arcadis for general conformance before proceeding with fabrication.

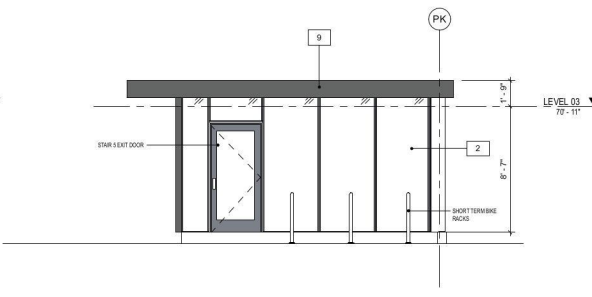
Key Value	Keynote Text
2	Window Wall Vision Glass - Navy Blue Frame
5	Window Wall Metal Panel Spandrel - Navy Blue Panel and Frame
7	Window Wall Raised Metal Panel Spandrel - Light Blue Panel and Charcoal Frame
8	Brick Veneer Cladding - Heritage
9	Fibre Cement Panel - Charcoal

ISSUES

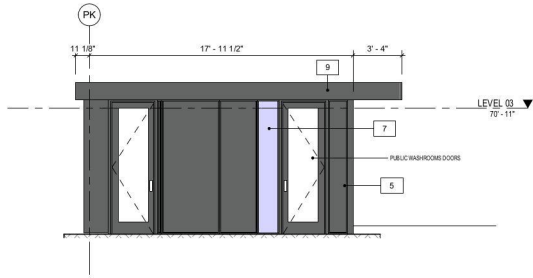
No.	DESCRIPTION	DATE
A	REVISION SUBMISSION - RESPONSE TO CITY COMMENTS	2024-09-27
B	DEVELOPMENT PERMIT	2025-11-19
C	DEVELOPMENT PERMIT - RESPONSE TO CITY COMMENTS	2026-03-31



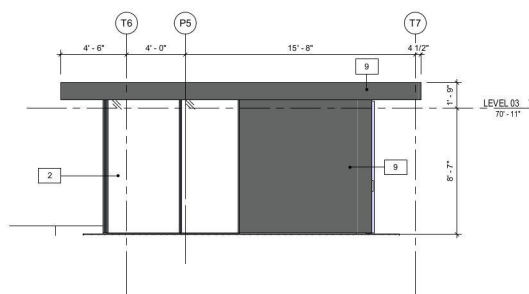
4 5.0 - ENLARGED EXIT STAIR AND PUBLIC WASHROOM NORTH  
 SCALE: 1/4" = 1'-0"



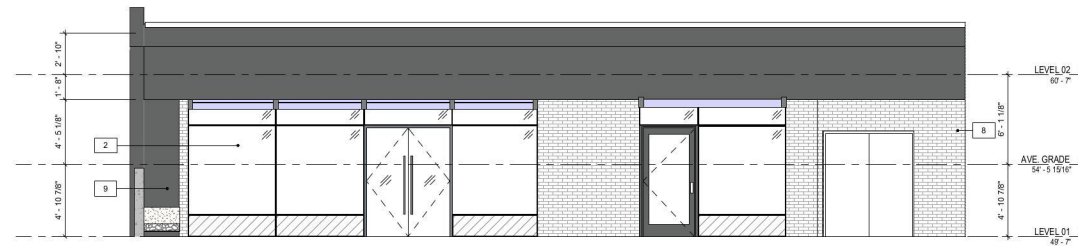
6 5.0 - ENLARGED EXIT STAIR AND PUBLIC WASHROOM WEST  
 SCALE: 1/4" = 1'-0"



3 5.0 - ENLARGED EXIT STAIR AND PUBLIC WASHROOM EAST  
 SCALE: 1/4" = 1'-0"



5 5.0 - ENLARGED EXIT STAIR AND PUBLIC WASHROOM SOUTH  
 SCALE: 1/4" = 1'-0"



1 5.0 - ENLARGED BIKE ROOM ELEVATION  
 SCALE: 1/4" = 1'-0"

SEAL



2026-03-31

CLIENT

**INTRACORP**  
 Building the Extraordinary

Suite 600 - 550 Burrard Street, Vancouver, BC V6C 2B5

PROJECT FILE

**SUSSEX & SAUNDERS**

1360 SUSSEX ST. 1337 SAUNDERS ST.  
 ESQUIMALT, BC  
 V8A 4Z9

DRAWING TITLE

**ENLARGED ELEVATIONS**

SCALE: 1/4" = 1'-0"  
 DRAWN BY: AM.DD/NT  
 CHECKED BY: VT/JA  
 PROJECT MANAGER(S): DD/CV  
 APPROVED BY: LM  
 PROJECT NUMBER: ACA\_30259438\_00143037

ISSUE

SHEET

**C DP31.00**

**COPYRIGHT**  
 This drawing has been prepared solely for the intended use. No any reproduction or distribution for any purpose other than authorized by Arcadis is forbidden. Where dimensions shall have prevailed over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job, and liability shall be determined if any variations from the dimensions and conditions shown on this drawing. Shop drawings shall be submitted to Arcadis for general conformance before proceeding with fabrication.

**ISSUES**

No.	DESCRIPTION	DATE
A	REZONING SUBMISSION - RESPONSE TO CITY COMMENTS	2024-09-27
B	DEVELOPMENT PERMIT - RESPONSE TO CITY COMMENTS	2025-11-19
C	DEVELOPMENT PERMIT - RESPONSE TO CITY COMMENTS	2026-03-31

**SEAL**



2026-03-31

**CLIENT**

**INTRACORP**  
 Building the Extraordinary

Suite 600 - 550 Burrard Street, Vancouver, BC V6C 2B5

**PROJECT TITLE**

**SUSSEX & SAUNDERS**

1360 SUSSEX ST., 1337 SAUNDERS ST.,  
 ESQUIMALT, BC  
 V8A 4Z9

**DRAWING TITLE**

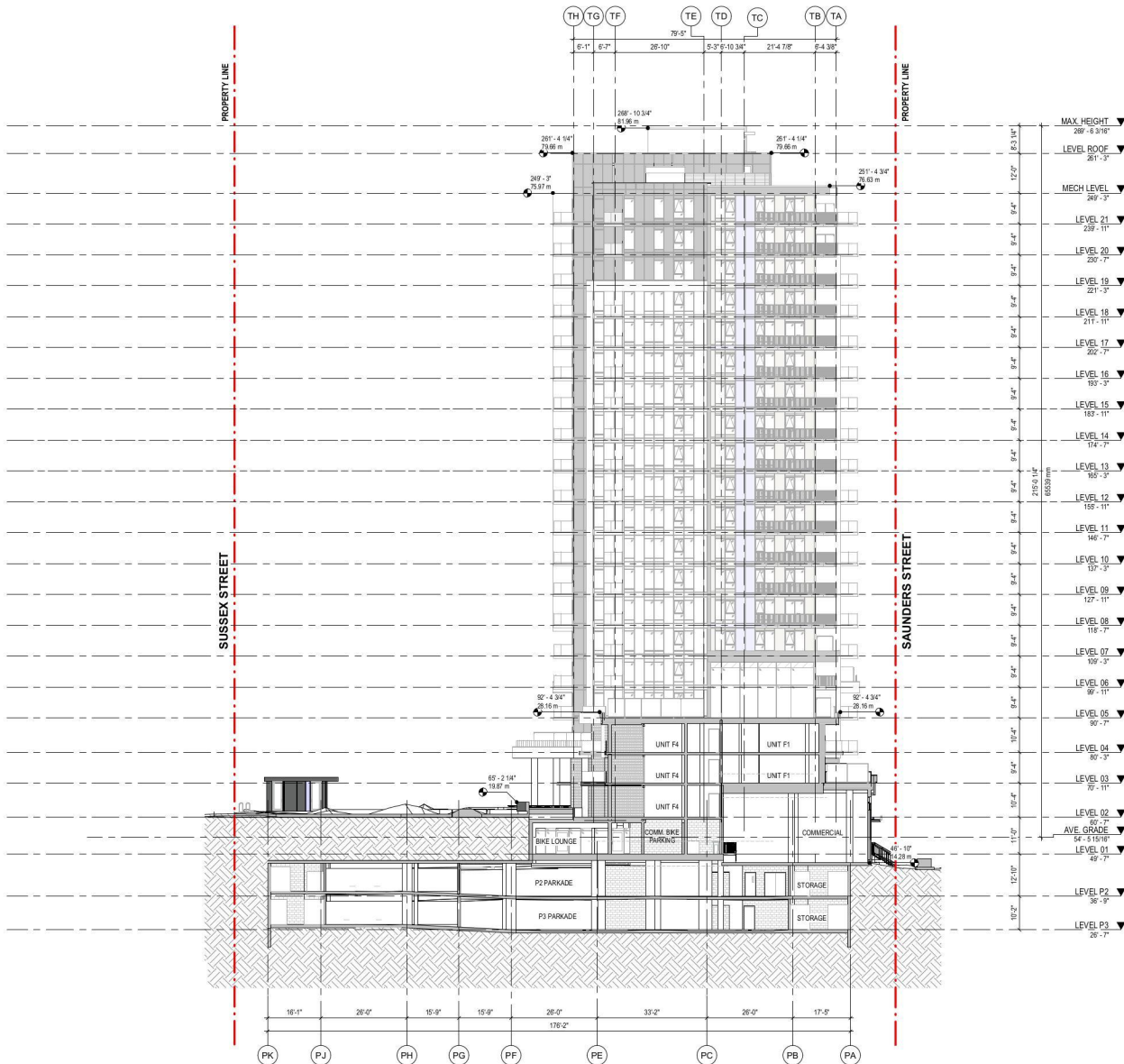
**BUILDING SECTION**

**SCALE:** 1/16" = 1'-0"  
**DRAWN BY:** DD/AMNT  
**CHECKED BY:** VT/JRA  
**PROJECT MANAGERS:** DD/CLV  
**APPROVED BY:** LM  
**PROJECT NUMBER:** ACA\_30259438\_00143037

**ISSUE**

**SHEET**

**C DP32.00**



**COPYRIGHT**  
 This drawing has been prepared solely for the intended use. No any reproduction or distribution for any purpose other than authorized by Arcadis is forbidden. Writers dimensions shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job, and fixtures shall be determined of any variations from the dimensions and conditions shown on this drawing. Shop drawings shall be submitted to Arcadis for general confirmation before proceeding with fabrication.

**ISSUES**

No.	DESCRIPTION	DATE
A	REZONING SUBMISSION - RESPONSE TO CITY COMMENTS	2024-09-27
B	DEVELOPMENT PERMIT	2025-13-10
C	DEVELOPMENT PERMIT - RESPONSE TO CITY COMMENTS	2025-03-31

**SEAL**



2025-03-31

**CLIENT**

**INTRACORP**  
 Building the Extraordinary

Suite 600 - 550 Burrard Street, Vancouver, BC V6C 2B5

**PROJECT TITLE**

**SUSSEX & SAUNDERS**

1360 SUSSEX ST., 1337 SAUNDERS ST.,  
 ESQUIMALT, BC  
 V8A 4Z9

**DRAWING TITLE**

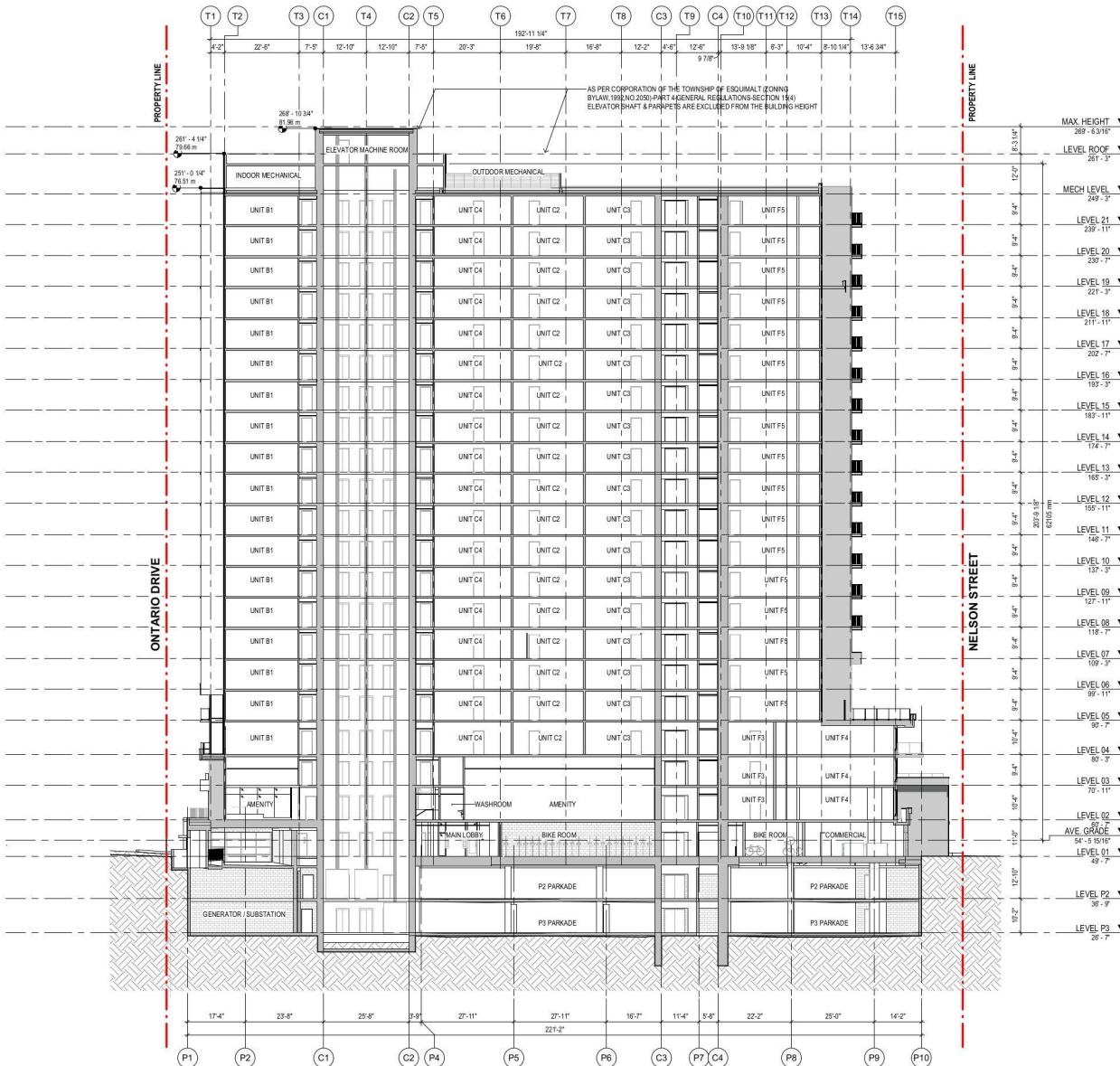
**BUILDING SECTION**

**SCALE:** 1/16" = 1'-0"  
**DRAWN BY:** DD/AMT  
**CHECKED BY:** VT/JRA  
**PROJECT MANAGER(S):** DD/CLV  
**APPROVED BY:** LM  
**PROJECT NUMBER:** ACA\_30259438\_00143037

**ISSUE**

**SHEET**

**C DP32.01**





**ISSUES**

No.	DESCRIPTION	DATE
A	REZONING SUBMISSION - RESPONSE TO CITY COMMENTS	2024-09-27
B	DEVELOPMENT PERMIT	2025-13-10
C	DEVELOPMENT PERMIT - RESPONSE TO CITY COMMENTS	2025-03-31

SCALE



2026-03-31

CLIENT

**INTRACORP**  
 Building the Extraordinary

Suite 600 - 550 Burrard Street, Vancouver, BC V6C 2B5

PROJECT TITLE

**SUSSEX & SAUNDERS**

1360 SUSSEX ST., 1337 SAUNDERS ST.,  
 ESQUIMALT, BC  
 V8A 4Z9

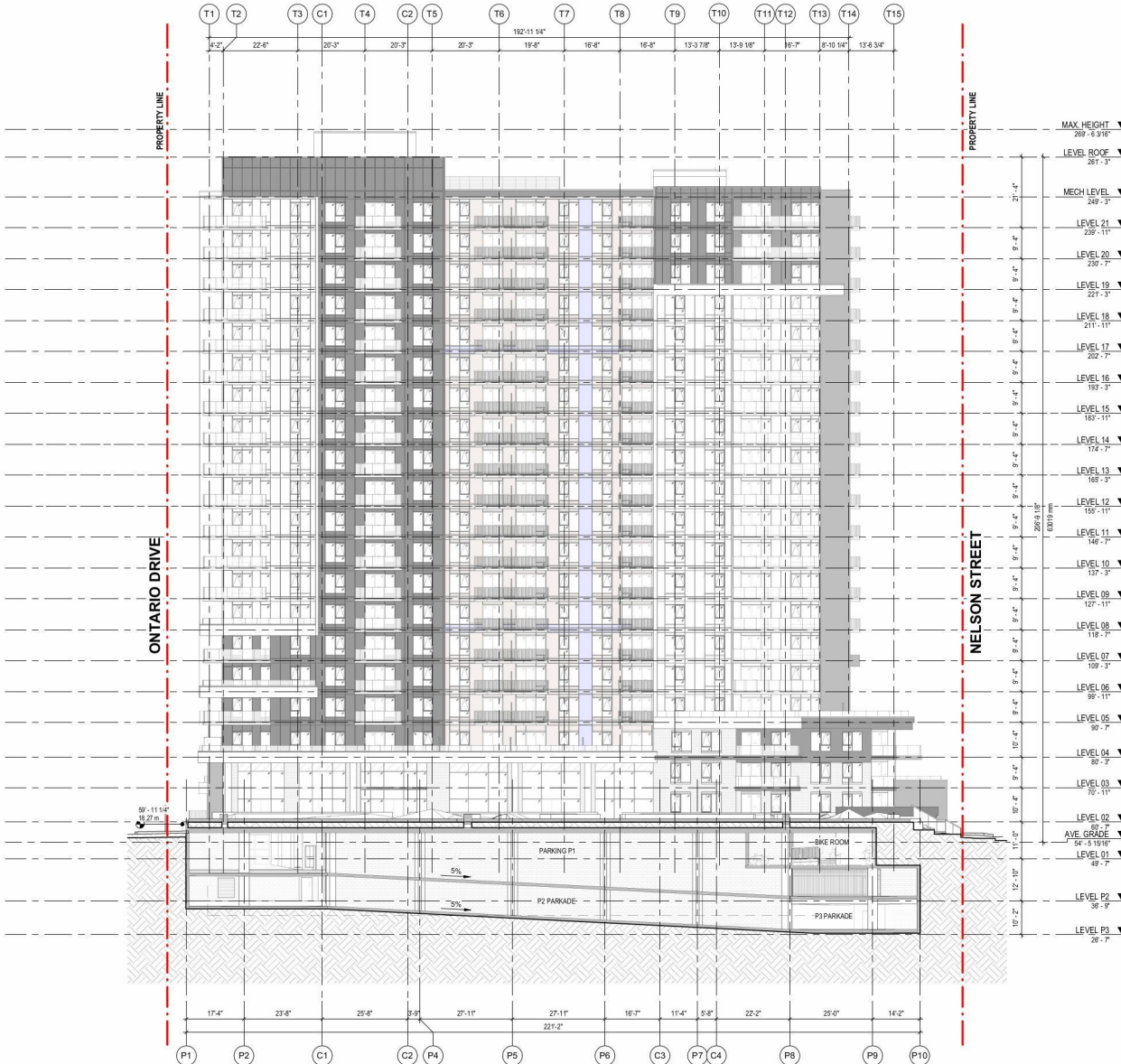
DRAWING TITLE

**BUILDING SECTION**

SCALE: 1/16" = 1'-0"  
 DRAWN BY: DD/AMNT  
 CHECKED BY: VTR/RA  
 PROJECT MANAGERS: DD/CLV  
 APPROVED BY: LM  
 PROJECT NUMBER: ACA\_20250438\_00143037

ISSUE SHEET

**C DP32.03**



**ISSUES**

NO.	DESCRIPTION	DATE
A	REVISION SUBMISSION - RESPONSE TO CITY COMMENTS	2024-09-27
B	DEVELOPMENT PERMIT RESPONSE TO CITY COMMENTS	2024-11-19
C	DEVELOPMENT PERMIT RESPONSE TO CITY COMMENTS	2024-03-13

**SCALE**



2026-03-31

**CLIENT**

**INTRACORP**  
 Building the Extraordinary

Suite 600 - 550 Burrard Street, Vancouver, BC V6C 2B5

**PROJECT TITLE**

**SUSSEX & SAUNDERS**

1360 SUSSEX ST, 1337 SAUNDERS ST,  
 ESQUALTEM, BC  
 V8A 4Z9

**DRAWING TITLE**

**ENLARGED PLAN - BIKE ROOMS**

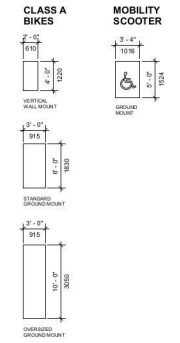
**SCALE:** 1/8" = 1'-0"  
**DRAWN BY:** NT,DD,AM  
**CHECKED BY:** VT,RA  
**PROJECT MANAGERS:** DD,CV  
**APPROVED BY:** LM  
**PROJECT NUMBER:** ACA\_30259438\_00143037

**ISSUE**

**SHEET**

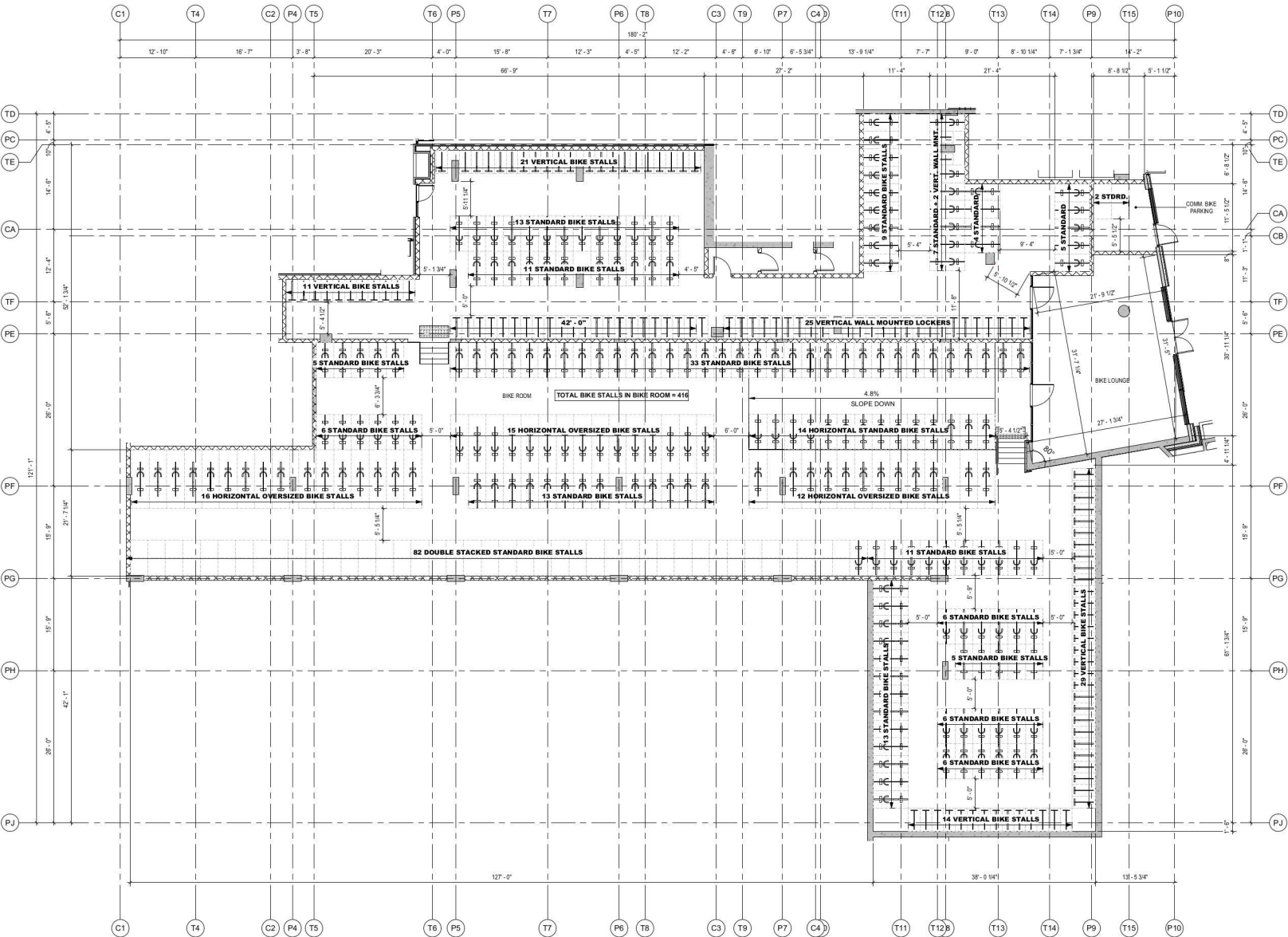
**C DP40.00**

**BIKE LOCKER LEGEND**

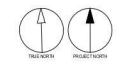


**DP RESIDENTIAL BIKE PARKING PLAN**

TYPE	STALL SIZE (LxW)	COUNT	PERCENT
Horizontal Class B	6'0" x 3'0"	167	40%
Horizontal	1'0'0" x 3'0"	43	10%
Oversized Class A	8'0" x 3'0"	82	20%
Stacked	8'0" x 3'0"	124	30%
Vertical Class A	4'0" x 2'0"	416	100%



**1 BIKE PARKING PLAN**  
 Scale: 1/8" = 1'-0"



**ISSUES**

No.	DESCRIPTION	DATE
A	PLANNING SUBMISSION - RESPONSE TO CITY COMMENTS	2024-09-27
B	DEVELOPMENT PERMIT	2025-11-13
C	DEVELOPMENT PERMIT - RESPONSE TO CITY COMMENTS	2026-03-31



2026-03-31

CLIENT

**INTRACORP**  
 Building the Extraordinary

Suite 600 - 550 Burrard Street, Vancouver, BC V6C 2B5

PROJECT TITLE

**SUSSEX & SAUNDERS**

1360 SUSSEX ST., 1337 SAUNDERS ST.,  
 ESCALANTE, BC  
 V5A 4Z9

DRAWING TITLE

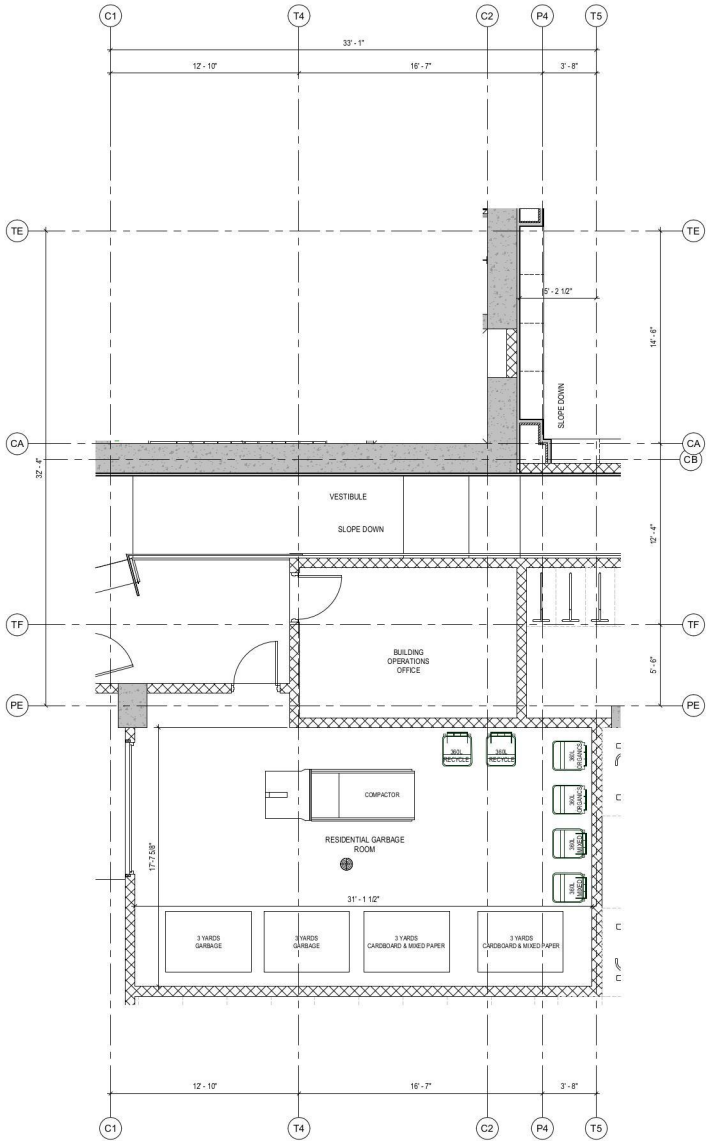
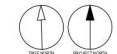
**ENLARGED PLANS -  
 GARBAGE ROOMS**

SCALE: 1/4" = 1'-0"  
 DRAWN BY: NT.DD.AM  
 CHECKED BY: VT.JRA  
 PROJECT MANAGERS: DD.CV  
 APPROVED BY: LM  
 PROJECT NUMBER: ACA\_30259438\_00143037

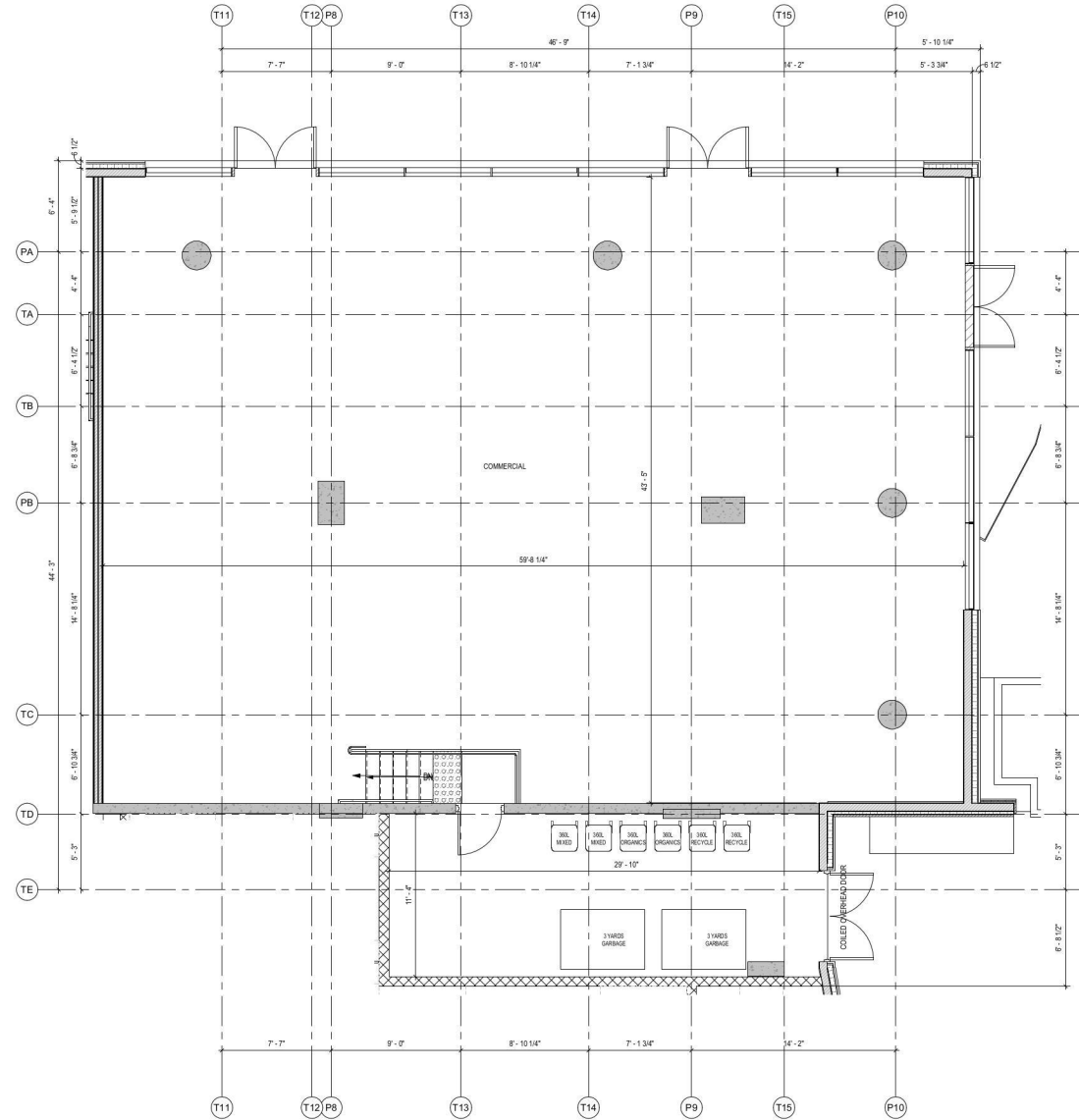
ISSUE

SHEET

**C DP40.01**



**2 ENLARGED PLAN - RESIDENTIAL GARBAGE ROOM**  
 DP40.01 SCALE: 1/4" = 1'-0"



**1 ENLARGED PLAN - COMMERCIAL AND COMMERCIAL GARBAGE ROOM**  
 DP40.01 SCALE: 1/4" = 1'-0"



**THANK YOU**



2026-03-31