

Photography - Peter Hardcastle Hillel Architecture Inc. 101 Old Island Highway

PORTAGE WEST

The Rezoning of 101 Old Island Highway

Craigflower Road at Admirals Road Bridge,

Esquimalt,

BC.

ARCHITECTURAL DRAWING LIST

- A1.1 Existing Site Plan & Project Data
- A1.2 Proposed Site Plan & Data
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- A2.2 South Block Floor Plans
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- A3.1 Exterior Elevations - West Block
- A3.2 Exterior Elevations - South Block
- A3.3 Exterior Elevations - Duplex
- A3.4 Exterior Elevations - East & Center Blocks
- A3.5 Exterior Finishes & Materials Board

OWNER AND DEVELOPER

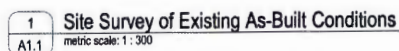
The Gorge Apartments Limited Partnership
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Vancouver BC, V6B 3E6
Contact: Jordan Milne Director
phone (250) 891 5673

PRIME CONSULTANT & ARCHITECT OF RECORD

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1	Site Survey of Existing As-Built Conditions
A1.1	metric scale: 1 : 300



Craigflower Road @ Admirals Road Bridge, Esquimalt, BC

Existing Site Plan & Data

Proposed Site Zoning & Data



1 Existing Site Plan [documented for reuse]
A1.2 metric scale: 1:300

Proposed Project Data

Proposed Zone: C-5A Tourist Commercial
transitioned to
Comprehensive Development Zone

Permitted Uses

Motel (Transient Residential Use) to Residential Apartment
Accessory Tourist Commercial to Commercial
Accessory Residential (as per Section 26) as is

Site Area

±10,875 m² / ±117,060 R²

Site Coverage (zoning definition)

40 % permitted: 4350 m² / 46,825 R² Actual: 4409.43m²

West Block 1287.6 m²
Centre Block 858.3 m²
East Block 583.1 m²
South Block 889 m²
Waterside (combined) 791.43 m²

Building Area (zoning definition)

Total Building Area: All bldgs combined 4963.52 m² / FSR: 0.46

West Block 1121.12 m²
Centre Block 1356.8 m²
East Block 820 m²
South Block 1109 m²
Waterside (combined) 556.6 m²

Siting Requirements / Building Setbacks

Front yard (existing unchanged)
Side Yard (existing unchanged)
Rear yard (existing unchanged)
Waterside (existing unchanged)

Building Height

9m Max (existing unchanged: ±6.1m)

Description of Uses

Residential Use

West Block 13 (reduced)
Centre Block 29 (reduced)
East Block 16 (existing - unchanged)
South Block 28 (reduced)
Waterside Units 10 (returned to original design)

Unit break down: intent: 96

Studio 51
1 bedrooms 33
2 bedrooms 12

Commercial Use

Restaurant (54 existing seats / 145 m² / to be public use seating)

Ancillary uses

Office, Reception, Laundry, Pool,

Vehicle Parking Requirements

111 total existing stalls available.
Parking Demand Assessment Study included with this submission.

Bylaw requirements:
96 Units x 1.30 stalls per unit = 125 (Bylaw)
25% of, and included above, as visitor parking = 32 stalls (Bylaw)

Demand Study Conclusions

Demand Study reviewed parking demand rates for multi-family units, in this vicinity, in several near municipalities, in the unit areas available, and in the bedroom counts available. This study is included with this submission. Only conclusions are noted below.

Total Residential Assessment

96 Units x .90 stalls per unit = 87 stalls min required
.8 stalls per unit for resident use (in excess of ave. data), and
.1 stalls per unit for residential guest use (in excess of ave. data)

Commercial Use

Restaurant: evaluated as per Bylaw
1 space per existing 5 seats (54) = 11 stalls - or -
1 space per 14 m² of gross m² (145m²) = 10.35 stalls
Therefore 11 stalls assigned to this use for full public access

Office: evaluated as per Bylaw

1 space per 30m² gross floor area / 59 m² = 2 stalls

Summary

Residents: 87 stalls
Commercial: 11 stalls
Office: 2 stalls
Total: 100 stalls / 111 existing stalls available + motorcycle parking

Bicycle Parking Requirements

96 Units x 1.5 Class A stalls per unit = 144 bike stalls / 146 shown
Bicycle parking: Class I (enclosed in bldg):
1.5 per residential unit as per Esquimalt OCP,
Section 2, Managed growth, 2.2.4.1., page 16

Residential Guest Bike parking / Provided

Guest bicycle parking: Commercial Class II (outdoor racks)
6 guest bikes as per: Esquimalt OCP, Section 2,
Managed growth, 2.3.1.1, page 18

Commercial Bicycle Parking: Class II (outdoor racks): provided
1 per 10 full-time employees as per Esquimalt OCP, Section 2, Managed
growth, 2.3.1.1, page 18

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CORP OF TOWNSHIP
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PORTAGE WEST

Craigflower Road @ Admirals Road Bridge, Esquimalt, BC

01 Old Island Highway
Craigflower Road @ Admirals Road Bridge,
Esquimalt, BC
Revision 2: Esquimalt District, Plan 39273

Date	Revision	Description / Updated Survey
11 February 2017	1	Revised Survey / Updated Survey
17 November 2016	2	Revised Survey / Updated Survey
27 October 2016	3	Revised Survey / Updated Survey
20 October 2016	4	Revised Survey / Updated Survey
17 October 2016	5	Revised Survey / Updated Survey
17 October 2016	6	Revised Survey / Updated Survey
17 October 2016	7	Revised Survey / Updated Survey
17 October 2016	8	Revised Survey / Updated Survey
17 October 2016	9	Revised Survey / Updated Survey
17 October 2016	10	Revised Survey / Updated Survey

PORTAGE WEST
101 Old Island Highway, Esquimalt, BC

Proposed Site Plan & Data

A1.2

Existing Streetscape Records



Photo from Gorge Waterway / Admirals Road Bridge



Photo from Admirals Road

Photography - Peter Hardcastle Hillel Architecture Inc 101 Old Island Highway



Photo from Craigflower Road

Photography - Peter Hardcastle Hillel Architecture Inc 101 Old Island Highway

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Craigflower Road @ Admirals Road Bridge, Esquimalt, BC

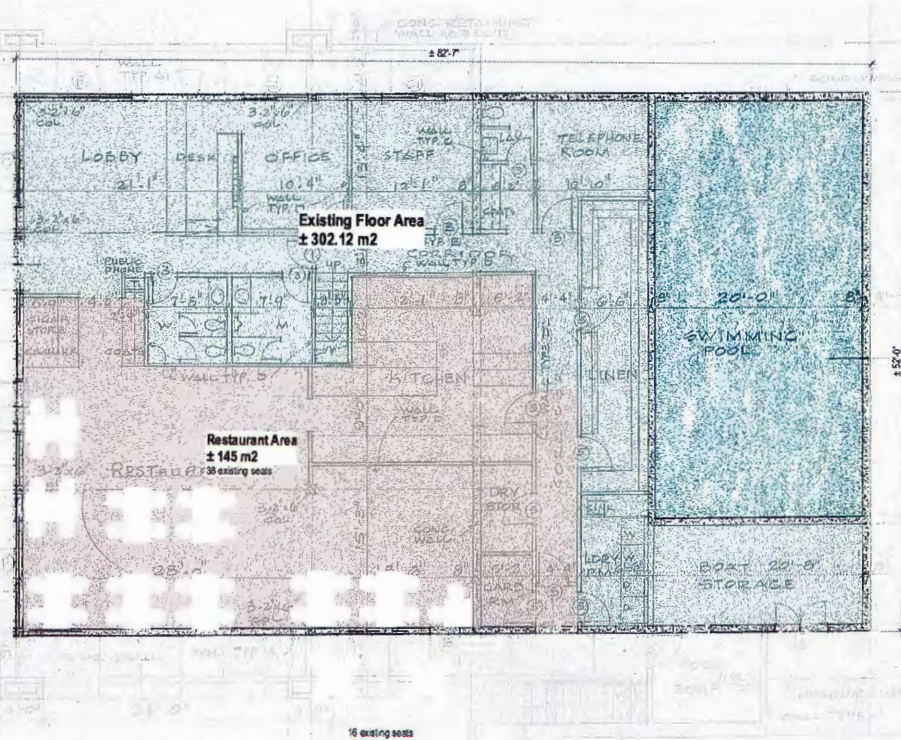
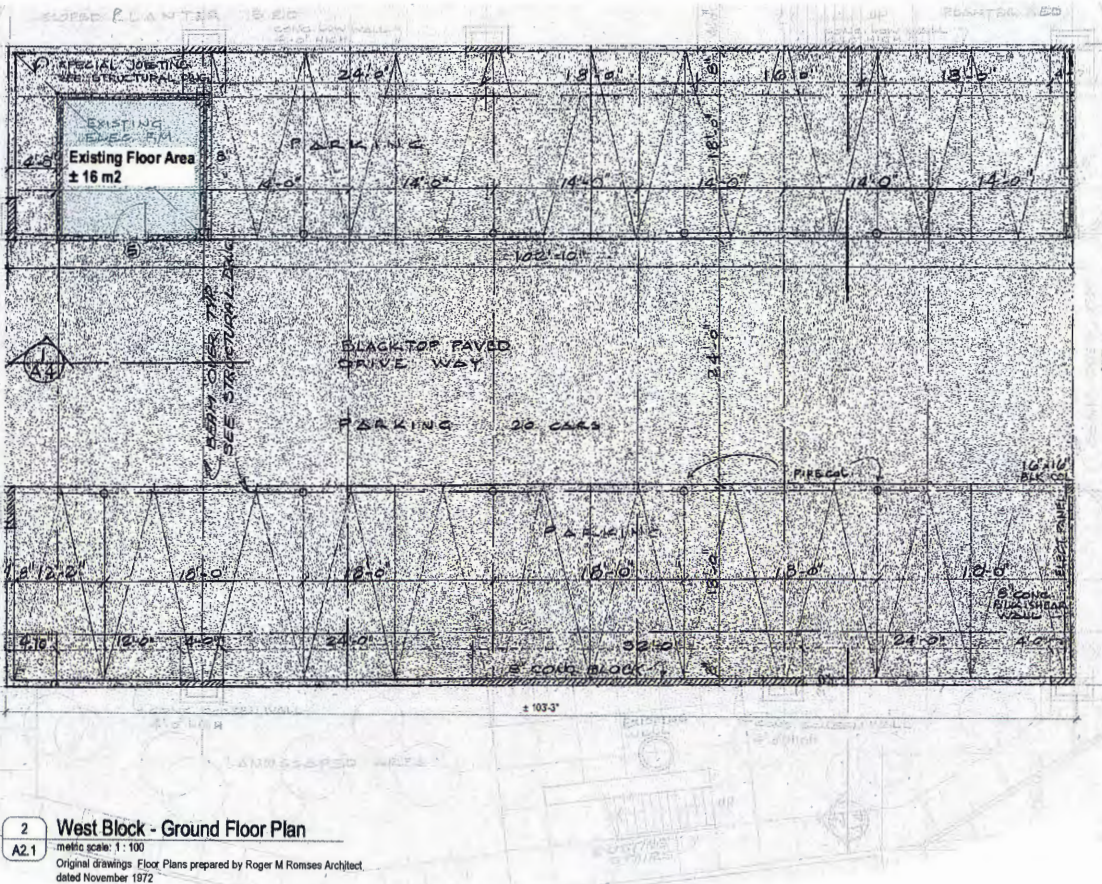
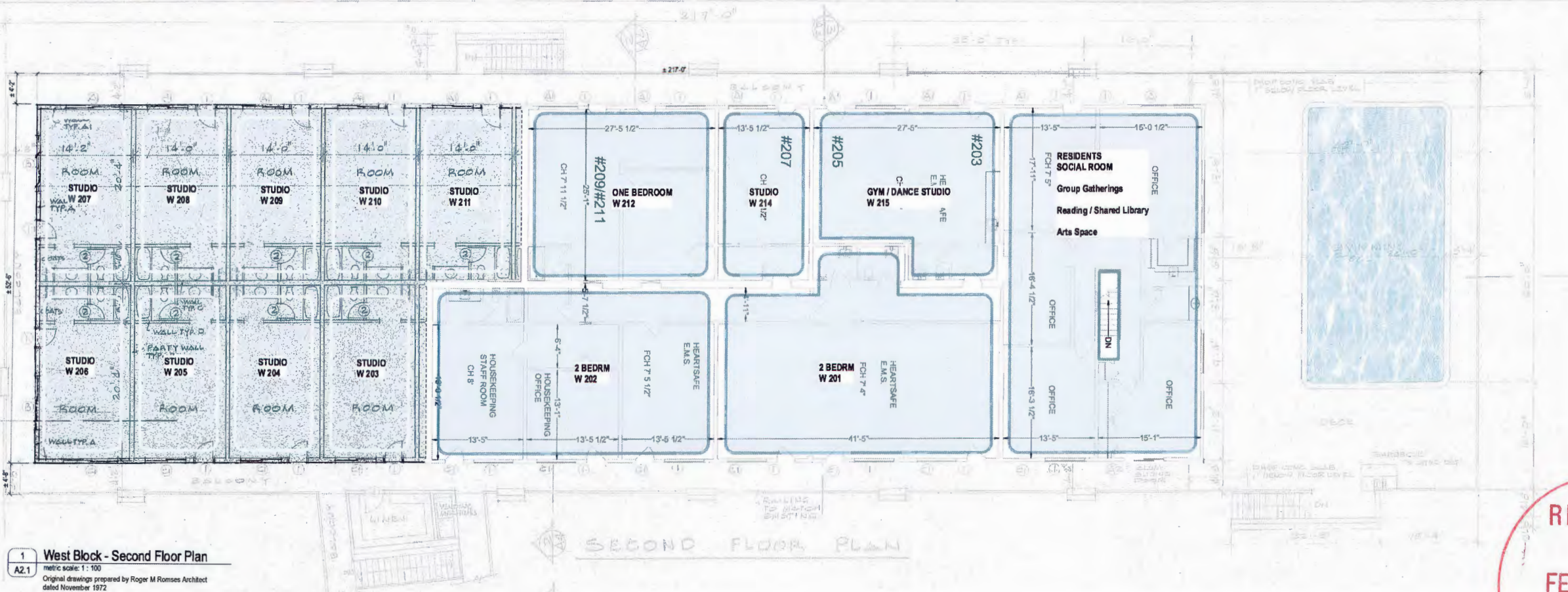
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101 Old Island Highway
Craigflower Road at Admirals Road Bridge,
Esquimalt, BC
Section 2, Esquimalt District, Plan 39273

23 November 2016	Issued for Review Application
23 October 2016	Issued for Preliminary Review
23 October 2016	Issued for Preliminary Review
23 October 2016	Issued for Preliminary Review
23 October 2016	Issued for Preliminary Review
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101 Old Island Highway, Esquimalt, BC
Existing Streetscape Photos
Drawing No. A1.3

Existing Building Plans and Proposed Use



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PORTAGE WEST

Craigflower Road @ Admirals Road Bridge, Esquimalt, BC

101 Old Island Highway
Gaulflower Road at Admirals Road Bridge,
Esquimalt, B.C.
Lot 4, Section 2, Esquimalt District, Plan 39273

id	date	description
1	22 November 2018	notice issued for Reasoning Application
2	26 October 2019	notice: Preliminary Reasoning Drawing
3	3 November 2019	drawing list
4	p.1 to clm.10 / clm.11	notice to: p.1 to clm.10
5	on record	notice number: 15.42

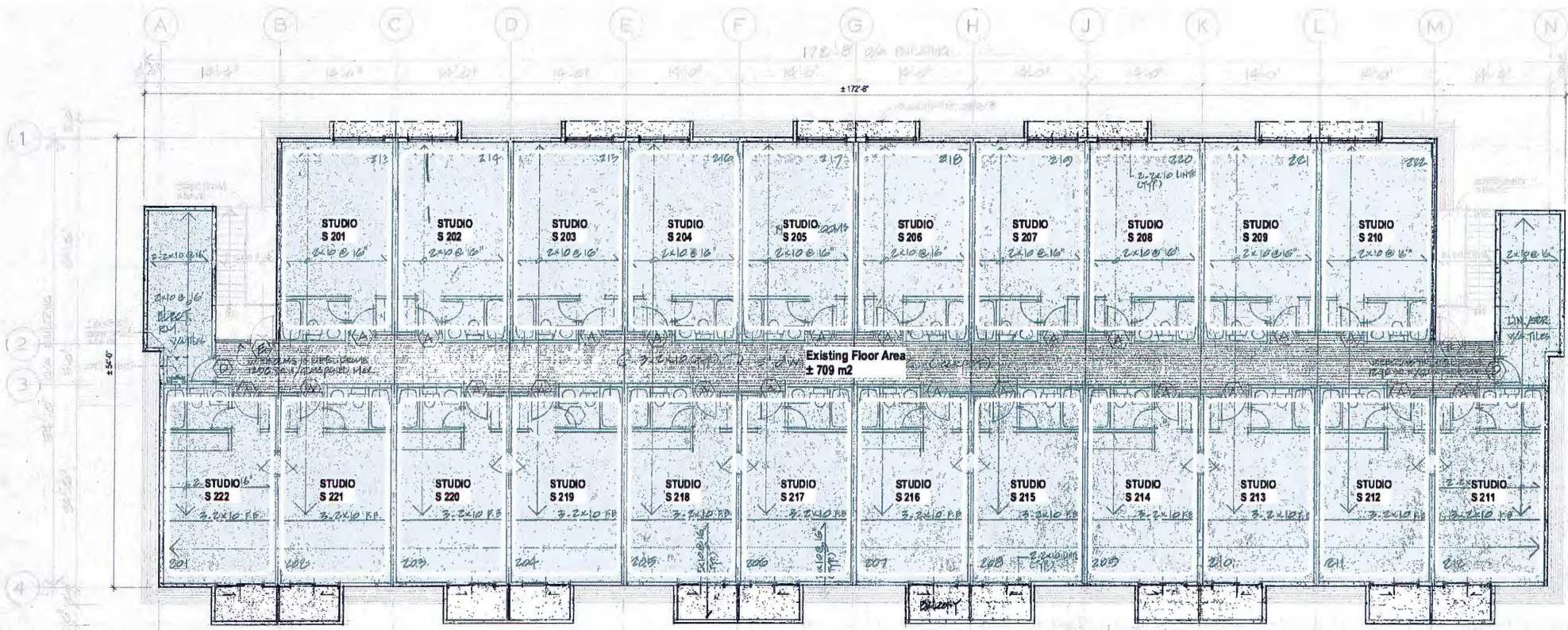


PORTAGE WEST
301 Old Island Highway, Esquimalt, BC

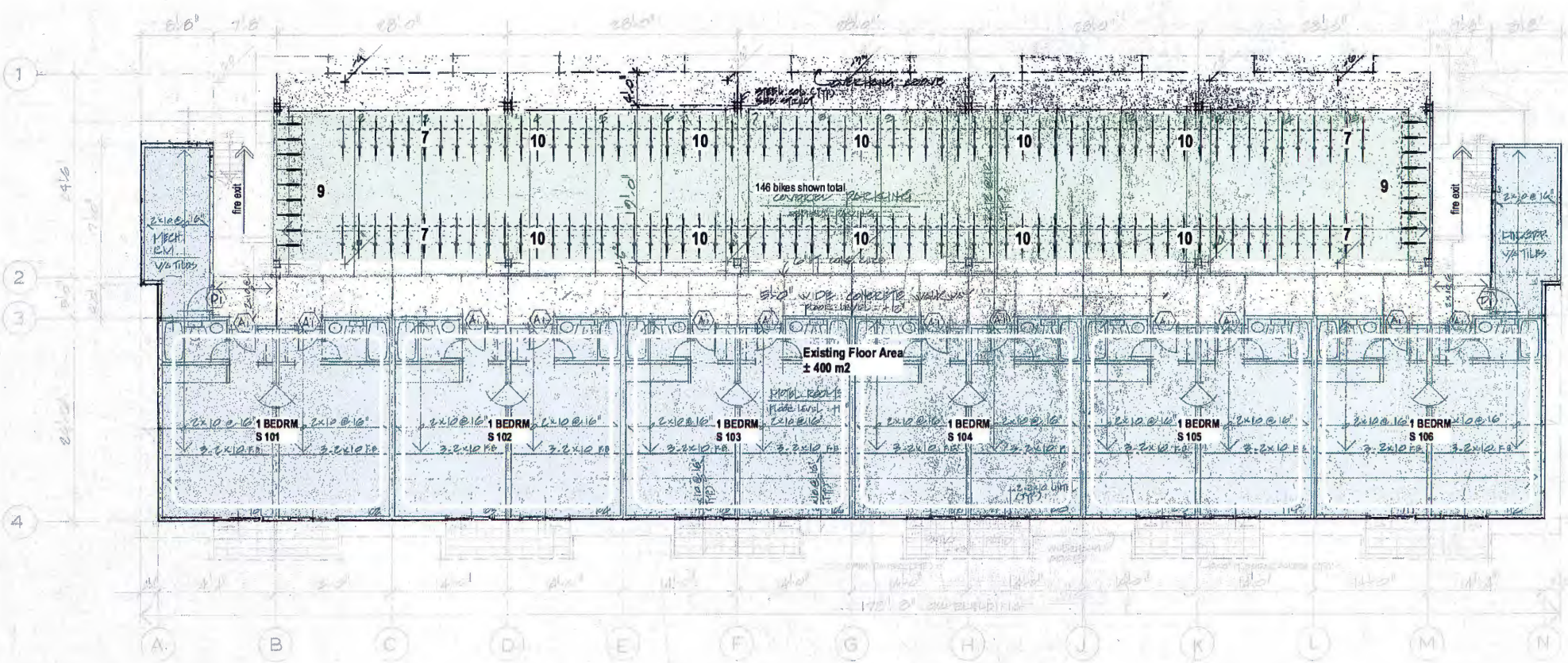
West Block Floor Plans

21

Existing Building Plans and Proposed Use



1 South Block - Second Floor Plan
metric scale: 1 : 100
Original drawings prepared by Rommes Kwen & Associates
dated January 1993



2 South Block - Ground Floor Plan
metric scale: 1 : 100
Original drawings prepared by Rommes Kwen & Associates
dated January 1993

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PORTAGE WEST

Craigflower Road @ Admirals Road Bridge, Esquimalt, BC

101 Old Island Highway
Craigflower Road at Admirals Road Bridge,
Esquimalt, BC
Section 2, Esquimalt District, Plan 39273

23 November 2016	Review for Planning Application
30 October 2016	Planning Application
19 October 2016	Review for
2 for review / study	Review for
16 October	Review for

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101 Old Island Highway, Esquimalt, BC

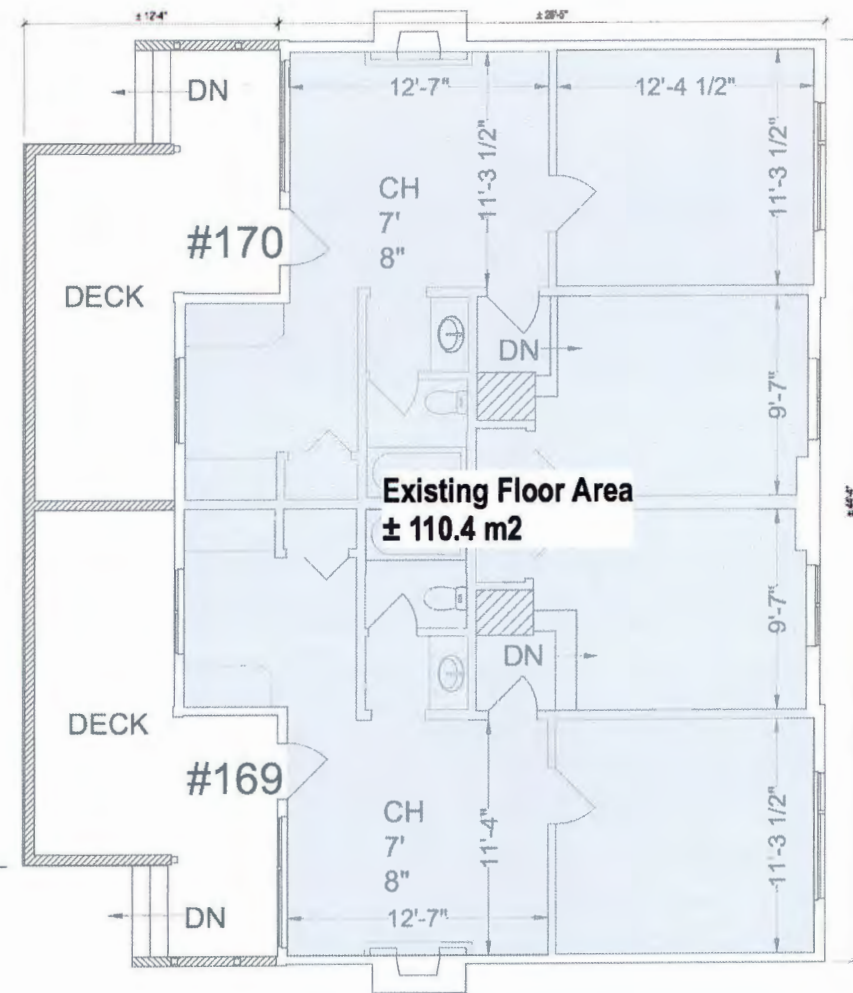
South Block Floor Plans

drawing no. A2.2

Existing Building Plans and Proposed Use

GORGE
WATER
FRONT

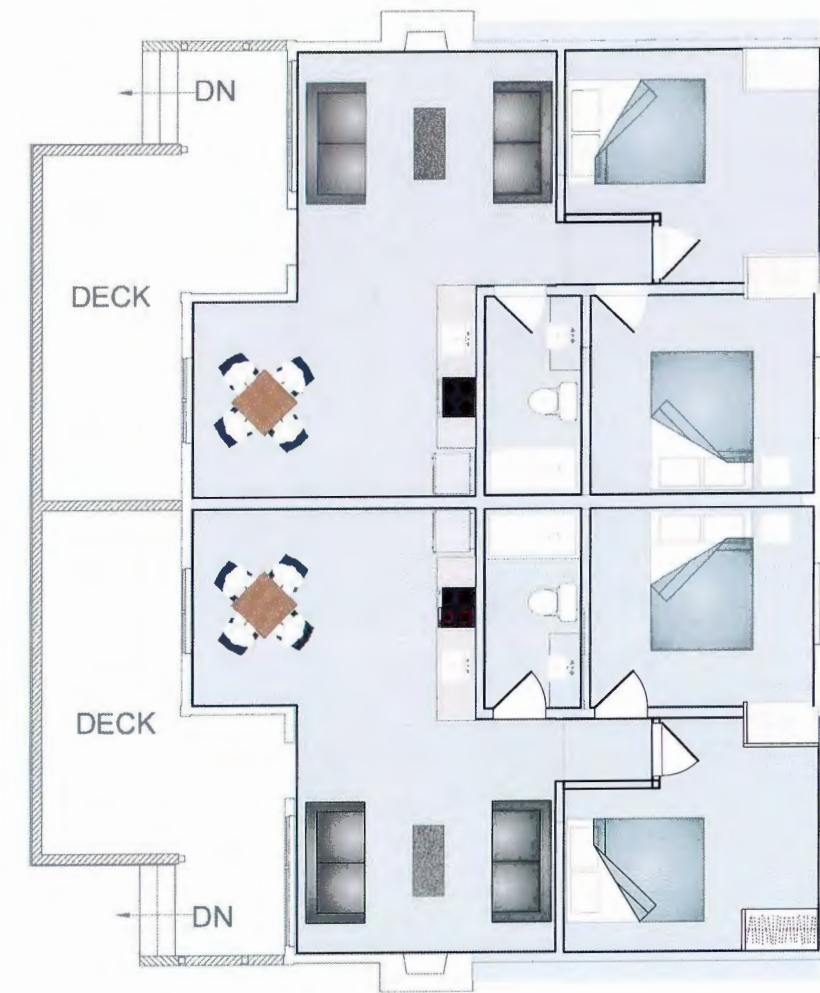
1 Units 1 - 4
Duplex 2 Bedroom Units - Ground Floor Plan
metric scale: 1:50
Existing Building Floor Plans prepared by Measure Masters
dated October 2016



2 BEDROOM
D 101 / 103 / 105 / 107

2 BEDROOM
D 102 / 104 / 106 / 108

PARKING

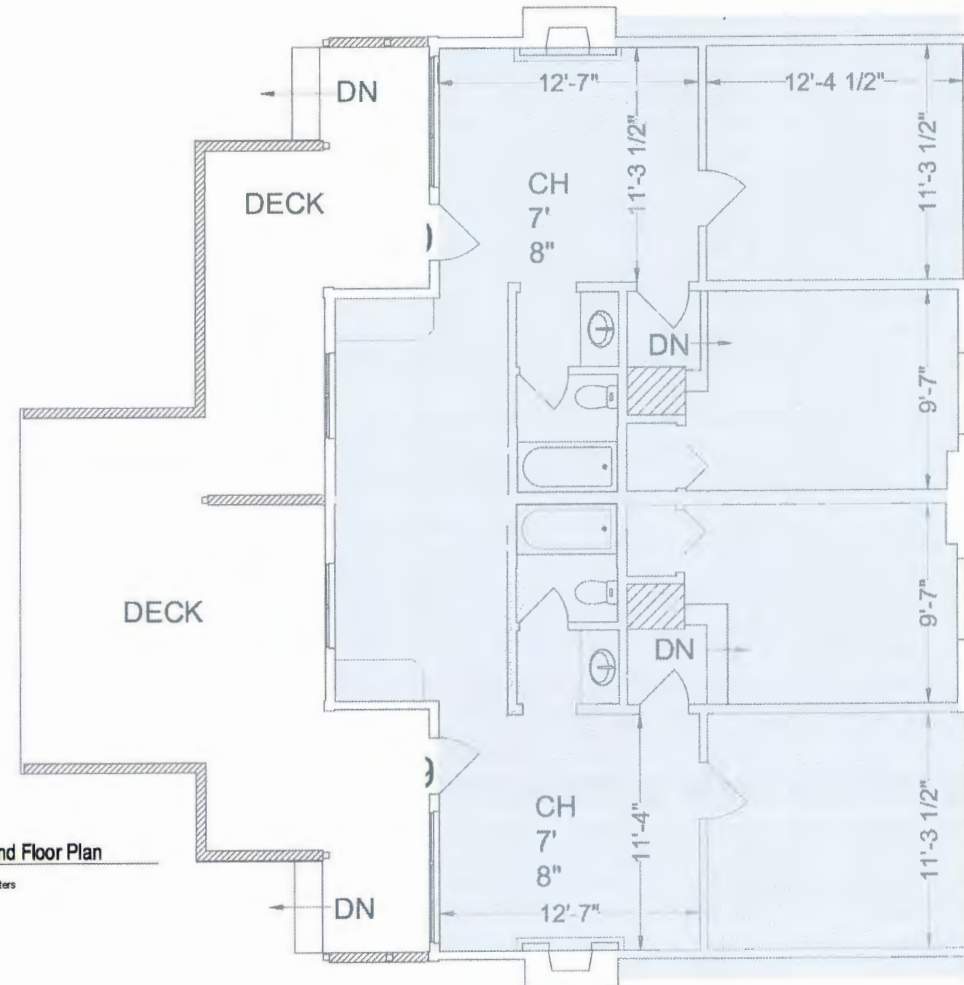


3 Duplex 2 Bedroom Units - Proposed Renovation Plan
metric scale: 1:50
Long term re-development strategy for units 1-4



GORGE
WATER
FRONT

2 Unit 5
Duplex 4 Bedroom Unit - Ground Floor Plan
metric scale: 1:50
Existing Building Floor Plans prepared by Measure Masters
dated October 2016



4 BEDROOM
D 109

PARKING



PORTAGE WEST
Craigflower Road @ Admirals Road Bridge, Esquimalt, BC

101 Old Island Highway Craigflower Road @ Admirals Road Bridge, Esquimalt, B.C. 3 A, Section 2, Esquimalt District, Plan 39273			
NO.	DATE	REVISION	BY
1	21 November 2016	Issued for Review Application	...
2	20 October 2016	Following Recording Drawing	...
3	20 October 2016	Revised	...
4	20 October 2016	Revised	...
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100	20 October 2016	Revised	...

PORTAGE WEST
101 Old Island Highway, Esquimalt, BC
Duplex Units Floor Plans

Architectural floor plan of a 4-unit residential building. The plan shows four units: E201, E202, E203, and E204 in the top row, and E205, E206, E207, and E208 in the bottom row. Each unit includes a living area, dining area, kitchen, and bedrooms. Unit E202 is highlighted with a blue background. The plan also shows common areas, balconies, and stairs. Dimensions and room names are labeled throughout the plan.

Existing Floor Area: ± 410 m²

Architectural floor plan of an existing four-unit apartment building. The plan shows a symmetrical layout with four units, each labeled "1 BEDRM" and numbered E 101 through E 104. Each unit includes a living area, dining area, kitchen, and bedroom. The central corridor is labeled "Existing Floor Area ± 410 m2". The plan also shows common areas, stairs, and various mechanical rooms. Dimensions are provided for various rooms and overall building sections.



PORTAGE WEST
Craigflower Road @ Admirals Road Bridge, Esquimalt, BC

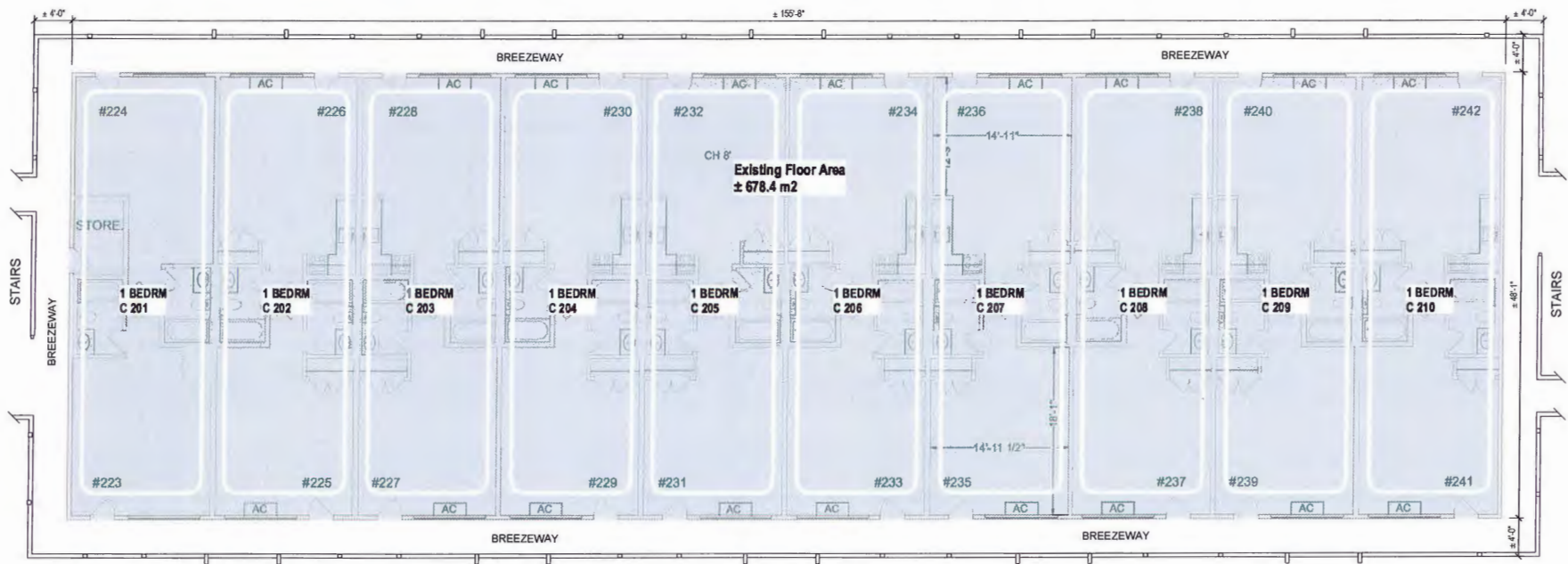
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1	22 November 2016	Partners Issued for Reopening Applications
2	20 October 2016	Partners Issued for Preliminary Reopening Drawing
3	September 2016	Issued for Reopening
4	1 November 2016	Partners Issued for Reopening Applications
5	16 October 2016	Partners Issued for Preliminary Reopening Drawing



East Block Floor Plan

drawing no. **A2.4**

Existing Building Plans and Proposed Use



1 Center Block - Second Floor Plan
A2.5 metric scale: 1:100
Existing Building Floor Plans prepared by Measure Masters
dated October 2016



2 Center Block - Ground Floor Plan
A2.5 metric scale: 1:100
Existing Building Floor Plans prepared by Measure Masters
dated October 2016



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PORTAGE WEST

Craigflower Road @ Admirals Road Bridge, Esquimalt, BC

101 Old Island Highway
Craigflower Road @ Admirals Road Bridge,
Esquimalt, B.C.
U.A. section 2, Esquimalt District, Plan 39273

NO.	13	DATE	13 November 2016	ISSUED FOR	RECEIVED FOR RECORDING APPLICATION
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NO.	100	DATE	100 August 2009	ISSUED FOR	RECEIVED FOR RECORDING APPLICATION

PORTAGE WEST
101 Old Island Highway, Esquimalt, B.C.
Center Block Floor Plans
A2.5

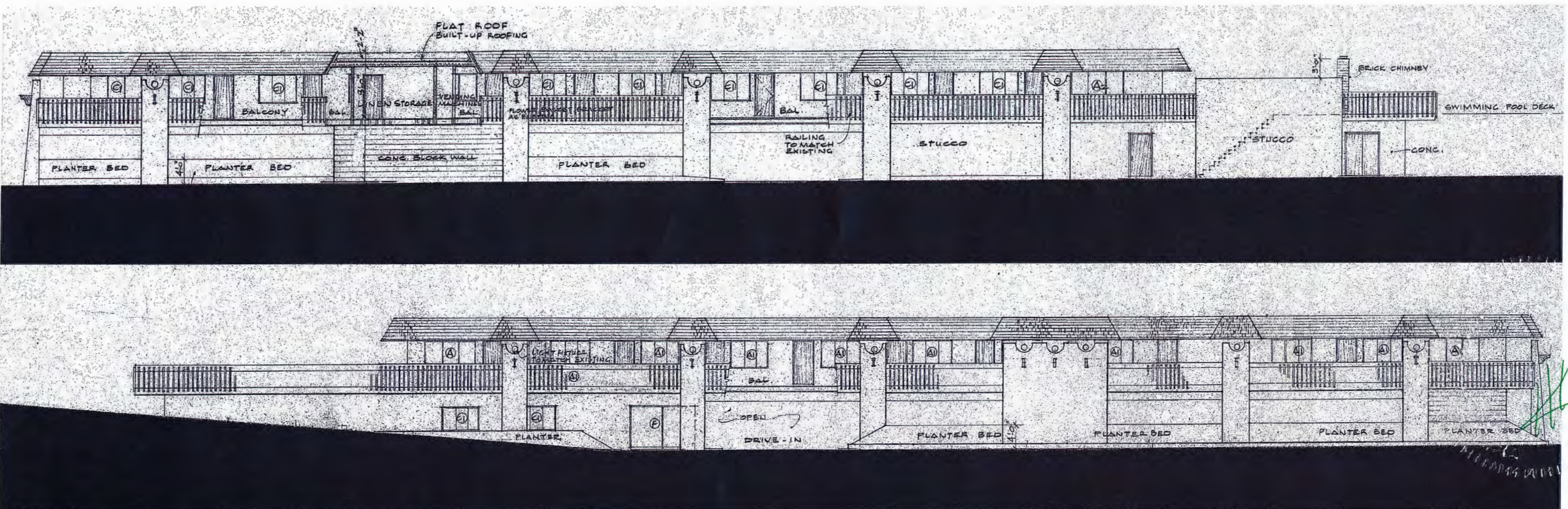
Existing and Proposed Building Elevations

New Proposed Exterior Colour Palette

1	West Block - Proposed Streetfront Exterior Elevation
A3.1	metric scale: 1 : 100



2 West Block - Existing Streetfront Exterior Elevation
A3.1 metric scale: 1 : 100



3 West Block - Existing Exterior Elevations
A3.1 metric scale: 1 : 100
Existing Elevations prepared by Roger M Romeses Architect
dated November 1972

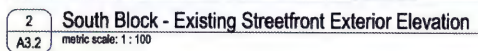
Existing and Proposed Building Elevations



01 02a 02b 03 04 05 05a 06c 06a 06b 07 08

New Proposed Exterior Colour Palette

1 South Block - Proposed Streetfront Exterior Elevation
A3.2 metric scale: 1 : 100



Existing and Proposed Building Elevations



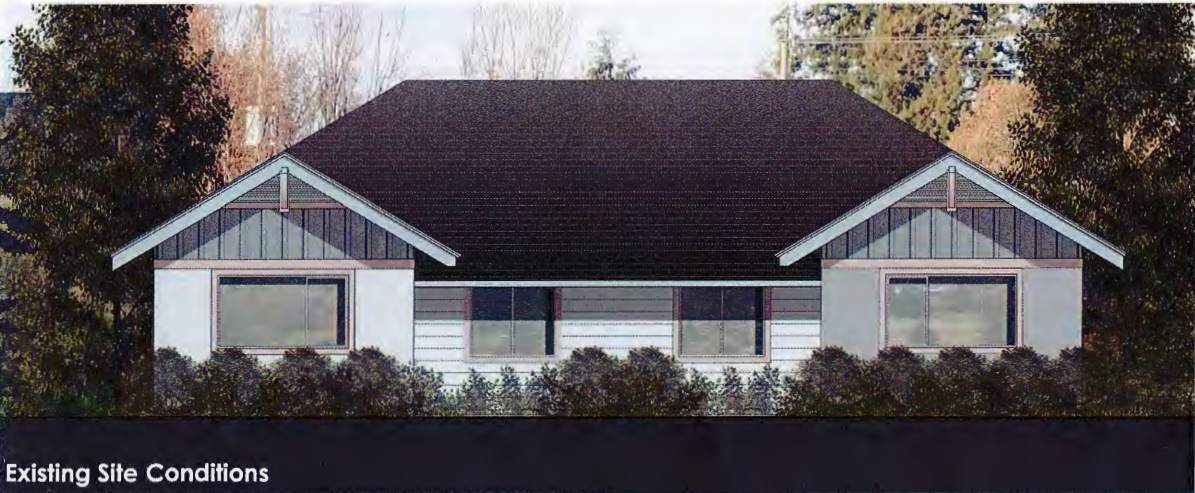
1 Duplex - Proposed Gorge Side Exterior Elevation
A3.3 metric scale: 1 : 50



2 Duplex - Proposed Internal Lot Side Exterior Elevation
A3.3 metric scale: 1 : 50



3 Duplex - Existing Gorge Side Exterior Elevation
A3.3 metric scale: 1 : 50
Exterior elevations are based off the floor plans prepared by Measure Masters



4 Duplex - Proposed Internal Lot Side Exterior Elevation
A3.3 metric scale: 1 : 50
Exterior elevations are based off the floor plans prepared by Measure Masters

EXTERIOR FINISHES LEGEND

List of Finishes typical of all elevations

Existing Exterior Finishes

- 81 existing shingle roofing to remain as is
- 82 existing roof flashing to remain as is
- 83 existing roof flashing, new paint finish
colour: light gray [architect spec colour]
- 84 existing aluminum windows to remain as is
colour 1: light gray [existing]
colour 2: bronzed brown [existing]
- 85 existing steel suite entry doors and frames, new paint finish
door colour: sea green [architect spec colour]
frame colour: sea green [architect spec colour]
- 86 existing flashing, new paint finish - colour: light gray
[architect spec colour]
- 87 existing wood trim, new paint finish - new paint
a. colour: sea green [architect spec colour]
b. colour: navy blue [architect spec colour]
- 88 existing wood balcony posts, new paint finish - colour:
white [architect spec colour]
- 89 existing wood balcony pickets and top rail, new paint
finish - colour: sea green [architect spec colour]
- 90 existing exposed concrete components, new paint
a. colour: sea green [architect spec colour]
b. colour: graphite gray [architect spec colour]
c. colour: light gray [architect spec colour]

New Exterior Finishes

- 91 new smooth stucco, top coat finish only over existing stucco finish
a. colour: white [architect spec colour]
b. colour: navy blue [architect spec colour]
- 92 new wood trim
a. colour: sea green [architect spec colour]
b. colour: navy blue [architect spec colour]
- 93 new building signage, cut plate black metal signage on
stained wood background
- 94 new 13x88 T&G cedar siding, square face out, rough sawn face
visible. Semi-opaque Siklens Cetol stain [arch spec colour]
- 95 new 13x88 cedar trim around existing window frame, square face
out, rough sawn face visible. Semi-opaque Siklens Cetol stain [arch
spec colour]
- 96 new cedar fascia, square face out, rough sawn face visible.
Semi-opaque Siklens Cetol stain [arch spec colour]
- 97 new property sign at main entrance (off Admirals Road)



PORTAGE WEST

Craigflower Road @ Admirals Road Bridge, Esquimalt, BC

101 Old Island Highway
Esquimalt, BC
V8M 1G2

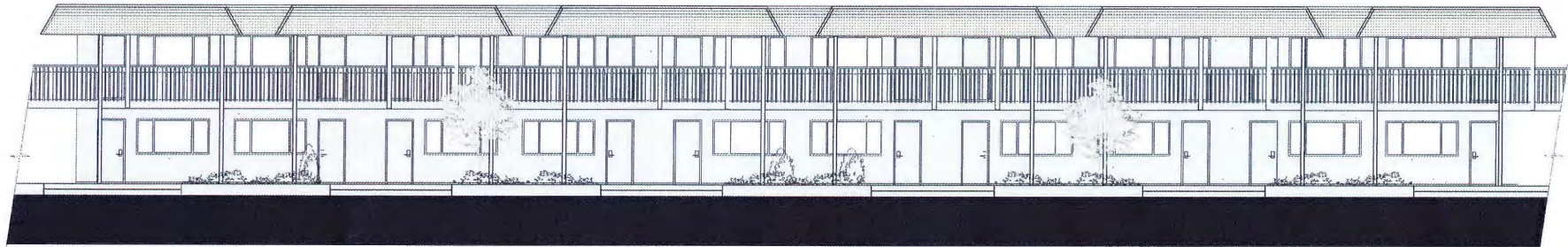
21 November 2015
20 October 2015
20 October 2015
20 October 2015

Project: Portage West Duplex
Drawing: Exterior Elevations - Duplex
Scale: 1:50
Sheet: A3.3

Existing Building Elevations



1 East Block - Existing Exterior Elevations
metric scale: 1 : 100
Original drawings prepared by Roger M Romes Architect
dated November 1972



2 Center Block - Existing Exterior Elevations
metric scale: 1 : 100
Exterior elevations are based off the floor plans prepared by Messum
Masters

Handwritten signature in green ink.

Hillel
architecture

RECEIVED

FEB 16 2017

CORP OF TOWN OF ESQUIMALT
DEVELOPMENT SERVICES

PORTAGE WEST

Craigflower Road @ Admirals Road Bridge, Esquimalt,

101 Old Island Highway
Craigflower Road at Admirals Road Bridge,
Esquimalt, BC
Plan Section 2, Esquimalt District, Plan 39273

13 November 2016
28 October 2016
20 October 2016
1 October 2016

Revised based on Planning Application
Preliminary Planning Drawing
Final Design
Final Design

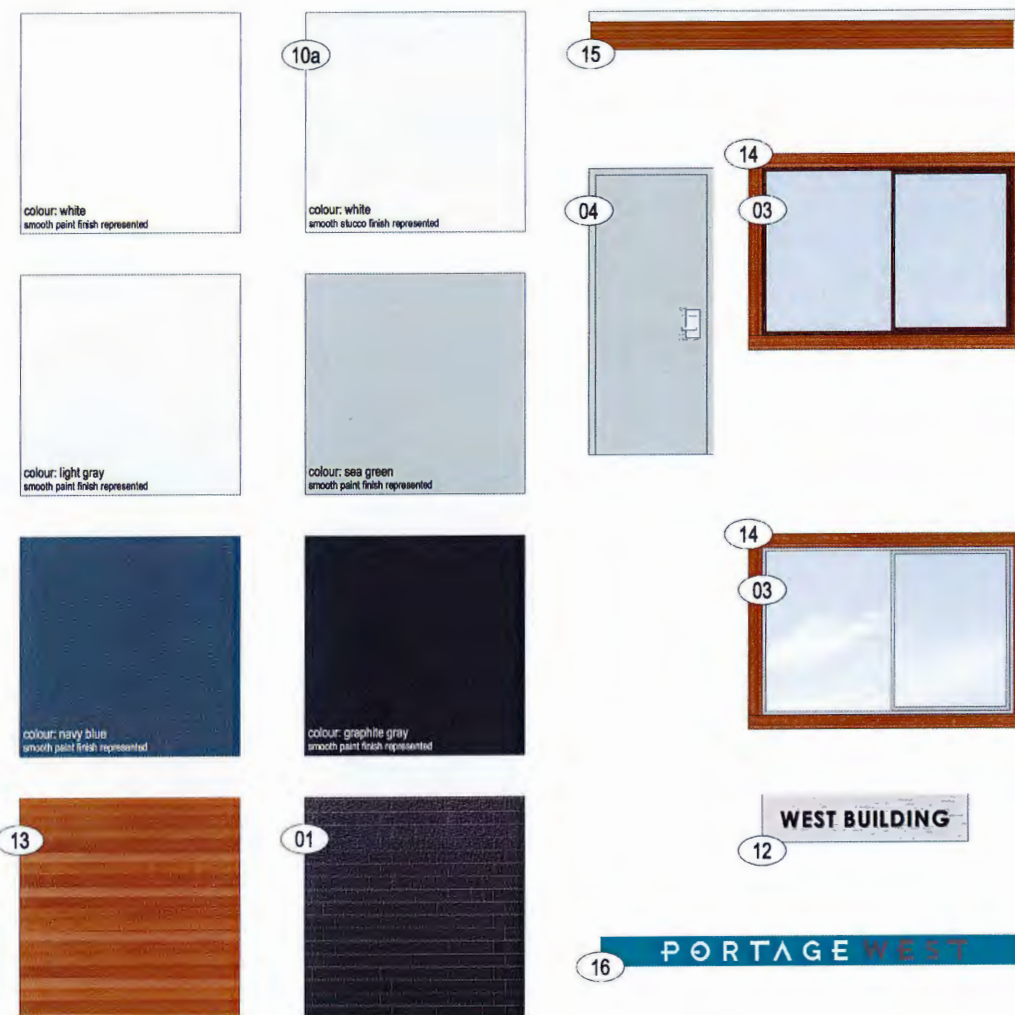
10.42

PORTAGE WEST
101 Old Island Highway, Esquimalt, BC

Exterior Elevations
East & Center Blocks

revision no.
drawing no.
A3.4

Colour And Materials Palette



Existing Exterior Finishes

- 01 existing shingle roofing to remain as is
- 02a existing roof flashing to remain as is
- 02b existing roof flashing, new paint finish
colour: light gray [architect spec colour]
- 03 existing aluminum windows to remain as is
colour 1: light gray [existing]
colour 2: bronzed brown [existing]
- 04 existing steel suite entry doors and frames, new paint finish
door colour: sea green [architect spec colour]
frame colour: sea green [architect spec colour]
- 05 existing flashing, new paint finish - colour: light gray
[architect spec colour]
- 06 existing wood trim, new paint finish - new paint
a. colour: sea green [architect spec colour]
b. colour: navy blue [architect spec colour]
- 07 existing wood balcony posts, new paint finish - colour:
white [architect spec colour]
- 08 existing wood balcony pickets and top rail, new paint
finish - colour: sea green [architect spec colour]
- 09 existing exposed concrete components, new paint
a. colour: sea green [architect spec colour]
b. colour: graphite gray [architect spec colour]
c. colour: light gray [architect spec colour]

New Exterior Finishes

- 10 new smooth stucco, top coat finish only over existing stucco finish
a. colour: white [architect spec colour]
b. colour: navy blue [architect spec colour]
- 11 new wood trim
a. colour: sea green [architect spec colour]
b. colour: navy blue [architect spec colour]
- 12 new building signage, cut plate black metal signage on stained wood background
- 13 new 19x89 T&G cedar siding, square face out, rough sawn face visible - semi-opaque Sikkens Cetol stain (arch spec colour)
- 14 new 19x89 cedar trim around existing window frame, square face out, rough sawn face visible - semi-opaque Sikkens Cetol stain (arch spec colour)
- 15 new cedar fascia, square face out, rough sawn face visible - semi-opaque Sikkens Cetol stain (arch spec colour)
- 16 new property sign at main entrance (off Admirals Road)

RECEIVED

FEB 16 20

DRP OF TOWN
OF ESQUIMA

of EQUUS 349

PORTAGE WEST

Craigflower Road @ Admirals Road Bridge, Esquimalt, BC

101 Old Island Highway
 Sever Road at Admirals Road Bridge,
 Esquimalt, BC.
 Section 2, Esquimalt District, Plan 39273

11 November 2011	Case Law based for Rezoning Application
20 October 2010	Resolution Preliminary Rezoning Drawing
September 2011	Land Use
14 October / January	Project to
10 April	Project to

PORTAGE WEST
101 Old Island Highway, Esquimalt

Exterior Finishes & Materials

SITE PLAN OF ECONOLODGE INN AND SUITES

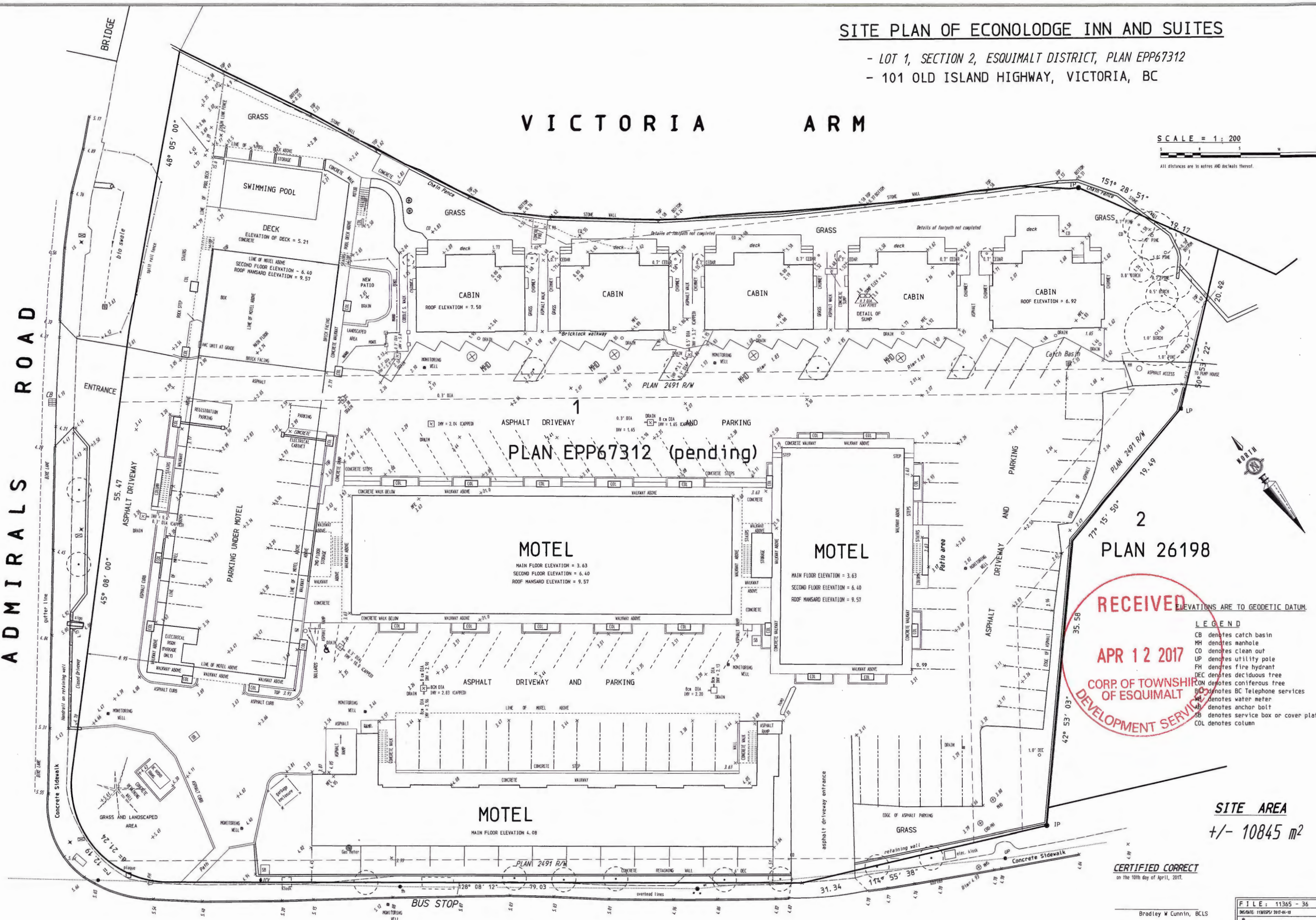
- LOT 1, SECTION 2, ESQUIMALT DISTRICT, PLAN EPP67312
- 101 OLD ISLAND HIGHWAY, VICTORIA, BC

VICTORIA ARM

SCALE = 1 : 200

All distances are in metres and decimals thereof.

ADMIRALS ROAD



PLAN EPP67312 (pending)

PLAN 26198

RECEIVED

APR 12 2017

CORP. OF TOWNSHIP OF ESQUIMALT

DEVELOPMENT SERVICES

CERTIFIED CORRECT

on the 10th day of April, 2017.

SITE AREA
+/- 10845 m²

- LEGEND
- CB denotes catch basin
 - MH denotes manhole
 - CO denotes clean out
 - UP denotes utility pole
 - FH denotes fire hydrant
 - DEC denotes deciduous tree
 - CON denotes coniferous tree
 - BC denotes BC Telephone services
 - WM denotes water meter
 - AB denotes anchor bolt
 - SB denotes service box or cover plate
 - COL denotes column

CRAIGFLOWER ROAD

Bradley W. Cunin, BCLS

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FILE: 11365 - 36
DATE: 11/05/2017 04:10
Brad Cunin Land Surveyor
101-2610 Douglas Street
Victoria, BC V8T 4M1
ph: 250-381-0250 fx: 381-2289
brad@bcsurveyor.ca

SKETCH PLAN TO ACCOMPANY REZONING APPLICATION

LOT A, SECTION 2, ESQUIMALT DISTRICT, PLAN 39273
PURSUANT TO SECTION 100 1 a, LAND TITLE ACT

SCALE



The intended plot size of this plan is 432mm in height by 560mm in width (C size) when plotted at a scale of 1: 500

LEGEND

Integrated Survey Area 38, City of Esquimalt, M083 (CSRS) 3.0, 0. BC, 1.
Grid bearings are derived from observations between Geodetic Control Monuments
7918742 and 7918709 AND 8410199
The UTM coordinates and estimated horizontal positional accuracy
achieved are derived from MASCOT published coordinates and
standard deviations for geodetic control monuments 7918709, 7918742 & 8410199
This plans shows ground-level distances, unless otherwise specified. To compute
grid distances, multiply ground-level distances by the average combined factor
0.9996140 which is derived from monument 8410199.

-  - denotes - Control Monument found
 - denotes - Capped Iron Post found.
 - denotes - Standard Iron Post found.
 - denotes - lead plug found
 - denotes - Standard Iron Post placed.
 NF - denotes - Nothing Found

BCGS - 92B.063

PLAN EPP67312



Datum: NAD83 (CSRS) 3. 0. 0. 8C. 1. CRD
 UTM Zone 10. CF=0.9996130
 UTM Northing - 5,366,942.239
 UTM Easting - 469,089.897
 Estimated network positional
 Accuracy (95%) = 0.013 metres

Date: NAD83 (CSRS) 3.0.0.BC.1.CRD
UTM Zone 10. CF=0.9996412
UTM Northing - 5,366,710.259
UTM Easting - 469,053.453
Estimated network positional
Accuracy (95%) = 0.011 metres

Datum: NAD83 (CSRS) 3.0.0.BC.1.CRD
UTM Zone 10. CF=0.9996410
UTM Northing - 5,366,414.618
UTM Easting - 468,775.895
Estimated network positional
Accuracy 0.003 metres

THIS PLAN LIES WITHIN THE
CAPITAL REGIONAL DISTRICT.

THE FIELD SURVEY REPRESENTED BY THIS PLAN WAS
COMPLETED ON THE __th DAY OF JANUARY, 2017
BRADLEY W CUNNING, BCL# 677

FILE : 11365 - 36

Brad Cunnin Land Surveyor

101-2610 Douglas Street
Victoria, BC V8T 4M1
ph. (250) 381-2257 fx. (250) 381-2289

