

Client
 School District No. 61
 Marni Visitsen-Harwood, Director of Facilities
 556 Boleskine Rd,
 Victoria, B.C.
 V8Z 1E8
 Ph: (250) 920-3460

Architectural Design
 Iredale Architecture
 Michael Van Bakel
 16 Bastion Square
 Victoria, B.C.
 V8V 1H9
 Ph: (250) 381-5582

Structural Consultants
 Harold Engineering
 David Binkley
 Unit 600 - 1112 Fort Street
 Victoria, B.C.
 V8V 4T6
 Ph: (250) 590-4875

Mechanical Consultants
 Stephen McNicholls Consulting
 Michael Hadley
 101 - 1335 Bear Mountain Pkwy.
 Victoria, B.C.
 V9B 6T9
 Ph: (250) 382-5999

Electrical Consultants
 AES
 Falah Numan
 300 - 1815 Blanshard Street
 Victoria B.C.
 V8T 5A4
 Ph: (250) 381-6121

Civil Consultants
 Westbrook Consulting
 Bruce Crawshaw
 #115-666 Goldstream Avenue
 Victoria B.C.
 V9B 0J3
 Ph: (250) 391-8592

Esquimalt Secondary School - New Daycare Centre

847 Colville Rd. Township of Esquimalt B.C. V9A 4N9 | Issued For Development Permit | September 19 - 2024

Drawing List

- Architectural**
- A-000 Cover Sheet
 - A-100 School Site Plan
 - A-101 Daycare Site Plan
 - A-200 Overall Building Floor Plan
 - A-201 Overall Building Roof Plan
 - A-202 Overall Building Elevations
 - A-203 Overall Building Elevation Sections
 - A-300 Wet Portable Building Plan
 - A-301 Wet Portable Elevs., Section, Roof Plan & RCP
 - A-400 Portable #1 Building Plans
 - A-401 Portable #2 Building Plans
 - A-402 Portable #1 Elevations & Section Plan & Section Details
 - A-500 Cladding Details
 - A-501 Door & Window Schedule
 - A-1000 Millwork
 - A-1001 Millwork



Civil

1 of 1 SITE SERVICING, TYPICAL DETAILS

BUILDING ENVELOPE REQUIREMENTS

Referenced Documents: ASHRAE 90.1-2019 (SI Edition)
 Requirements Taken From Table 5.5-4 For Climate Zone 4C Nonresidential

1. Roofs
 Insulation Entirely Above Deck RSI-5.3 c.I.

2. Walls Above Grade
 Wood Framed RSI-2.5

3. Floors
 Wood Framed RSI-0.3

4. Openings
 Swinging U-2.101

5. Vertical Fenestration
 Non Metal Framing U-2.56 Assembly Max.
 0.33 Assembly Max. SHGC
 1.10 Assembly Min. VTSHGC

PROJECT DATA

Project Address 847 Colville Rd. (Equinall) BC V9A 4N9
 Folio 0001.022
 P.I.D. 004-817-672
 Lot A
 Section 10
 Legal Plan 13566

Zoning P-1 Public/Institution

Yard Requirements Permitted/Required Proposed

Front Yard 7.5m 7.5m
 West Yard 1 4.5m 154.4m
 East Yard 1 4.5m 90.12 TO SCHOOL
 Rear Yard 7.5m 120.2m

BUILDING CODE REVIEW

1. Type of Work
 New Construction

2. Referenced Documents
 British Columbia Building Code 2018 - Part 3
 Annex 90.1-2019 (SI Edition)

3. Building Area

Wet Unit	72 sqm.
Portable #1	121 sqm.
Portable #2	121 sqm.
Total	314 sqm

4. Building Classification
 Group "A" Division "2" 3.2.2.28
 Exterior Walls - 1 hour rated
 Number of Stoops 1
 Facing Streets 1

5. Type Of Construction Permitted
 Combustible Construction Permitted

6. Automatic Sprinklers
 Sprinklered No

ENERGY REQUIREMENTS.

STEP 1 BC BUILDING CODE

BICYCLE PARKING REQUIREMENTS

2 Spaces + 6 Visitor Spaces
 Existing Spaces 8

PARKING REQUIREMENTS

SCHOOL REQUIREMENT
 3.5 Spaces Per Classroom 27
 Existing Classroom 27

DAY CARE REQUIREMENT
 1 Space Per 30 sqm 10
 Total Required 95 + 10 = 105
 Existing Spaces On Site 107
 enough parking outlet

7. Occupant Load
 Portable #1 1.65m² per person, Area 104m² = 55max
 Portable #2 1.65m² per person, Area 104m² = 55max
 Wet Unit/Office/Kitchen 5.30 per person Area 18m² = 2
Total Load 114
 Note: Intended occupant load is 50 children & 5 staff.

8. Number Of Exits Required
 1 from each room, 2 provided for each room

9. Health Requirements
 Per table 3.7.2.2-A, two male and 3 female required.
 2 Unisex and 4 Gender Neutral Washrooms provided.

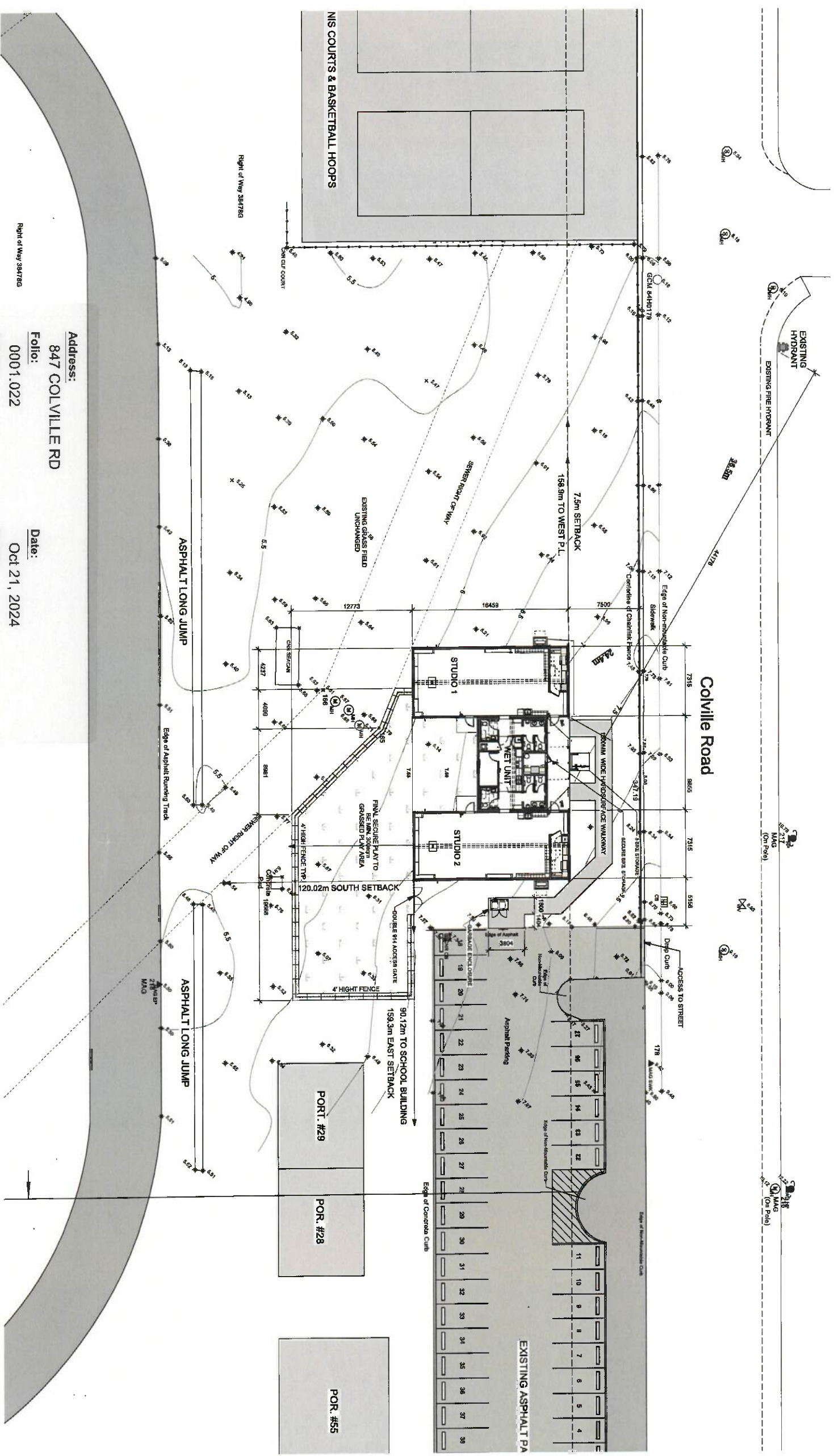
INTENDED DAYCARE PROGRAM USAGE
 PORTABLE #1 25 CHILDREN 5hours to 5 years
 PORTABLE #2 25 BEFORE/AFTER SCHOOL PROGRAM

Type / Subject:
 DEVELOPMENT PERMIT -INDUSTRIAL
 SINGLE STORY WOOD FRAMED BUILD CONTAINING
 2 DAYCARE STUDIOS

Address: 847 COLVILLE RD
Folio: 0001.022
Date: Oct 21, 2024
Project: DP000238
Folder: DP000238

Area of Exposed Building m ²	Ratio LH or HL	Actual Limiting Distance M	% Unprojected Openings Allowed	% Actual Unprojected Openings	Type Of Cladding Required	Type Of Cladding Provided	Type Of Construction Required	Type Of Construction Provided	FRR Required	FRR Provided
67	3:1 to 10:1	15 CIL Road	100	13.3	Combust or Non Combust	Non Combust.	Combust or Non Combust	Combust.	None	1hr
67	3:1 to 10:1	120.2	100	17.6	Combust or Non Combust	Non Combust.	Combust or Non Combust	Combust.	None	1hr
45	3:1 to 10:1	90.12	100	17.8	Combust or Non Combust	Non Combust.	Combust or Non Combust	Combust.	None	1hr
45	3:1 to 10:1	159	100	17.8	Combust or Non Combust	Non Combust.	Combust or Non Combust	Combust.	None	1hr

LIMITING DISTANCE VALUES FROM TABLE 3.2.3.1-A
 CONSTRUCTION REQUIREMENTS FROM TABLE 3.2.3.7



Address: 847 COLVILLE RD
 Folio: 0001.022
 Project: DP000238

Date: Oct 21, 2024
 Folder: DP000238

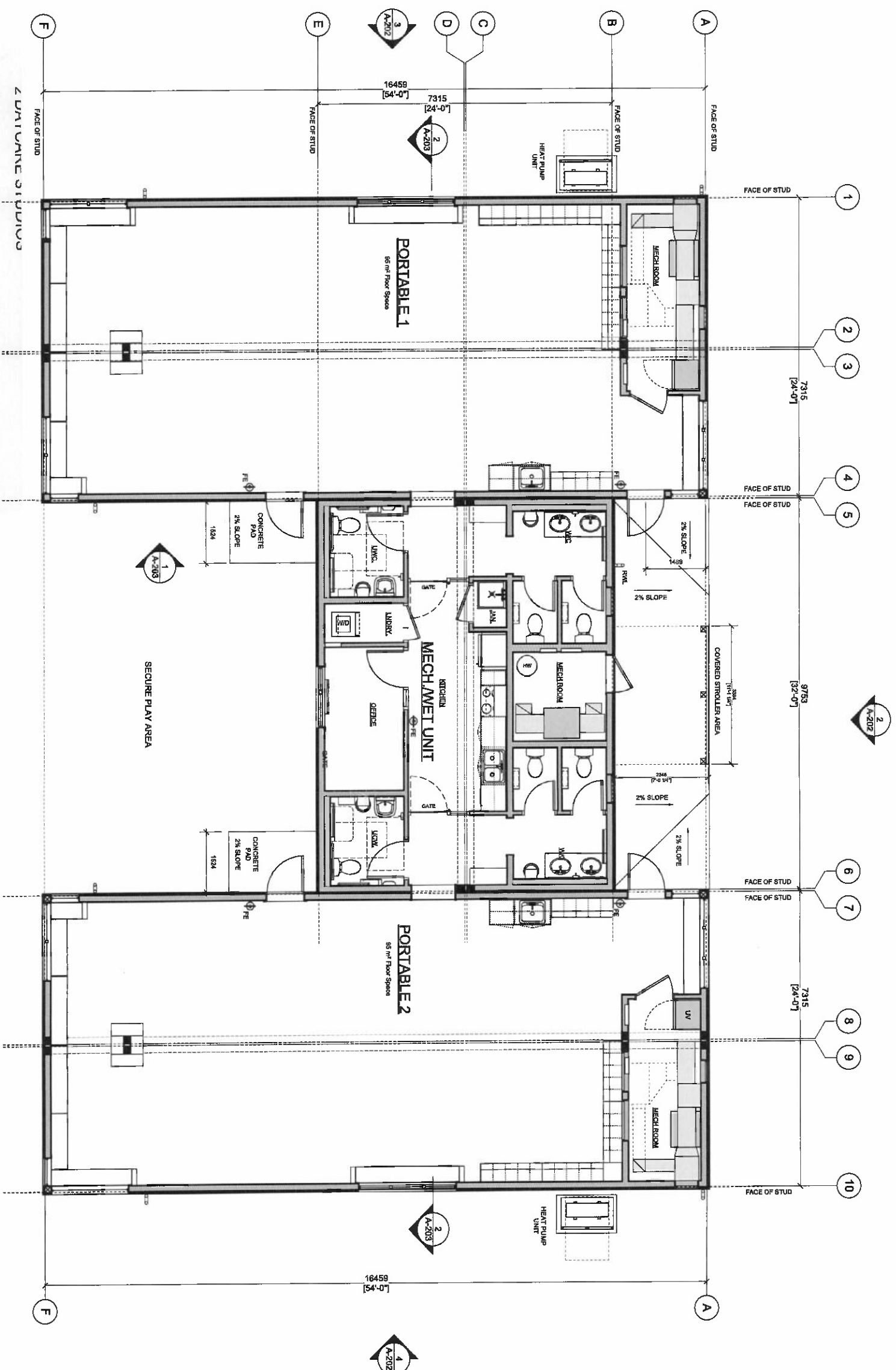
Type / Subject:
 DEVELOPMENT PERMIT - INDUSTRIAL
 SINGLE STORY WOOD FRAMED BUILD CONTAINING
 2 DAYCARE STUDIOS

1 Daycare Site Plan
 Scale: 1:200

No.	Date	Appr	Revision Notes
B	2024-09-19	Development Permit	
A	2024-09-05	Building Permit	
No.	Date	Issue Notes	

Suite 202 - One Alexander Street Vancouver BC V6A 1B2 T: 780-551-7325-5583 www.iredale.ca	
18 Barclay Square Victoria BC V8V 1P9 T: 250-383-1112 arch@iredale.ca www.iredale.ca	

Project No: ESQUIMALT SECONDARY SCHOOL NEW DAYCARE CENTRE	Date: 18 Sep 24
Project Name: Daycare Site Plan	Scale: As Noted
Drawn By: Kiana Vahidnia	Checked By: TK
Project ID: 22004	Drawing ID: A-101



Address:
847 COLVILLE RD

Folio:
0001.022

Project:
DP000238

Date:
Oct 21, 2024

Folder:
DP000238

Type / Subject:
DEVELOPMENT PERMIT - INDUSTRIAL
SINGLE STORY WOOD-FRAMED BUILD CONTAINING
2 DAYCARE STUDIOS

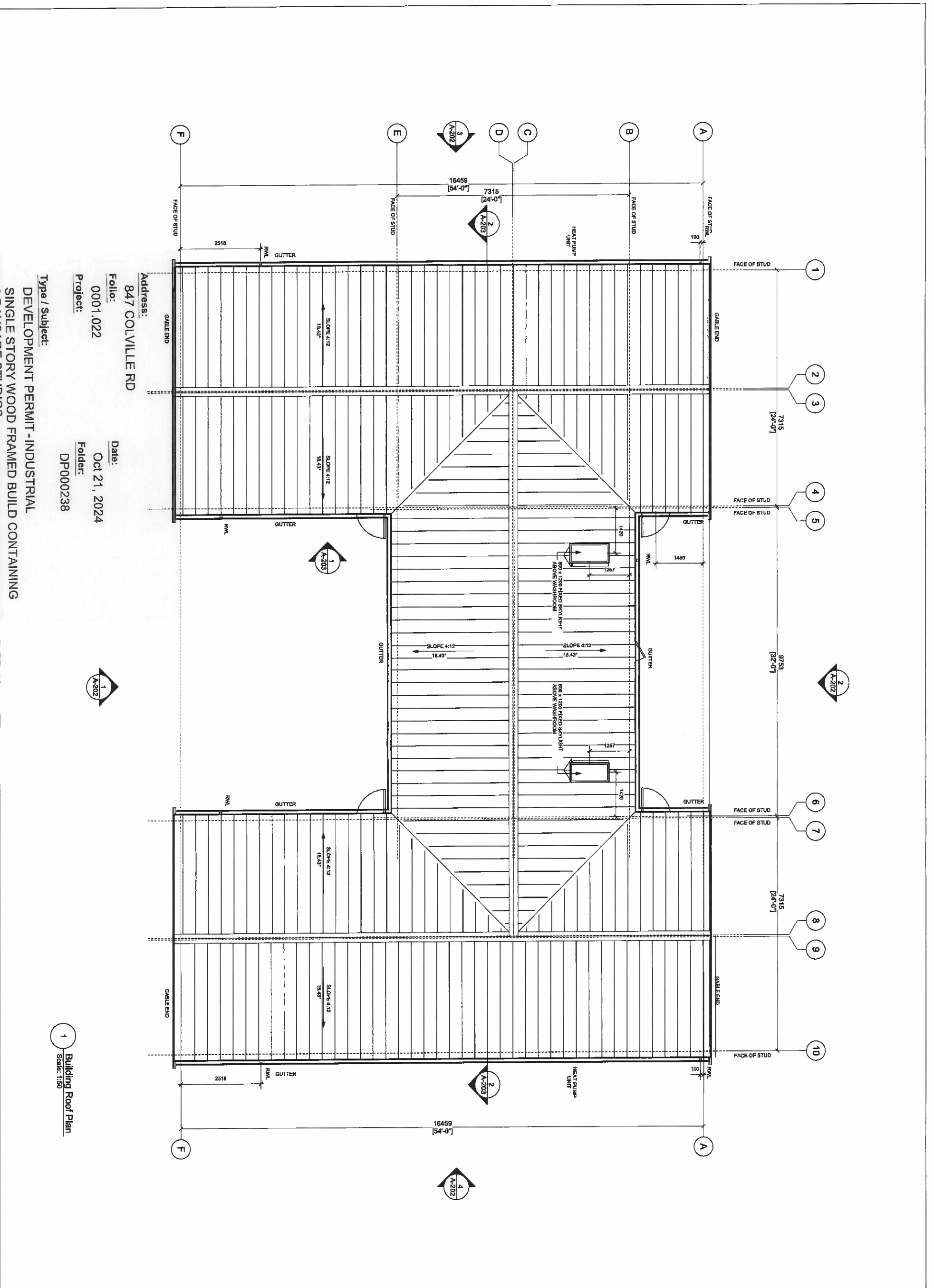
NOTE REFER TO 300 AND 400 SERIES DRAWINGS FOR BUILDING MATERIAL INFORMATION

1 Building Floor Plan
Scale: 1/32"

No.	Date	Appr.	Revision Notes
B	2024-09-19		Development Permit
A	2023-09-05		Building Permit
No.	Date		Issue Notes

IREDALE ARCHITECTURE
 Suite 202 - One Alexander Street
 Vancouver BC V6A 1B2
 T: 793-5551 F: 793-5555
 www.iredale.ca
 16 Bedford Square
 Victoria BC V8W 1H9
 T: 250-383-1818
 info@iredale.ca
 www.iredale.ca

Project Title:	ESQUIMALT SECONDARY SCHOOL NEW DAYCARE CENTRE
Overall Building Floor Plan	
Drawn By:	AI Model
Checked By:	
Project No.:	
Sheet No.:	A-200
Scale:	1/32"
Revision:	
Project File:	22904



Address: 847 COLVILLE RD

Folio: 0001.022

Project: DP000238

Date: Oct 21, 2024

Folder: DP000238

Type / Subject:
 DEVELOPMENT PERMIT - INDUSTRIAL
 SINGLE STORY WOOD FRAMED BUILD CONTAINING
 COTTAGE STRIPS

1 Building Roof Plan
 Scale: 1:50

No.	Date	Appr.	Revision Notes
B	2024-08-19		Development Permit
A	2023-09-03		Building Permit
No.	Date		Issue Notes

Suite 202 - One Alexander Street Vancouver BC V6A 1B2 T: 78-5581 F: 78-5585 architects@iredale.com www.iredale.com	
16 Belden Square Victoria BC V8V 1H9 T: 250-381-5592 www.iredale.com	

Project Title:	ESQUIMALT SECONDARY SCHOOL NEW DAYCARE CENTRE
Drawn Title:	Overall Building Roof Plan
Scale:	As Noted
Drawn By:	18-09-24
Checked By:	18-09-24
Approved By:	18-09-24
Project No:	2304
Sheet No:	A-201

Address:
847 COLVILLE RD

Folio:
0001.022

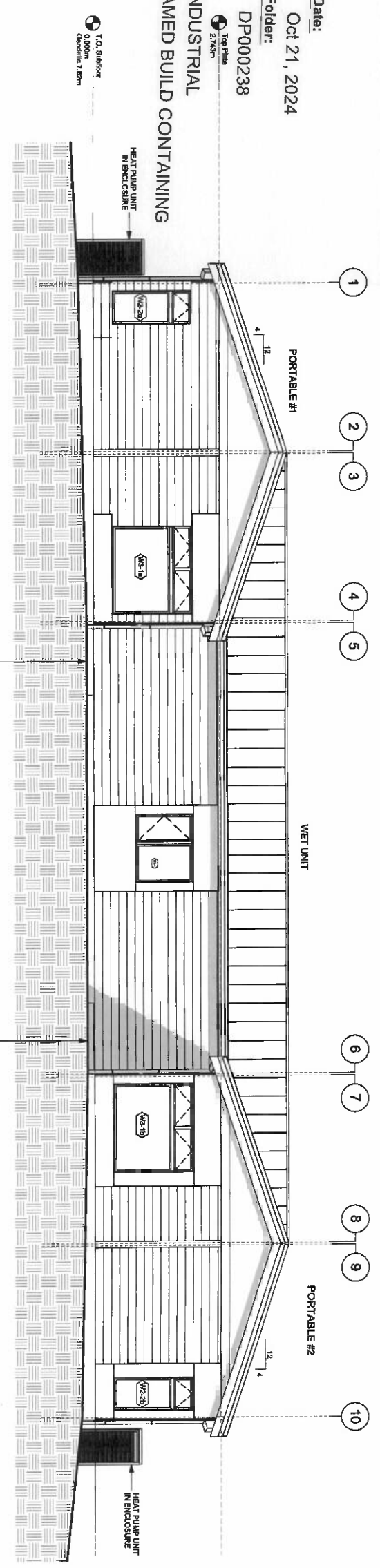
Project:
DP000238

Type / Subject:
DEVELOPMENT PERMIT - INDUSTRIAL

SINGLE STORY WOOD FRAMED BUILD CONTAINING
2 DAYCARE STUDIOS

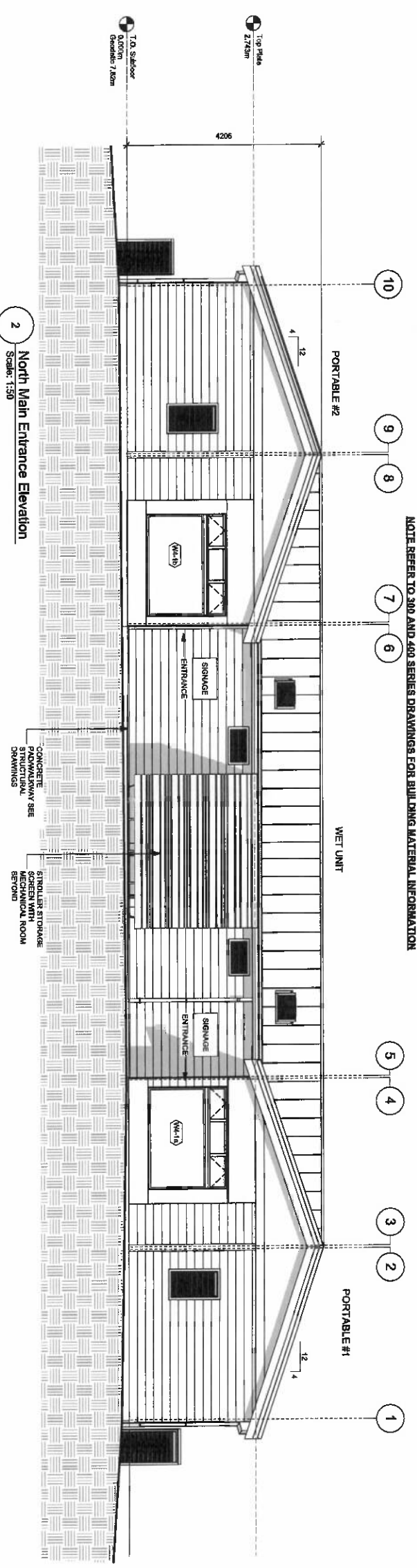
Date:
Oct 21, 2024

Folder:
DP000238



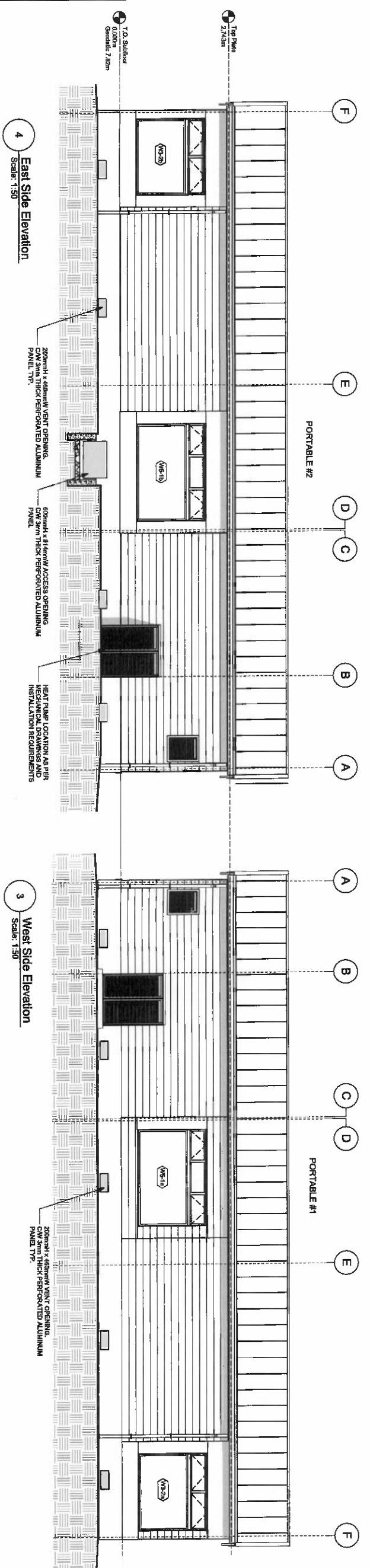
1 South Playground Area Elevation
Scale: 1:50

NOTE REFER TO 300 AND 400 SERIES DRAWINGS FOR BUILDING MATERIAL INFORMATION



2 North Main Entrance Elevation
Scale: 1:50

CONCRETE LANDING PAD
CONCRETE LANDING PAD



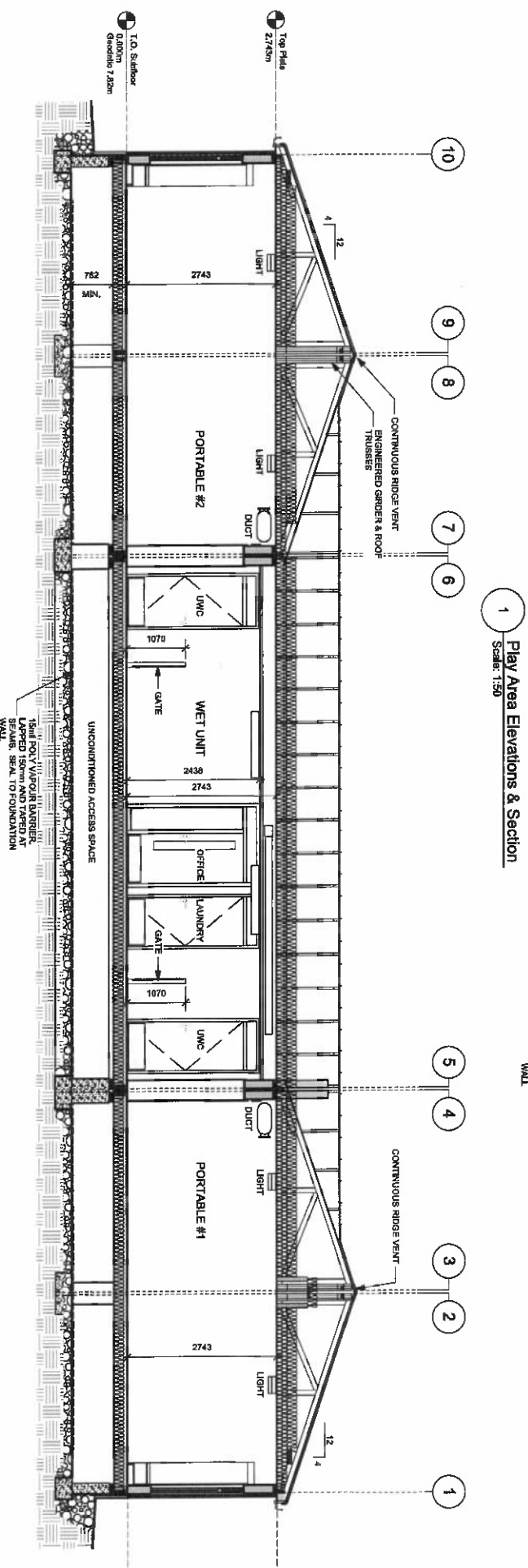
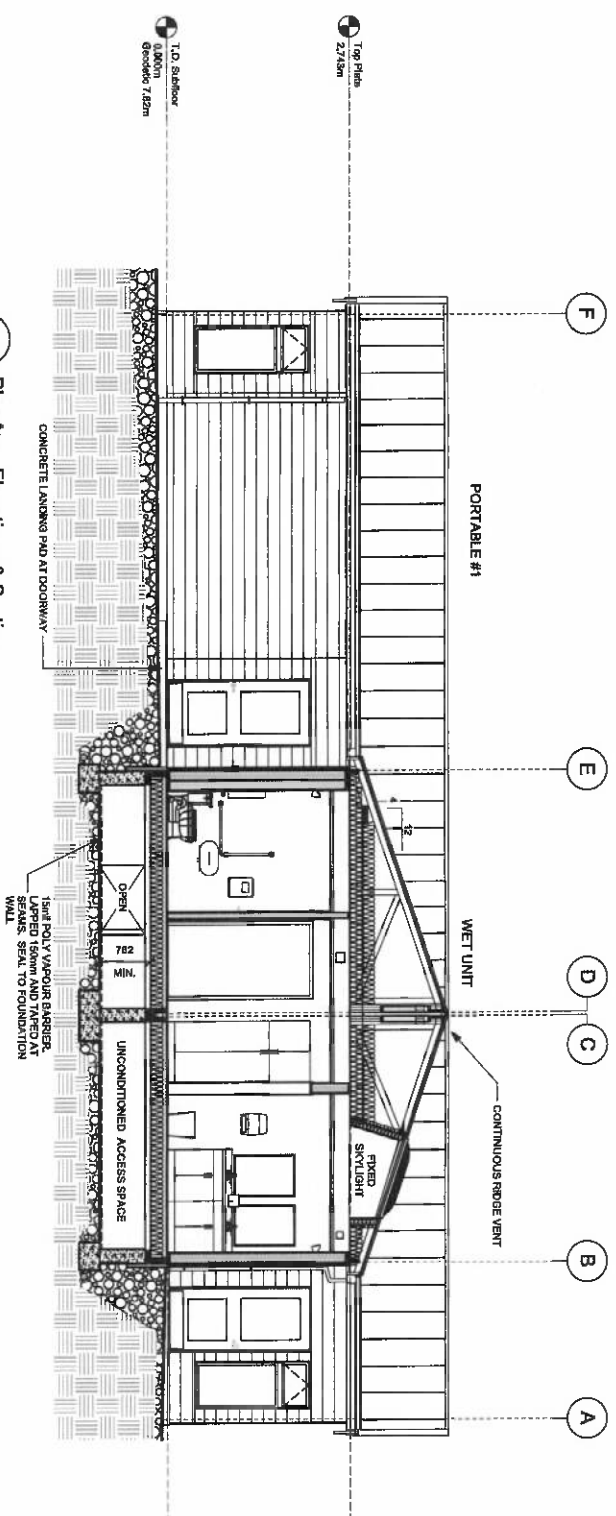
4 East Side Elevation
Scale: 1:50

3 West Side Elevation
Scale: 1:50

No.	Date	Appr.	Revision Notes
B	2024-08-18		Development Permit
A	2024-03-05		Building Permit
No.	Date	Issue Number	

<p>15 Bardsley Square Victoria BC V8W 1H8 2 architect@iredale.ca www.iredale.ca</p>	<p>Studio 202 - One Alexander Street Vancouver BC V6A 1B2 T: 778-5581 F: 778-5585 www.iredale.ca</p>
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<p>Project Title: ESQUIMALT SECONDARY SCHOOL NEW DAYCARE CENTRE</p>	<p>Overall Building Elevations</p>
<p>Client: 18-09-24</p>	<p>Scale: As Noted</p>
<p>Drawn By: TK</p>	<p>Checked By: TK</p>
<p>Project No: 22554</p>	<p>Sheet No: A-202</p>



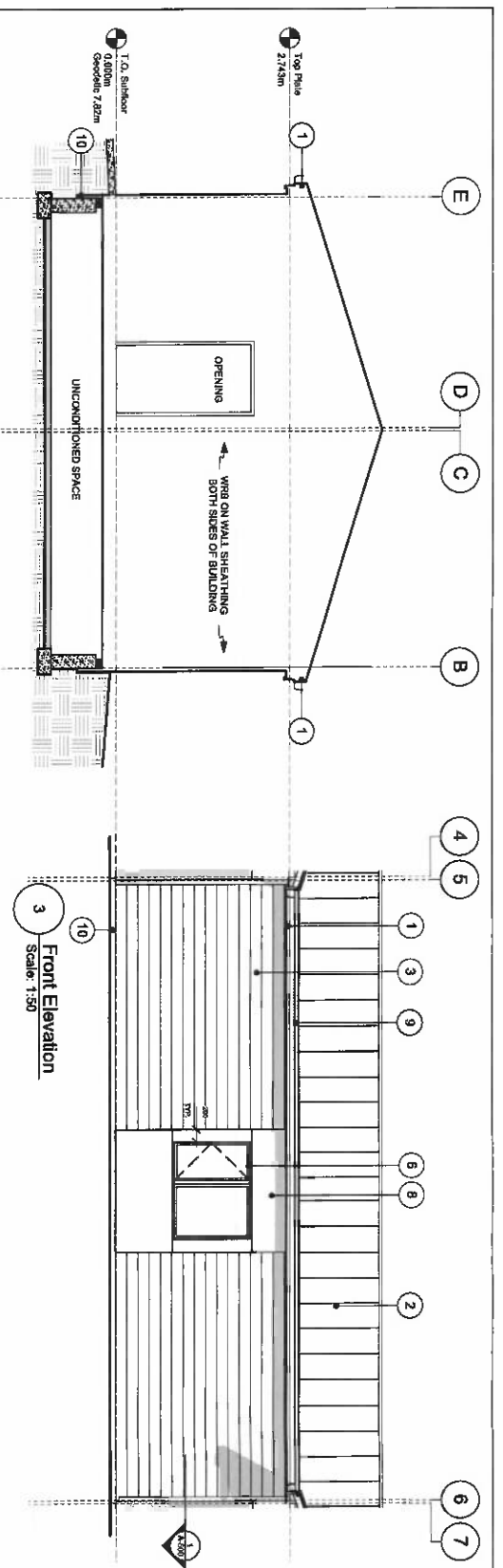
Address: 847 COLVILLE RD
Folio: 0001.022
Project: DP000238
Date: Oct 21, 2024
Folder: DP000238
Type / Subject: DEVELOPMENT PERMIT - INDUSTRIAL SINGLE STORY WOOD FRAMED BUILD CONTAINING 2 DAYCARE STUDIOS

No.	Date	Appr.	Revision Notes
B	2024-09-19		Development Permit
A	2023-09-05		Building Permit
No.	Date	Issue Notes	

IREDALE ARCHITECTURE Suite 202 - One Alexander Street Vancouver BC V6A 1B2 T: 78-5581 F: 78-5585 arch@iredale.com www.iredale.com	
16 Babbler Square Victoria BC V8W 4H9 T: 250-381-5532 info@iredale.com www.iredale.com	

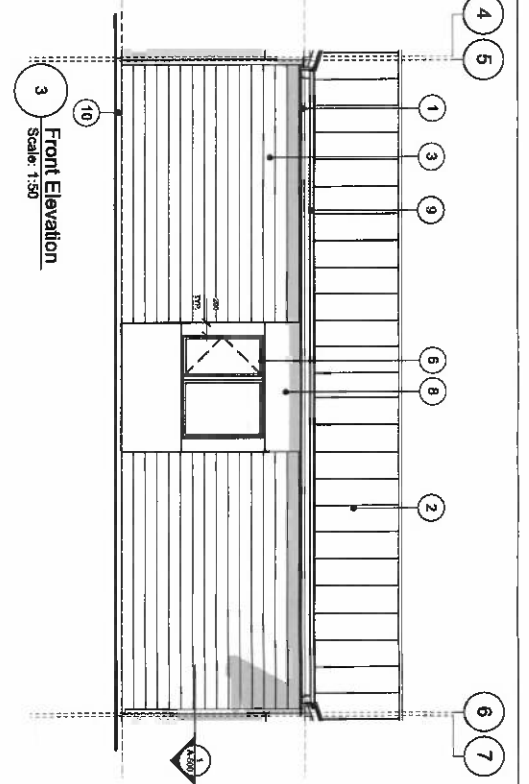
Project Title: ESQUIMALT SECONDARY SCHOOL NEW DAYCARE CENTRE
Overall Building Elevation Sections
Date: 18-Sep-24 Drawn by: AJ Minko
Project No: 2504

A-203

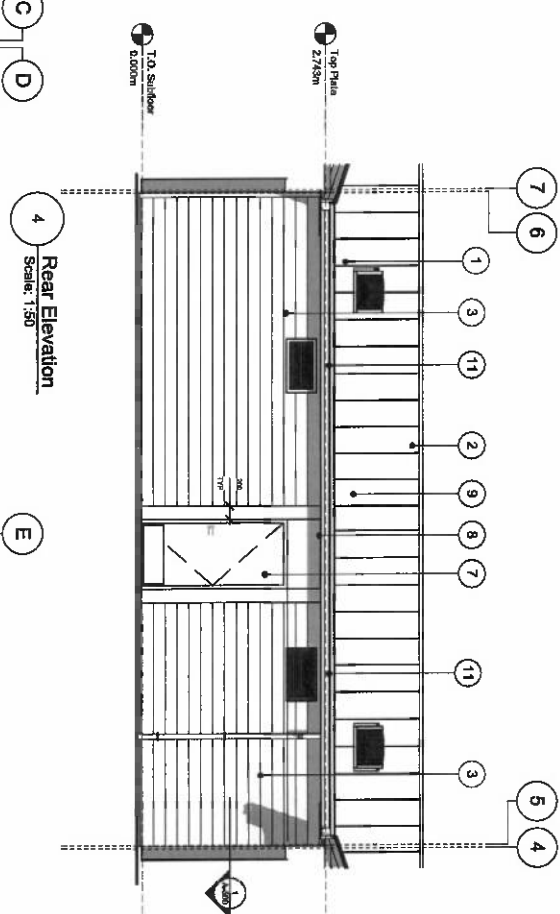


5 Typical Side Elevation
Scale: 1:50

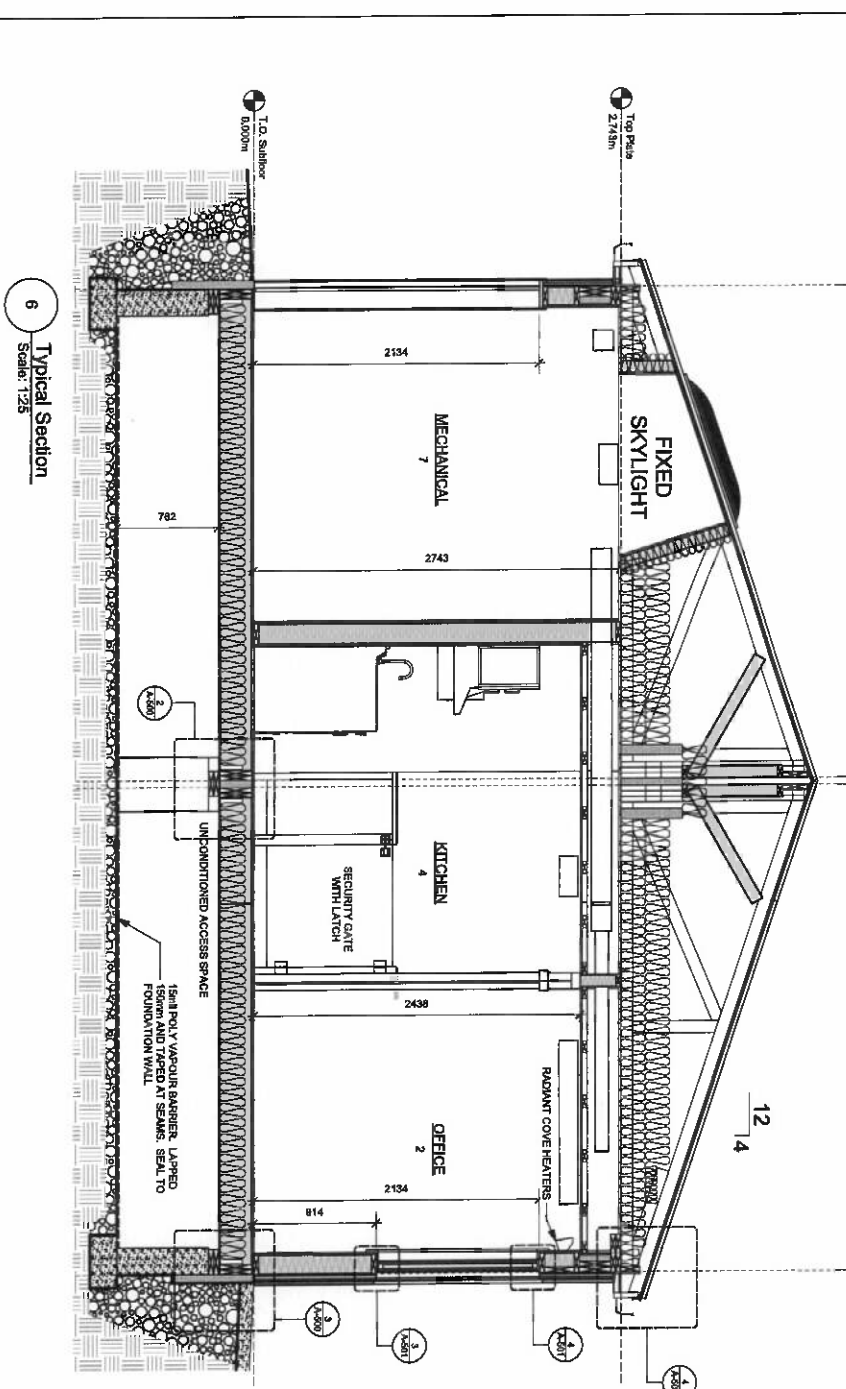
- EXTERIOR FINISHES**
- 1 Material
 - 2 COWBED LUMBER FASCIA PAINTED
 - 3 STANDING SEAM METAL ROOF
 - 4 FIBRE CEMENT HORIZONTAL SIDING
 - 5 COMBED LUMBER BELLY BRAND PAINTED CW THRU WALL FLASHING
 - 6 PERFORATED ALUMINUM RODENT PEST SCREEN
 - 7 VINYL NAIL FLANGE WINDOW CW HEAD FLASHING
 - 8 WELDED STEEL FRAME AND INSULATED DOORS CW HEAD FLASHING AND ALUMINUM SILL
 - 9 FIBRE CEMENT SHEETS
 - 10 PREFINISHED ALUMINUM GUTTERS
 - 11 CONCRETE FACED FOUNDATION PANEL
 - 12 MECHANICAL LOUVER
 - 13 FIBRE CEMENT SHEET WITH BATTENS



3 Front Elevation
Scale: 1:50

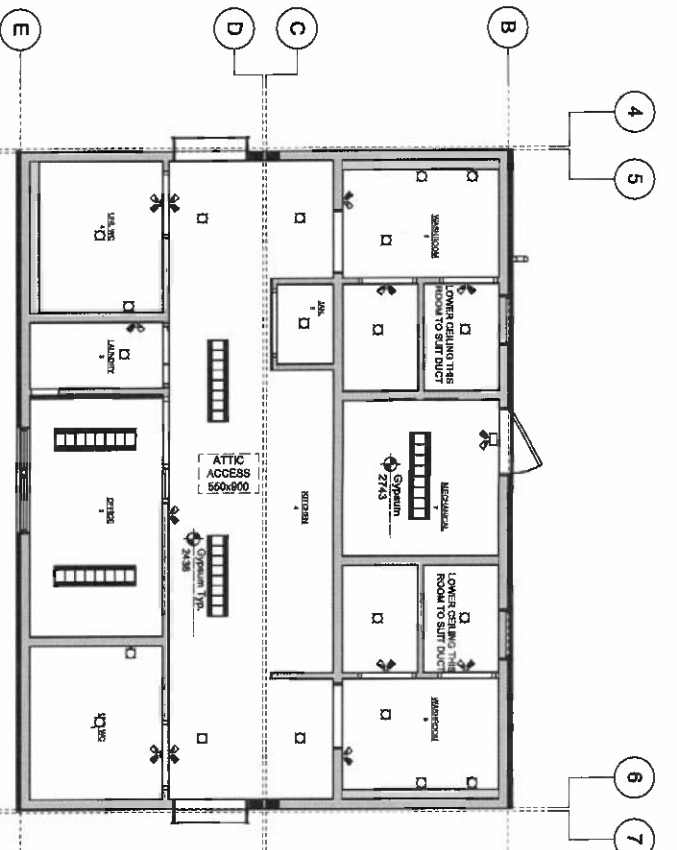


4 Rear Elevation
Scale: 1:50



6 Typical Section
Scale: 1:25

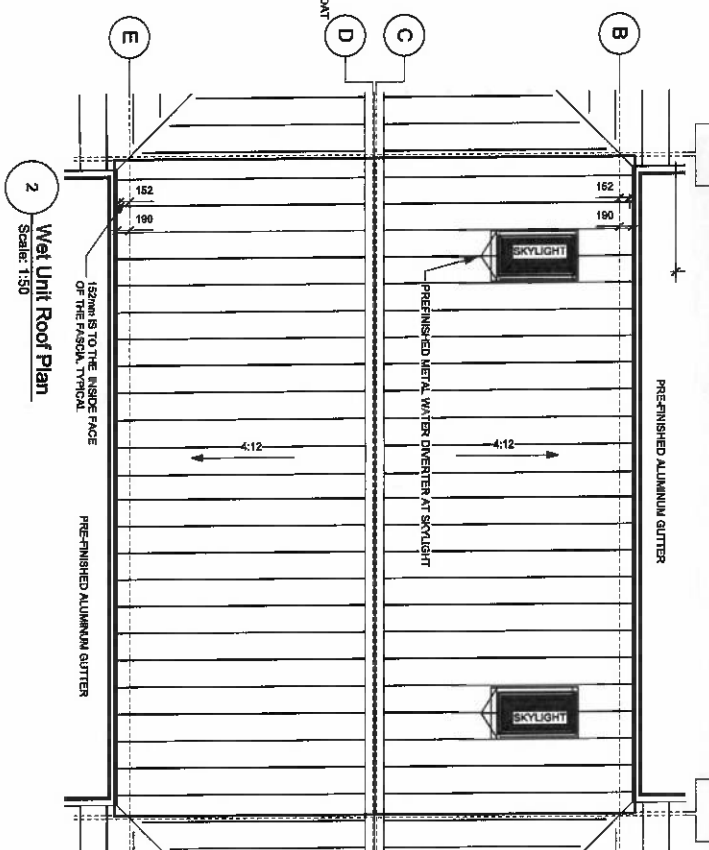
- WALL LEGEND**
- W1a EXTERIOR WALL**
FIBRE CEMENT L.P. SIKING OR HARDY SHEET PER ELEVATION FROM VERTICAL F.1, STRAPPING JOIST/FRONT DABBER FROM EXTERIOR FLYWOOD SHEATHING
3mm 4mm WOOD STUDS @400mm O.C. CW
RSI 1.2 (R20) BATT INSULATION IN CAVITIES FROM TYPE 'X' GWS
- P1 INTERIOR PARTITION WALL**
3mm 4mm WOOD STUDS @400mm O.C. CW
ACOUSTIC BATT INSULATION IN CAVITIES FROM TYPE 'X' GWS
- P2 INTERIOR PARTITION WALL**
15mm TYPE 'X' GWS
3mm 4mm WOOD STUDS @400mm O.C. CW
ACOUSTIC BATT INSULATION FROM TYPE 'X' GWS
- FLOOR LEGEND**
- F1 FLOOR**
MASONRY LUMBER, SHEET FLOORING OR APPROVED ALTERNATE FROM TYPE 'X' GWS
15mm WOOD SHEATHING
3mm 4mm WOOD STUDS @400mm O.C. CW
RSI 1.2 (R20) BATT INSULATION IN CAVITIES FROM EXTERIOR GRADE FLYWOOD SHEATHING WITH PAINTED UNDERCOAT
- ROOF LEGEND**
- R1 ROOF/CEILING**
STANDING SEAM METAL ROOF
WELDED STEEL FRAME AND INSULATED DOORS (PER PLAN)
P1 RSI 1.2 (R20) BATT INSULATION IN CAVITIES FROM EXTERIOR GRADE FLYWOOD SHEATHING WITH PAINTED UNDERCOAT
POLYURETHANE INSULATION
POLYURETHANE INSULATION
POLYURETHANE INSULATION
15mm TYPE 'X' GWS



NOTE:
COORDINATE ATTIC ACCESS LOCATION ON SITE WITH DUCTING

Wet Unit Floor RCP
Address: 847 COLVILLE RD
Folio: 0001.022
Project: DP000238
Date: Oct 21, 2024

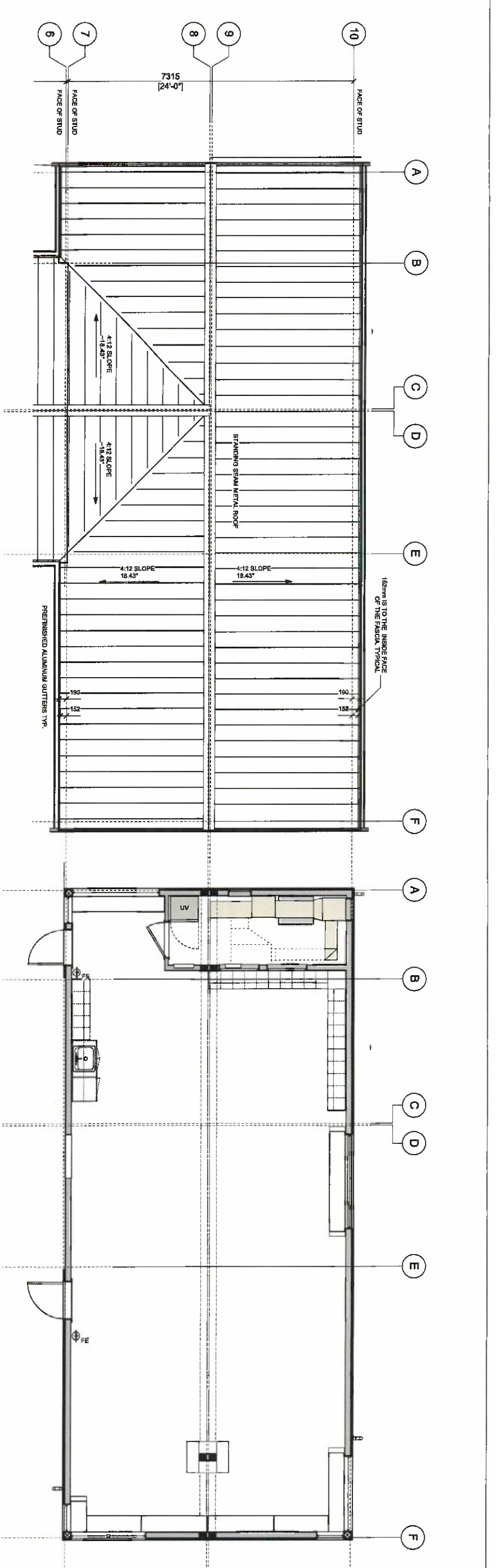
Type / Subject:
DEVELOPMENT PERMIT - INDUSTRIAL
SINGLE STORY WOOD FRAMED BUILD CONTAINING 2 DAYCARE STUDIOS



2 Wet Unit Roof Plan
Scale: 1:50

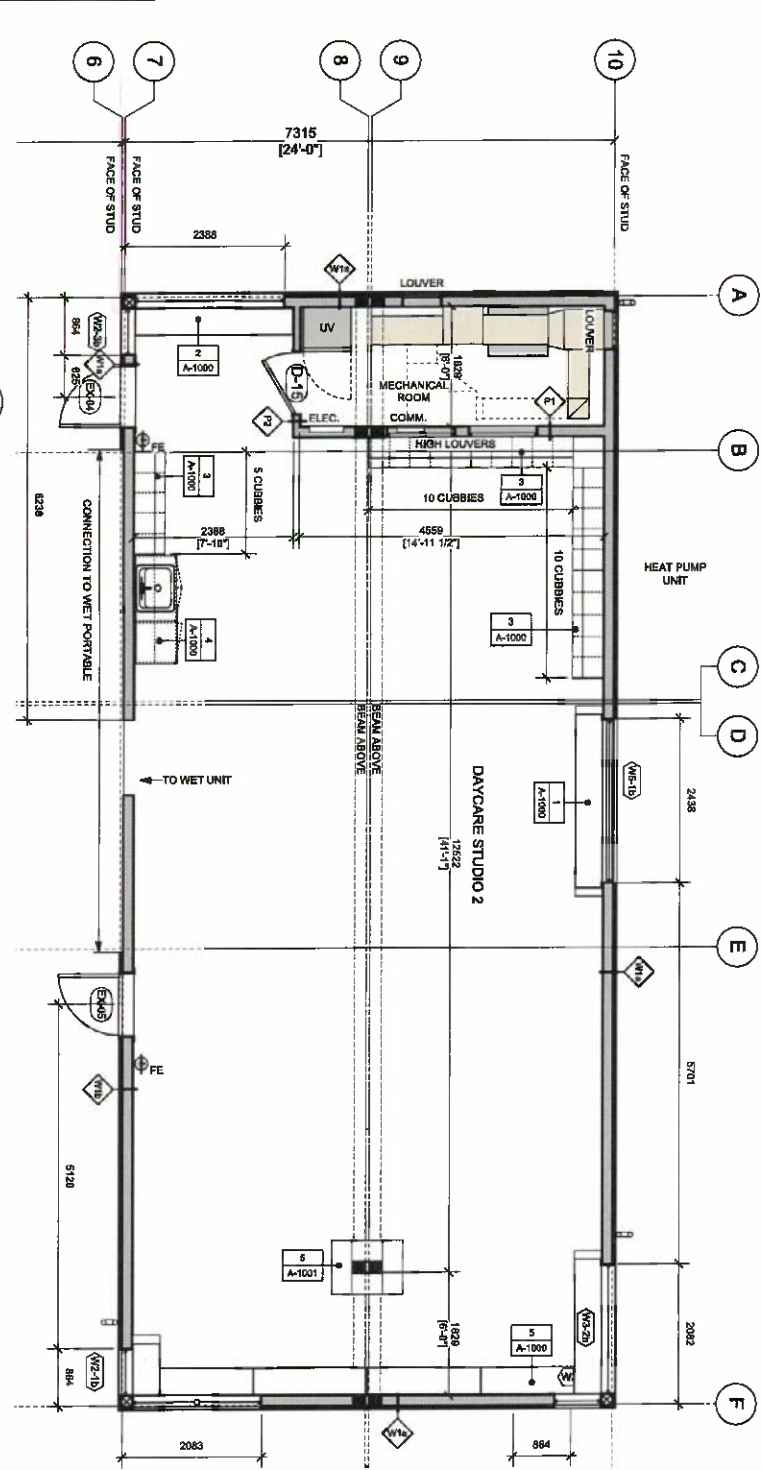
No.	Date	Appr	Revision Notes
B	2024-08-19	Development Permit	
A	2023-09-05	Building Permit	
No.	Date	Issue Notes	

<p>IREDALE ARCHITECTURE</p> <p>Sally 202 - One Alexander Street Vancouver BC V6A 1B2 T : 738-6581 F 738-5585 arch@iredale.ca www.iredale.ca</p> <p>15 Bannock Square Victoria BC V8W 1H8 T : 250 - 381 - 5552 arch@iredale.ca www.iredale.ca</p>	<p>Project No: 2204</p> <p>Project Name: ESQUIMALT SECONDARY SCHOOL NEW DAYCARE CENTRE</p> <p>Project Title: Wet Portable Elements, Section, Roof Plan & RCP</p> <p>Scale: 1:50</p> <p>Author: [Name]</p> <p>Checker: [Name]</p> <p>Project ID: 2204</p>
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3 Portable #2 Roof Plan
Scale: 1/50

2 Portable #2 RCPC
Scale: 1/50



1 Portable #2 Plan
Scale: 1/50

WALL LEGEND

W1 EXTERIOR WALL
FIBRE CEMENT LAP SIDING OR HARDIE SHEET PER DIVISION 1 FROM VERTICAL, P-1 STRAPPING
5/8" X 1/2" WEATHER RESISTANT BARRIER
3/4" X 1/2" WEATHER RESISTANT BARRIER
3/4" X 1/2" WEATHER RESISTANT BARRIER
R5 (3.5 (R5)) BATT INSULATION IN CAVITIES
POLY VAPOUR BARRIER
FROM TYPE 'X' GMB

P1 INTERIOR PARTITION WALL
3/8" X 1/2" WEATHER RESISTANT BARRIER
3/4" X 1/2" WEATHER RESISTANT BARRIER
3/4" X 1/2" WEATHER RESISTANT BARRIER
R5 (3.5 (R5)) BATT INSULATION IN CAVITIES
FROM TYPE 'X' GMB

W2 SKIRTING WALL
FIBRE CEMENT LAP SIDING
3/8" X 1/2" WEATHER RESISTANT BARRIER
3/4" X 1/2" WEATHER RESISTANT BARRIER
3/4" X 1/2" WEATHER RESISTANT BARRIER
R5 (3.5 (R5)) BATT INSULATION IN CAVITIES
POLY VAPOUR BARRIER
FROM TYPE 'X' GMB

P2 INTERIOR PARTITION WALL
3/8" X 1/2" WEATHER RESISTANT BARRIER
3/4" X 1/2" WEATHER RESISTANT BARRIER
3/4" X 1/2" WEATHER RESISTANT BARRIER
R5 (3.5 (R5)) BATT INSULATION IN CAVITIES
FROM TYPE 'X' GMB

W3 EXTERIOR WALL
3/8" X 1/2" WEATHER RESISTANT BARRIER
3/4" X 1/2" WEATHER RESISTANT BARRIER
3/4" X 1/2" WEATHER RESISTANT BARRIER
R5 (3.5 (R5)) BATT INSULATION IN CAVITIES
POLY VAPOUR BARRIER
FROM TYPE 'X' GMB

P3 INTERIOR PARTITION WALL
3/8" X 1/2" WEATHER RESISTANT BARRIER
3/4" X 1/2" WEATHER RESISTANT BARRIER
3/4" X 1/2" WEATHER RESISTANT BARRIER
R5 (3.5 (R5)) BATT INSULATION IN CAVITIES
FROM TYPE 'X' GMB

FLOOR LEGEND

F1 FLOOR
MASONRY TILE, TEAL SHEET FLOORING OR APPROVED ALTERNATIVE
FROM UNDERLAY
3/4" X 1/2" WEATHER RESISTANT BARRIER
3/4" X 1/2" WEATHER RESISTANT BARRIER
R5 (3.5 (R5)) BATT INSULATION IN CAVITIES
3/4" X 1/2" WEATHER RESISTANT BARRIER
FROM EXTERIOR GRADE FLYWOOD SHEATHING WITH PAINTED UNDERCOAT

ROOF LEGEND

R1 ROOF/CEILING
STANDING SEAM METAL ROOF
WEATHER PROOF UNDERLAYMENT
R5 (3.5 (R5)) BATT INSULATION
R5 (3.5 (R5)) BATT INSULATION
ROOF RAFTER PER STRUCTURAL
R5 (3.5 (R5)) BATT INSULATION
FROM TYPE 'X' GMB

Address:
847 COLVILLE RD

Folio:
0001.022

Project:
DP000238

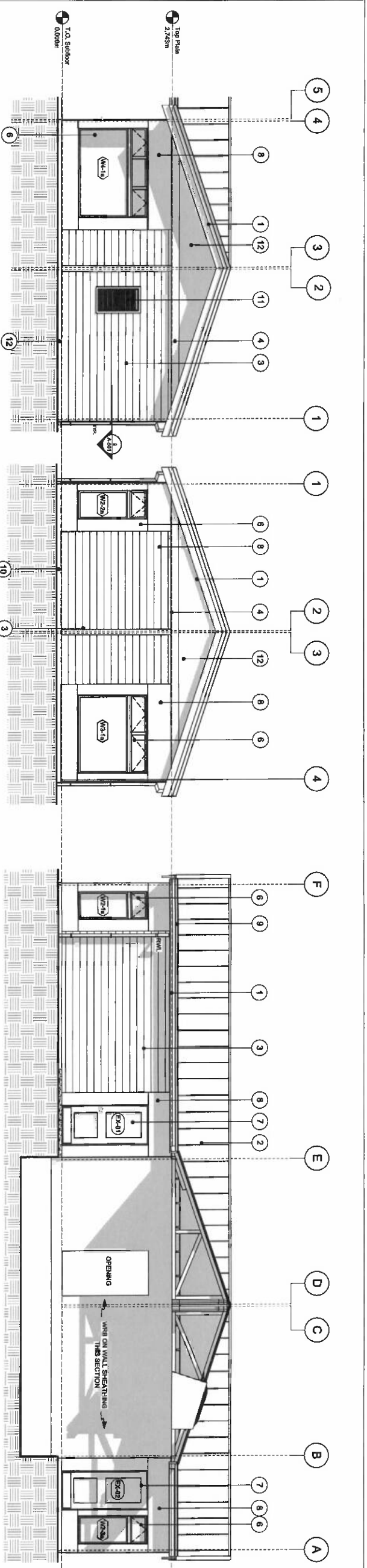
Date:
Oct 21, 2024

Type / Subject:
DEVELOPMENT PERMIT - INDUSTRIAL
SINGLE STORY WOOD FRAMED BUILD CONTAINING
2 DAYCARE STUDIOS

No.	Date	Appr	Revision Notes
B	2024-09-18		Development Permit
A	2023-09-05		Building Permit
			Issue Notes

IREDALE ARCHITECTURE
16 Gordon Street
Vancouver BC V6A 1K2
T: 250-381-5682
iredale@iredale.ca
www.iredale.ca

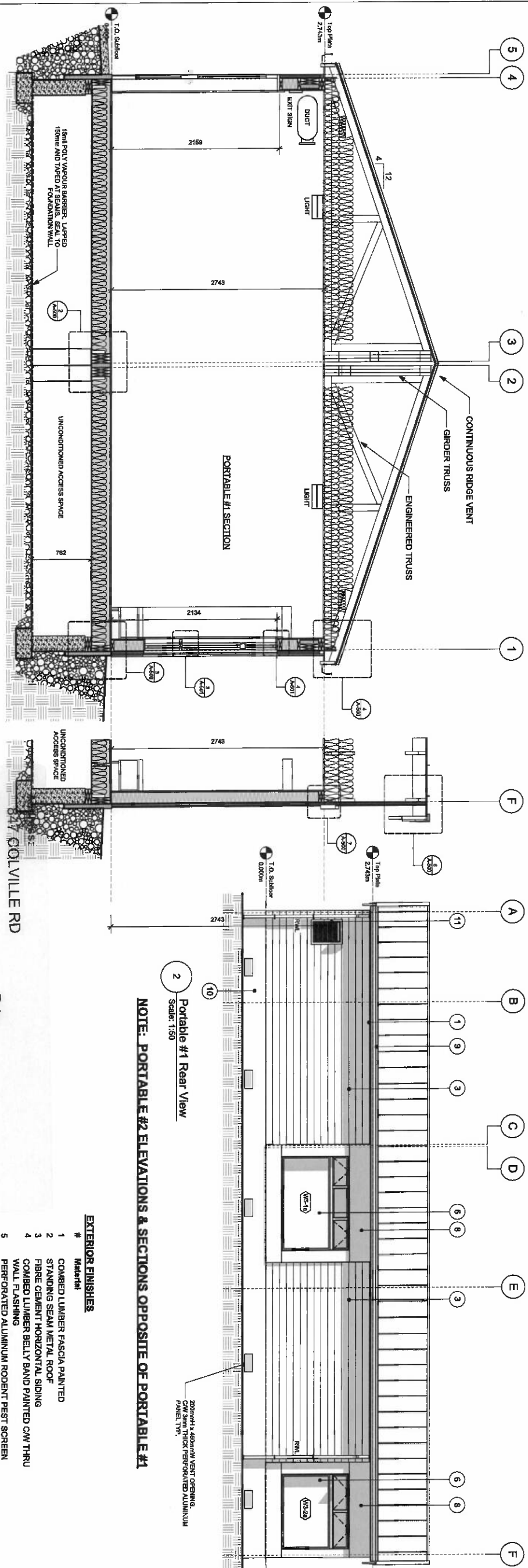
Project Name:	ESQUIMALT SECONDARY SCHOOL NEW DAYCARE CENTRE
Project No.:	DP000238
Client:	AA HUBB
Scale:	1/50
Author:	AA HUBB
Checker:	AA HUBB
Project ID:	2304
Revision:	A-401



4 Portable #1 Side View 2
Scale: 1:50

3 Portable #1 Side View 1
Scale: 1:50

1 Portable #1 Front View
Scale: 1:50



5 Typical Section
Scale: 1:25

2 Portable #1 Rear View
Scale: 1:50

NOTE: PORTABLE #2 ELEVATIONS & SECTIONS OPPOSITE OF PORTABLE #1

Folio: 0001.022
Project: 0001.022
Type / Subject: DEVELOPMENT PERMIT - INDUSTRIAL SINGLE STORY WOOD FRAMED BUILD CONTAINING 2 DAYCARE STUDIOS
Date: Oct 21, 2024
Folder: DP000238

- EXTERIOR FINISHES**
- | # | Material |
|----|---|
| 1 | COMBED LUMBER FASCIA PAINTED |
| 2 | STANDING SEAM METAL ROOF |
| 3 | FIBRE CEMENT HORIZONTAL SIDING |
| 4 | COMBED LUMBER BELLY BAND PAINTED CW THRU WALL FLASHING |
| 5 | PERFORATED ALUMINUM RODENT PEST SCREEN VINYL WALL FLANGE WINDOW CW HEAD FLASHING WELOD STEEL FRAME AND INSULATED DOORS CW HEAD FLASHING AND ALUMINUM SILL |
| 8 | FIBRE CEMENT SHEETS |
| 9 | PERFINISHED ALUMINUM GUTTERS |
| 10 | CONCRETE FACED FOUNDATION PANEL |
| 11 | MECHANICAL LOUVER |
| 12 | FIBRE CEMENT SHEET WITH BATTENS |

No.	Date	Appr.	Revision Notes
B	2024-08-19		Development Permit
A	2023-08-05		Building Permit
No.	Date		Issue Notes

16 Bardon Square
Vancouver BC V6A 1B2
T: 735-5581 F: 735-5585
arch@iredale.ca
www.iredale.ca

16 Bardon Square
Vancouver BC V6A 1B2
T: 250-381-5582
arch@iredale.ca
www.iredale.ca

ESQUIMALT
SECONDARY SCHOOL
NEW DAYCARE CENTRE

Portable #1 Elevations & Section

15-SEP-24
15X
225X4

A-402

Address: 847 COLVILLE RD

Folio: 0001.022

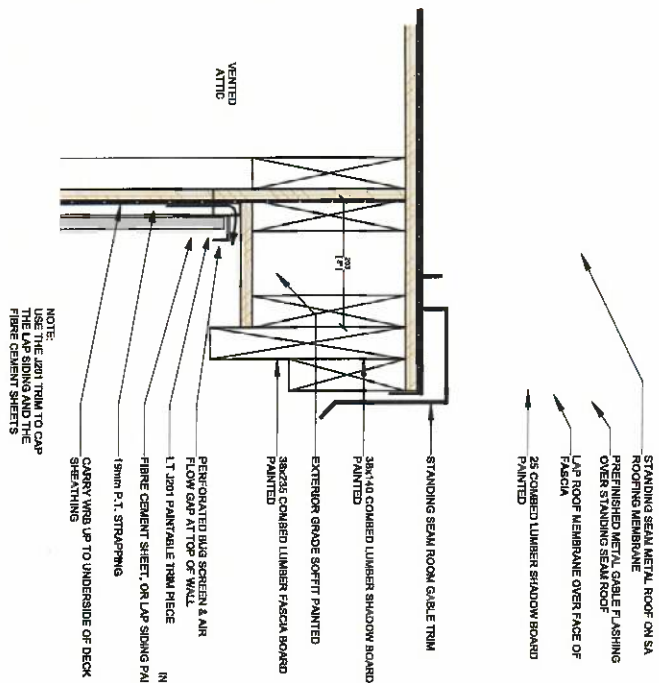
Project: DP000238

Date: Oct 21, 2024

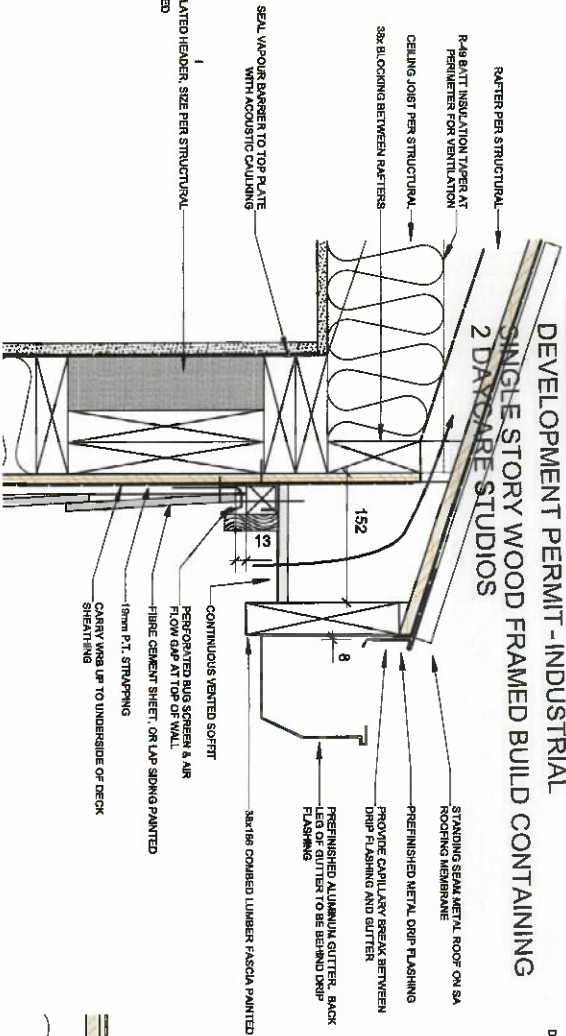
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Type / Subject: DEVELOPMENT PERMIT - INDUSTRIAL

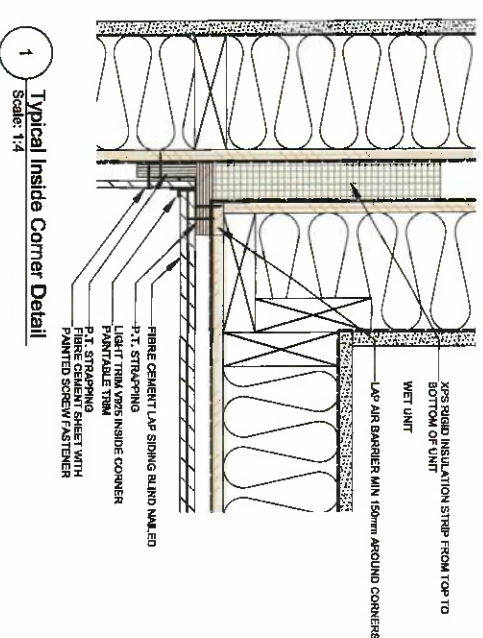
SINGLE STORY WOOD FRAMED BUILD CONTAINING 2 DAYCARE STUDIOS



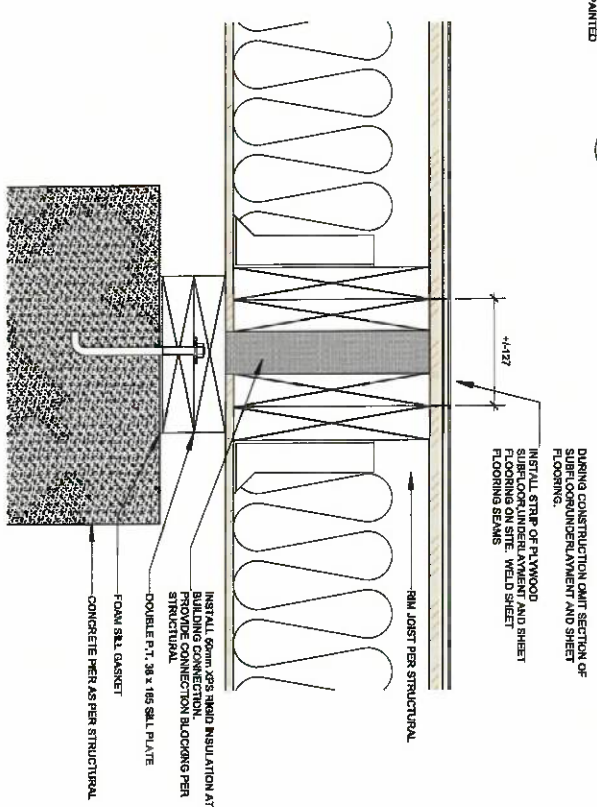
6 Gable End Soffit Detail Scale: 1:4



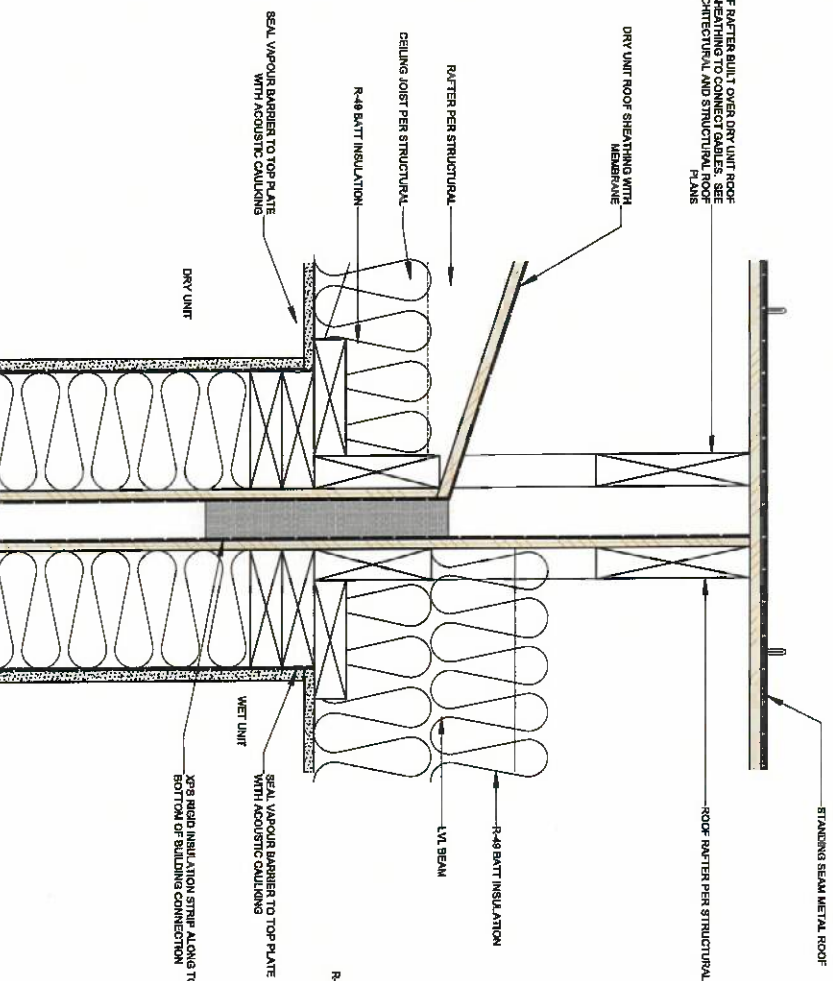
4 Top Of Wall @ Soffit Scale: 1:4



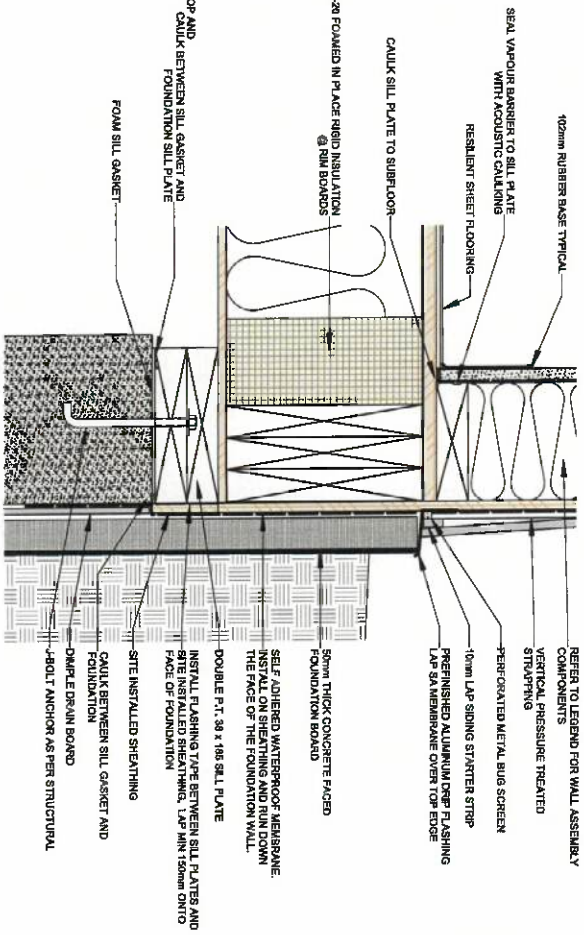
1 Typical Inside Corner Detail Scale: 1:4



2 Building Connection @ Floor Scale: 1:4



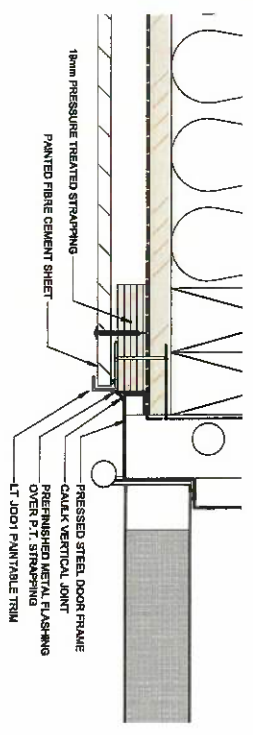
5 Roof Connection @ Dry Portable To Wet Portable Scale: 1:4



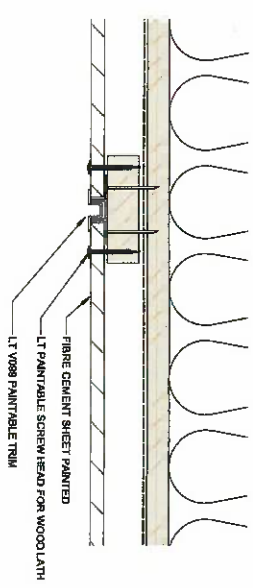
3 Typical Base Of Wall @ Foundation Scale: 1:4

No.	Date	Appr	Revision Notes
B	2024-09-19	Development Permit	
A	2023-09-05	Building Permit	
No.	Date	Issue Notes	

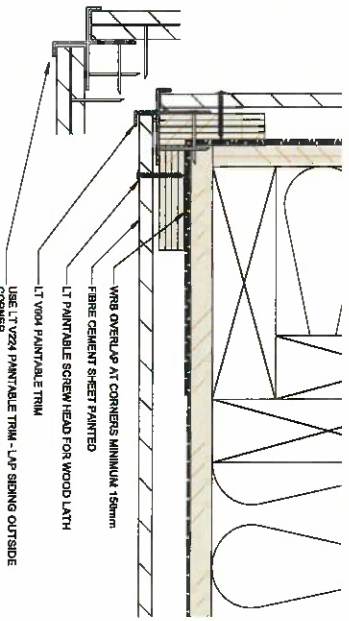
<p>18 Garden Square Victoria BC V8W 1H9 T : 250-381-5582 architect@iredale.ca www.iredale.ca</p>		<p>Scale: 202 - Ona Alexander Street Victoria BC V8M 1B2 T : 736-6581 F : 736-6585 architect@iredale.ca www.iredale.ca</p>	
<p>Project Title: ESQUIMALT SECONDARY SCHOOL NEW DAYCARE CENTRE</p>			
<p>Plan & Section Details</p>			
Drawn By: Mike Verbeek	Checked By: Mike Verbeek	Scale: 1:4	Sheet No: A-500



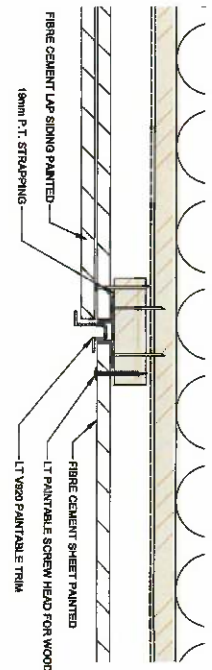
10 Fibre Cement Sheet To Door Jamb Vertical Joint
Scale: Half Actual Size



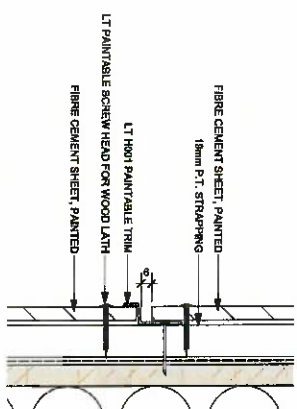
6 Fibre Cement Sheet To Fibre Cement Sheet Vertical Joint
Scale: Half Actual Size



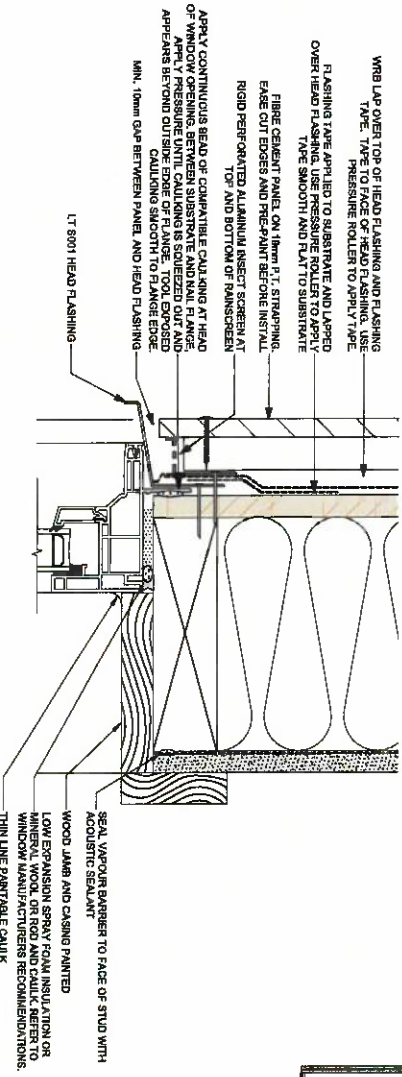
9 Outside Corner Detail
Scale: Half Actual Size



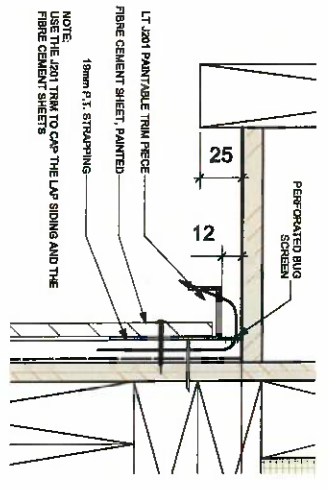
5 Fibre Cement Sheet To Lap Siding Vertical Joint
Scale: Half Actual Size



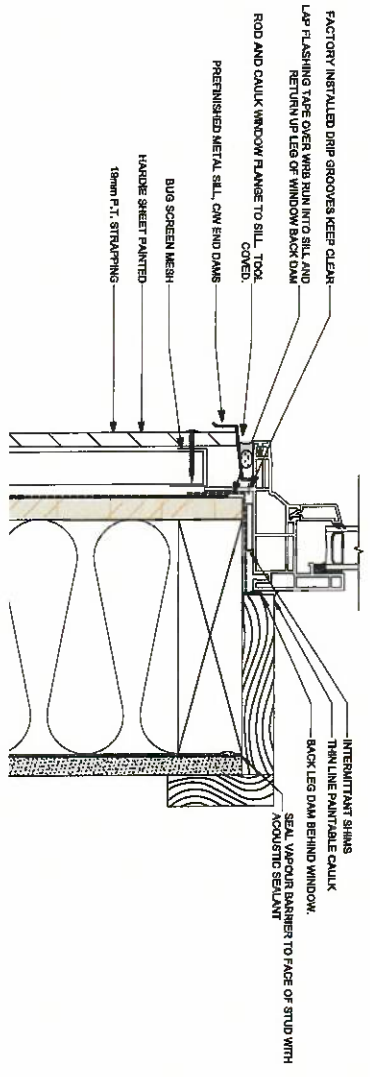
8 Fibre Cement Sheet Horizontal Joint
Scale: Half Actual Size



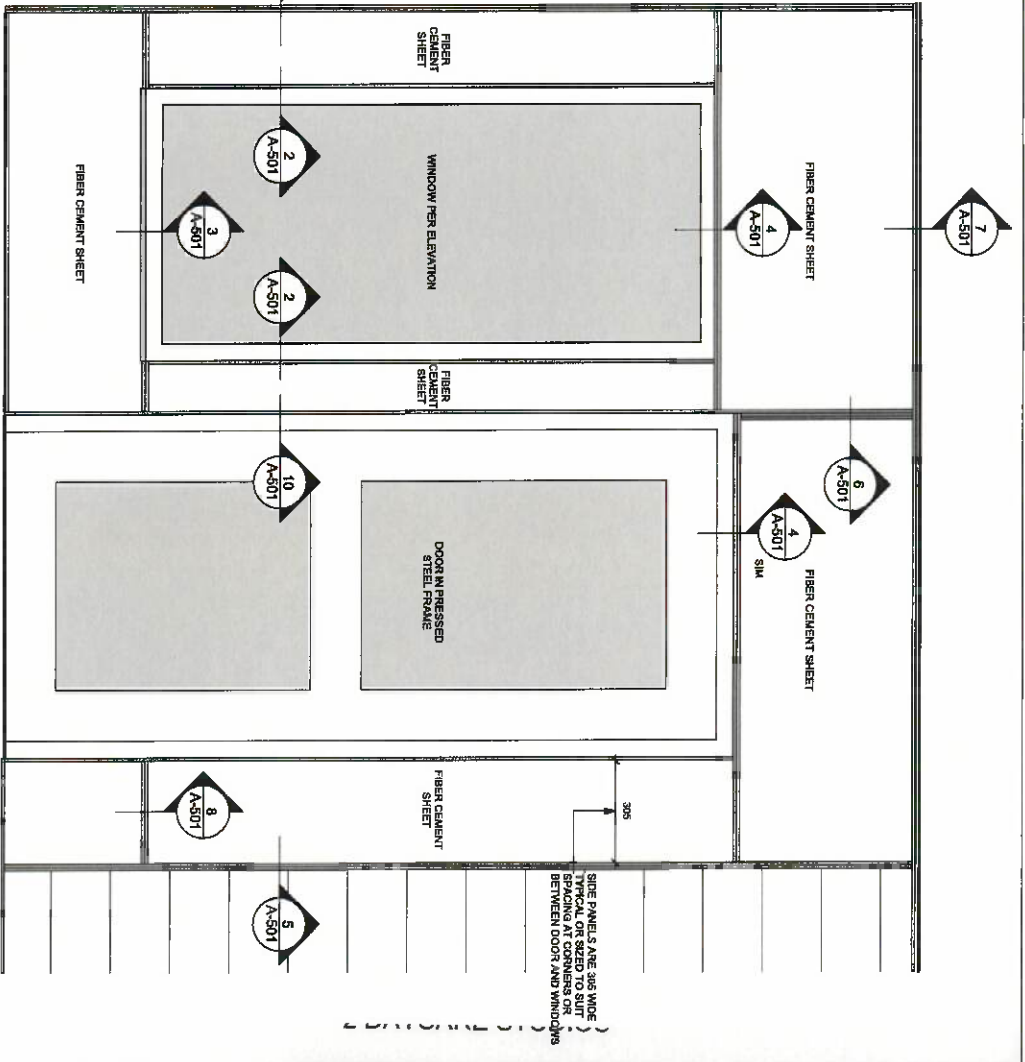
4 Window Head Detail
Scale: Half Actual Size



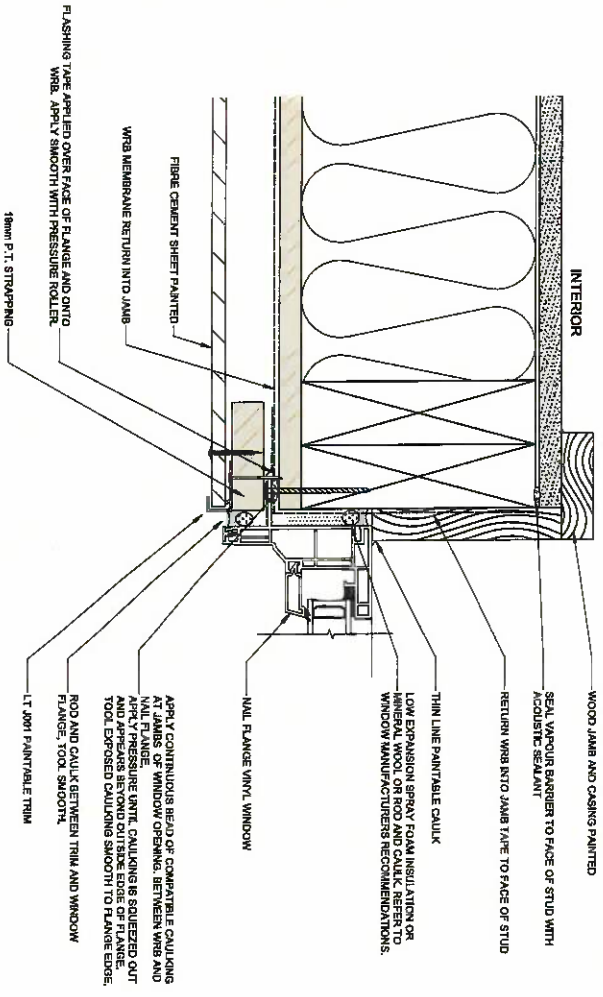
7 Venting At Top Of Wall
Scale: Half Actual Size



3 Window Sill Detail
Scale: Half Actual Size

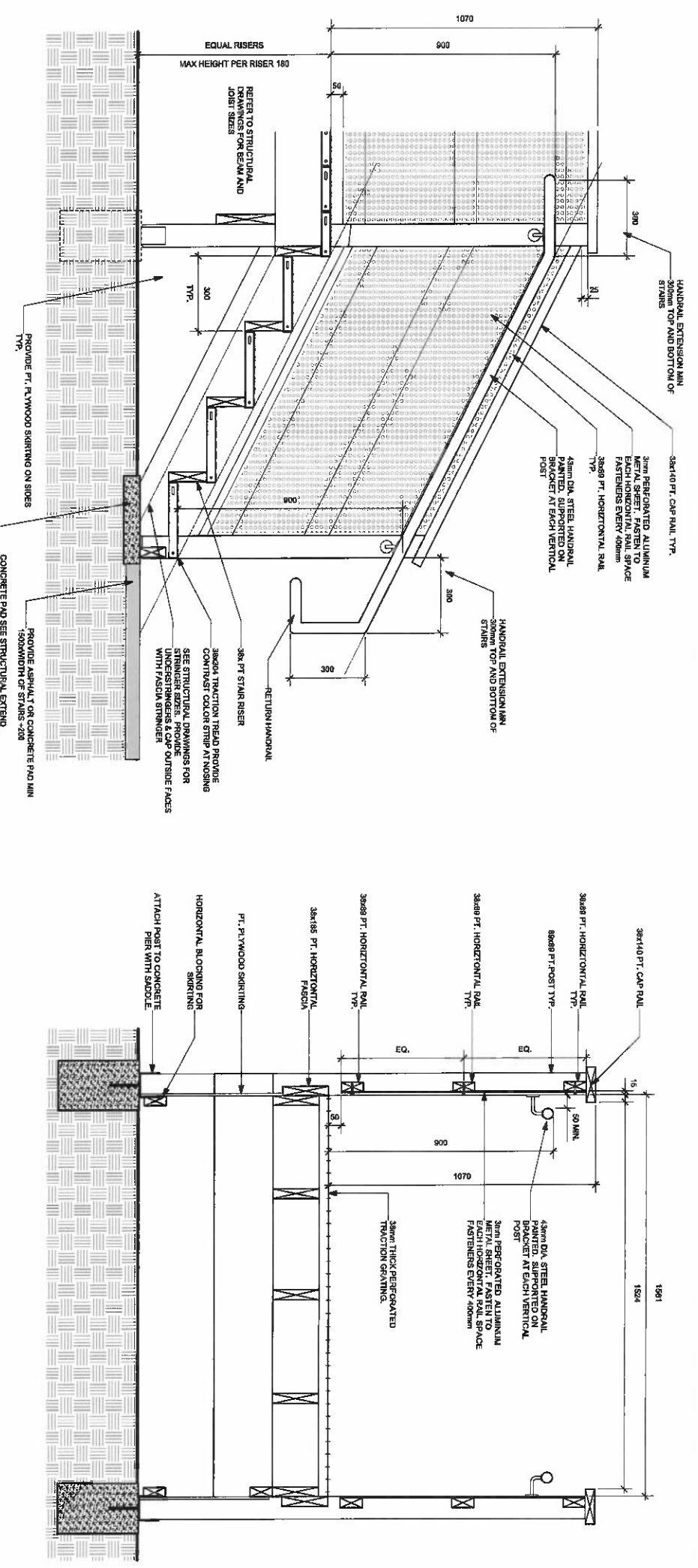


1 Window & Door Detail Key
Scale: 1:10



2 Window Jamb Detail
Scale: Half Actual Size

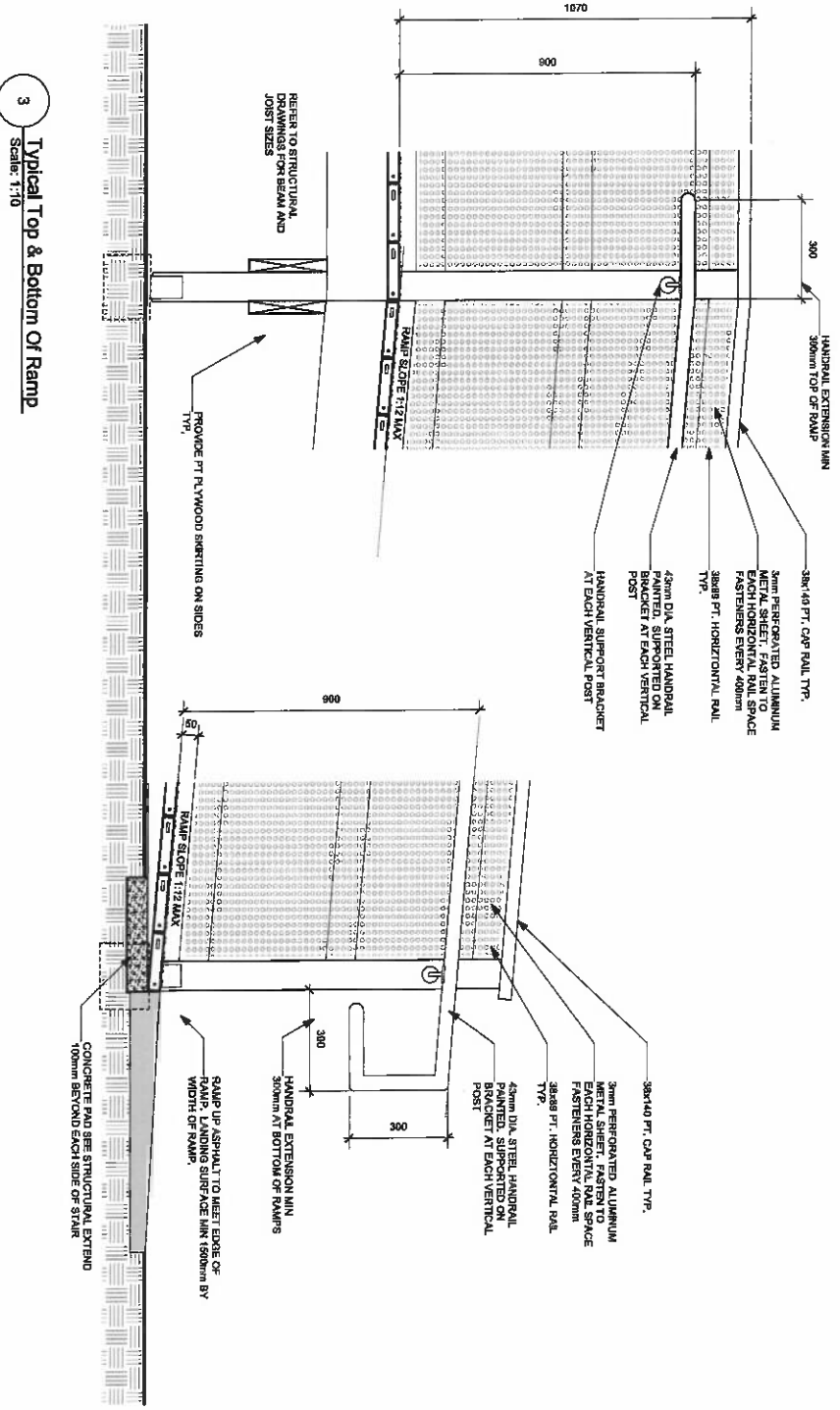
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Folio:		0001.022	
Project:		2024-09-18 Development Permit A 2023-49-05 Building Permit	
Type / Subject:		DEVELOPMENT PERMIT-INDUSTRIAL SINGLE STORY WOOD FRAMED BUILD CONTAINING 2 DAYCARE STUDIOS	
Date:		Oct 21, 2024	
Folder:		DP000238	
<p>16 Dundas Square Vancouver BC V6W 1H9 T: 250-381-5532 architect@iredale.ca www.iredale.ca</p> <p>Scale: 202 - One Alexander Street T: 778-6591 F: 778-2585 architect@iredale.ca www.iredale.ca</p>			
<p>Project No: ESQUIMAT SECONDARY SCHOOL NEW DAYCARE CENTRE</p> <p>Client: Cladding Details</p> <p>Architect: IREDALE ARCHITECTURE</p> <p>Scale: A-501</p>			



2 Typical Stair Section
Scale: 1:10

1 Typical Stair & Ramp Landing Section
Scale: 1:10

Address: 847 COLVILLE RD
 Folio: 0001.022
 Project: DP000238
 Date: Oct 21, 2024
 Folder: DP000238
 Type / Subject: DEVELOPMENT PERMIT-INDUSTRIAL
 SINGLE STORY WOOD FRAMED BUILD CONTAINING
 2 DAYCARE STUDIOS



3 Typical Top & Bottom of Ramp
Scale: 1:10
THIS DETAIL NOT USED ON THIS PROJECT

No.	Date	Appr	Revision Notes
B	2024-09-18		Development Permit
A	2023-09-05		Building Permit

<p>18 Radway Square Victoria BC V8W 1H9 T : 250 - 381 - 5532 arch@iredale.ca www.iredale.ca</p>		<p>Scale: 202 - Dave Mackintosh Street T : 726-6581 F : 726-6585 arch@iredale.ca www.iredale.ca</p>
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<p>Project No: EQUIMULT SECONDARY SCHOOL NEW DAYCARE CENTRE</p>	<p>Sheet No: Stair & Ramp Details</p>
---	---

<p>18-Sep-24 Project in Charge: Mike Vindal Designer: Mike Vindal Checker: Mike Vindal Author: Mike Vindal Project ID: 23864</p>	<p>Scale: As Noted</p>
---	------------------------

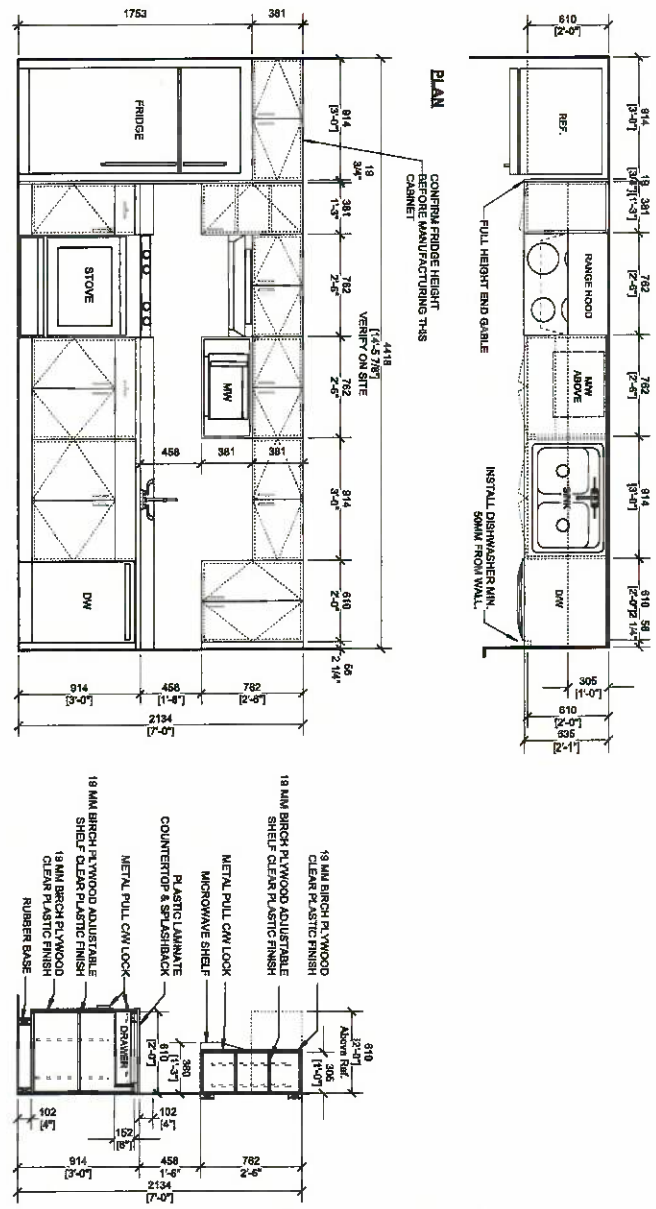
<p>A-502</p>

No.	Date	Appr	Revision Notes
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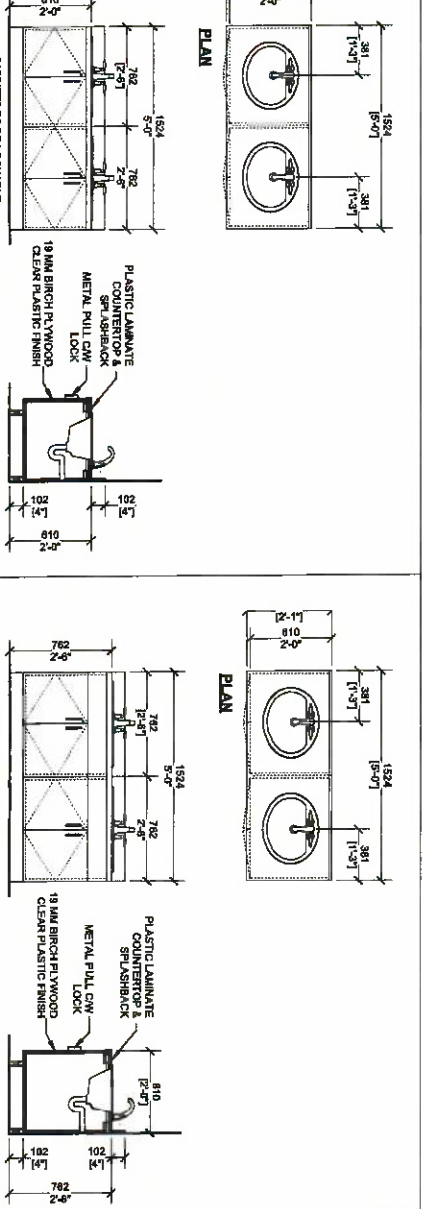
B	2024-08-18		Development Permit
A	2023-09-05		Building Permit
No.	Date	Issue Notes	

IREDALE
ARCHITECTURE

18 Sandhill Square
Victoria BC V8W 1H9
T : 250 - 381 - 5632
architect@iredale.ca
www.iredale.ca

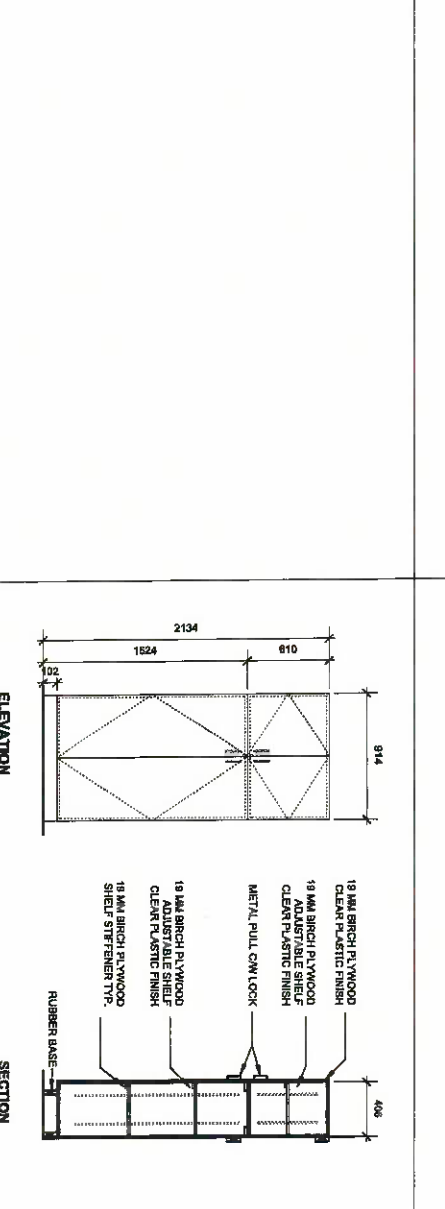


1 Wet Unit Kitchen
Scale: 1/25



2 3-5 Typical Double Vanity
Scale: 1/25

3 Before & After Typical Double Vanity
Scale: 1/25



4 Storage Cubbie
Scale: 1/25

Address:
847 COLVILLE RD

Folio:
0001.022

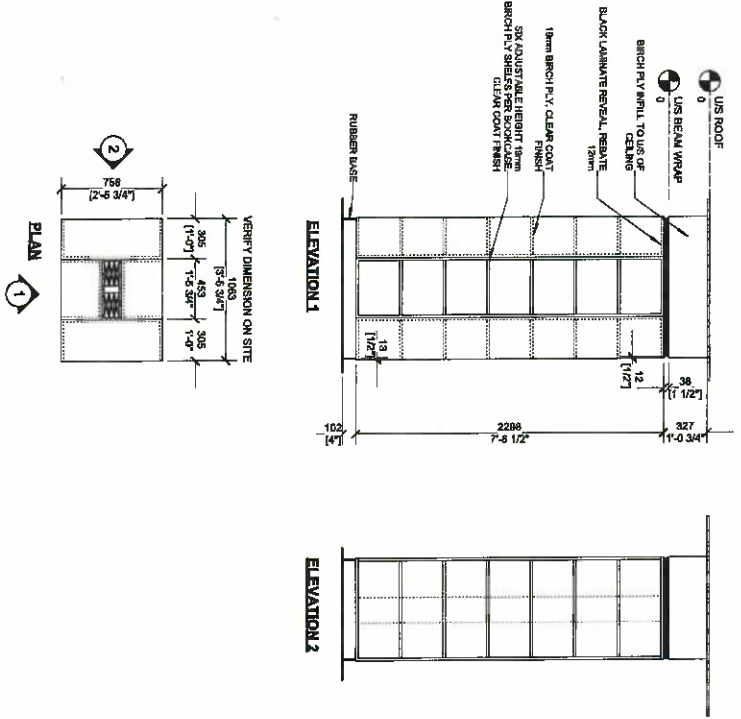
Project:
DP000238

Date:
Oct 21, 2024

Folder:
DP000238

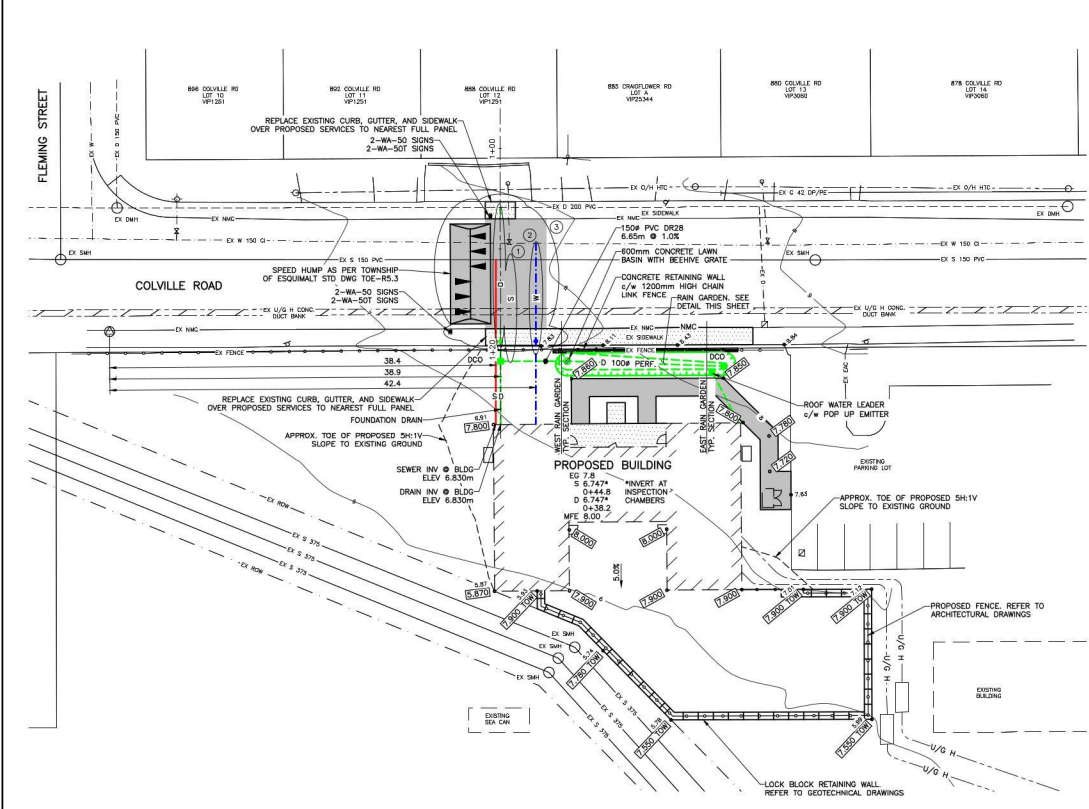
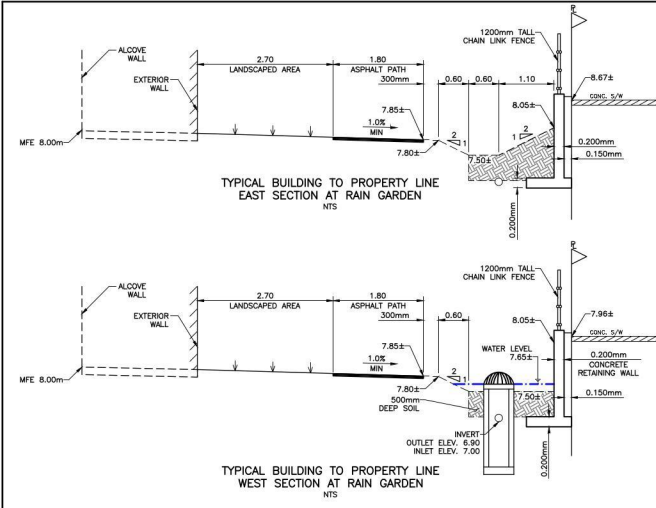
Type / Subject:
DEVELOPMENT PERMIT - INDUSTRIAL
SINGLE STORY WOOD FRAMED BUILD CONTAINING
2 DAYCARE STUDIOS

NOTE:
ALL MILLWORK CABINETS TO BE SEISMICALLY ATTACHED TO WALL
EXCEPT FOR LOW MOVEABLE FURNITURE



5 Bookshelf Around Post
Scale: 1/25

Project No:	ESQUIMALT SECONDARY SCHOOL NEW DAYCARE CENTRE
Client:	Millwork
Architect:	18 Sandhill Square Victoria BC V8W 1H9 T : 250 - 381 - 5632 architect@iredale.ca www.iredale.ca
Drawn:	15-09-24
Checked:	15-09-24
Project No:	22004
Sheet No:	A-1001



LEGEND - Proposed services shown bold

WATER	-W-	EDGE PAVE.	-G-	ROAD SIGN	MANHOLE	HYDRANT	MANHOLE
SEWER	-S-	NON-MTBLE CURB	NMC	UNDERGROUND UTL.	H/T/C	ASPHALT	CLEANOUT
DRAIN	-D-	MOUNTABLE CURB	MC	CONCRETE	REDUCER	MONUMENT	CATCHBASIN
DITCH/SWALE	-FC-	FLAT CURB	FC	ORNAMENTAL STREETLIGHT	OR	GRAVEL	MONUMENT
CULVERT	-B-	BARRIER CURB	BC	POWER POLE	PP	BRICK	LOT PIN
HEADWALL	-IG-	INVERT GUTTER	IG	ANCHOR	A	TREE	BUSHLINE
							LEAD PLUG

REVISIONS

No.	DESCRIPTION	DATE	BY	SCALE
5	REVISED STORMWATER MANAGEMENT	24.11.15	JS	CHECKED
4	REVISED SEWER AND DRAIN PROFILE	24.07.17	JR	DATE
3	REVISED AS PER ESQUIMALT COMMENTS	24.05.27	JR	B.M.
2	REVISED AS PER ARCHITECTURAL	24.03.08	JR	ELEV.
1	REVISED AS PER ESQUIMALT COMMENTS	23.12.13	JR	SCALE
			YMMDO	Vert. 1:50

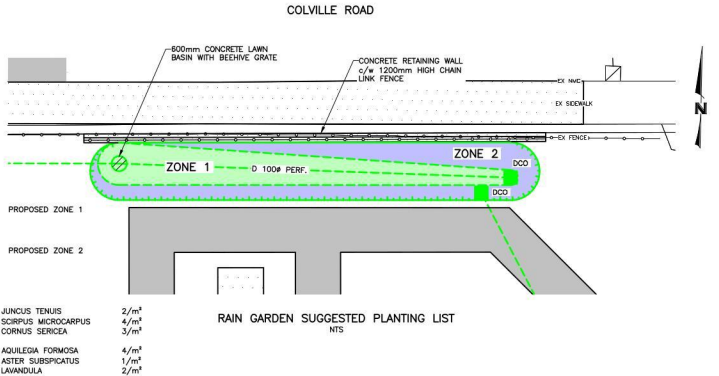
DESIGNED BC
DRAWN JR
CHECKED JR
DATE JUNE 2023

WESTBROOK Consulting Ltd.
#115 - 866 Goldstream Ave., Victoria, BC V9B 0J3
Telephone: 250-391-8592 Facsimile: 250-391-8593

PROJECT
ESQUIMALT DAYCARE
IRDEALE ARCHITECTURE

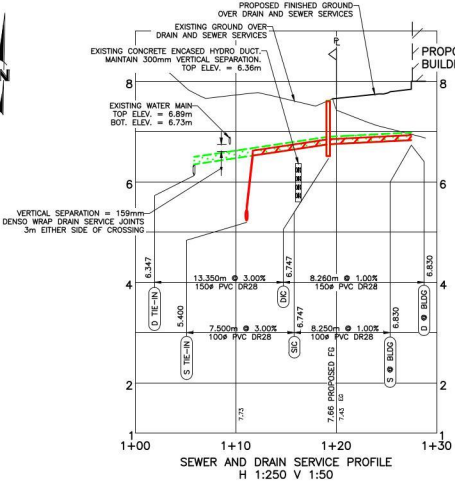
SITE PLAN
GENERAL NOTES

WESTBROOK PROJECT No.
3906
GOVERNING AUTHORITY FILE No.
SHEET 1 OF 5
REV. 5
WESTBROOK DRAWING No.
390601



RAIN GARDEN SUGGESTED PLANTING LIST

ZONE	PLANT	PLANTING RATE
ZONE 1:	JUNCUS TENUIS	2/m ²
	SCIRPUS MICROCARPUS	4/m ²
	CORNUS SERICEA	3/m ²
ZONE 2:	AQUILEGIA FORMOSA	4/m ²
	ASTER SUBSPECTATUS	1/m ²
	LAMINULA	2/m ²



GENERAL NOTES

- ALL CONSTRUCTION AND MATERIALS TO BE IN ACCORDANCE WITH MCMC, LATEST EDITION, AND THE TOWNSHIP OF ESQUIMALT STANDARD SPECIFICATIONS AND DRAWINGS UNLESS OTHERWISE NOTED.
- WHEN A CONFLICT BETWEEN THE SPECIFICATIONS ARISES, THE MOST STRINGENT SHALL APPLY.
- OBTAIN A PERMIT TO CONSTRUCT WORKS ON A MUNICIPAL RIGHT OF WAY FROM THE TOWNSHIP OF ESQUIMALT ENGINEERING DEPARTMENT TWO WORKING DAYS PRIOR TO THE START OF ANY CONSTRUCTION.
- OBTAIN A DEMO PERMIT PRIOR TO REMOVAL OF ANY NON-CONFORMING STRUCTURES.
- EXPLORE ALL EXISTING SERVICES AT CONNECTION AND CROSSING POINTS TWO WORKING DAYS PRIOR TO STARTING CONSTRUCTION ON ANY SUCH SERVICES. ENSURE ENGINEERS CONFIRMED THE HORIZONTAL AND VERTICAL LOCATION.
- BEFORE ALL PIPE LINES CLASS 15 BEGINS, THE CONTRACTOR SHALL ENSURE ENGINEERS CONFIRMED THE HORIZONTAL AND VERTICAL LOCATION.
- WHERE A TRENCH IS UNDER OR WITHIN 1.0m OF THE EDGE OF A ROAD OR DRIVEWAY, USE FIT RUN GRAVEL BACKFILL FROM THE TOP OF THE PIPE BEGINS TO THE TOP OF THE ROAD, PARKING OR DRIVEWAY SUBGRADE.
- DO NOT START ANY BACKFILL OPERATION UNTIL THE WORKS HAVE BEEN REVIEWED BY THE ENGINEER.
- AFTER CONSTRUCTION, RESTORE WORK AREAS AND ALL EXISTING FEATURES TO THEIR ORIGINAL CONDITION OR BETTER.
- MAINTAIN VEHICULAR AND PEDESTRIAN ACCESS ALONG COLVILLE ROAD DURING CONSTRUCTION.
- COMPACT TRENCH BACKFILL, ROAD BASE AND DRIVEWAY BASE TO 95% MODIFIED PROCTOR DENSITY.
- ADJUST ALL PROPOSED AND EXISTING APPURTENANCES TO MEET THE FINAL DESIGN GRADES.
- CONSTRUCT SEWER, DRAIN, WATER AND ROADS WITHIN PRIVATE PROPERTY IN ACCORDANCE WITH THE BC PLUMBING CODE AND BC BUILDING CODE. CONSTRUCTION SHALL BE INSPECTED AND APPROVED BY THE TOWNSHIP OF ESQUIMALT INSPECTORS.

SEWER AND DRAIN

- SEWER AND DRAIN SERVICE CONNECTIONS TO BE 100% PVC DR28 AT A MINIMUM GRADE OF 2.0% COMPLETE WITH INSPECTION CHAMBERS. CATCH BASIN LEAST TO BE 2000 PVC BRSS UNLESS OTHERWISE NOTED. IF COVER IS LESS THAN 750mm, USE DUCTILE IRON PIPE.
- SEWER AND DRAIN PIPE UP TO AND INCLUDING 150mm DIAMETER TO BE PVC DR28 AND DR35 FOR 300mm DIAMETER AND OVER. PIPE TO BE C.S.A. APPROVED PVC.
- SEWER AND DRAIN MANHOLES SHALL BE 1000mm BARRELS UNLESS OTHERWISE SPECIFIED.
- THE TOWNSHIP OF ESQUIMALT SHALL INSTALL THE SEWER AND DRAIN CONNECTIONS TO THE PROPERTY LINE AT THE DEVELOPER'S EXPENSE.
- CONNECT ALL UNENCOUNTERED DRAINS TO THE PROPOSED SERVICE CONNECTION. CONTRACTOR TO RECORD THE LOCATION, ELEVATION, PIPE MATERIAL AND SIZE FOR THE AS CONSTRUCTED DRAWINGS.
- VIDEO INSPECT ALL INSTALLED SANITARY SEWER AND STORM DRAIN MAINS ON PUBLIC AND PRIVATE PROPERTY.

WATER

- WATER MAIN PIPE TO BE PVC DR18 AWWA STANDARD C300 FOR ALL WATER MAINS 100mm TO 350mm DIAMETER AND PVC SERIES 200 FOR ALL WATER MAINS LESS THAN 100mm DIAMETER. PROVIDE 1.0% MINIMUM COVER.
- THE CITY OF VICTORIA SHALL INSTALL THE 250mm WATER SERVICE COMPLETE WITH DOUBLE STRAP, STAINLESS STEEL SERVICE SHOULDER AND 250 WATER METER AT THE DEVELOPER'S EXPENSE.
- ALL PIPE FITTINGS 250mm OR GREATER SHALL BE MECHANICAL JOINTS COMPLETE WITH RESTRAINTS, RATED FOR 230 PSI FOR 250mm DIAMETER AND SMALLER PIPE, AND 350 PSI FOR 300mm DIAMETER AND LARGER PIPE. RESTRAIN PIPE AT FIRST JOINT.
- CONTRACTOR TO TEST, CHLORINATE, FLUSH AND CONNECT THE WATER MAINS UNDER THE DIRECTION OF THE ENGINEER.
- CONTRACTOR TO ENSURE CHLORINE SOLUTIONS ARE NEUTRALIZED IN ACCORDANCE WITH THE MINISTRY OF ENVIRONMENT AND DEPARTMENT OF FISHERIES AND OCEANS CANADA REGULATIONS PRIOR TO DISCHARGING TO ANY DRAINAGE COURSE.
- WATER SERVICES SHALL BE 250mm MAINS TO THE PROPERTY LINE. WATER SERVICE SIZING WITHIN THE LOT SHALL BE DETERMINED BY THE PLUMBER AT THE TIME OF CONSTRUCTION.

ROAD

- CONSTRUCT ALL ROADWAYS AND CURB AND SACS IN ACCORDANCE WITH THE TOWNSHIP OF ESQUIMALT STANDARD SPECIFICATIONS AND AS SHOWN ON THE TYPICAL SECTION AND DETAIL DRAWINGS.
- CONTRACTOR TO ENSURE EXISTING MONUMENTS ARE NOT DISTURBED DURING CONSTRUCTION. ANY MONUMENTS IN DANGER OF DISTURBANCE ARE TO BE REFERENCED BY AND, IF DISTURBED, BE REPLACED BY A B.C.L.S. AT THE CONTRACTOR'S EXPENSE.
- THE TOWNSHIP OF ESQUIMALT SHALL COVER ALL OFFSITE CURB, GUTTER, SIDEWALK, AND ROAD WORKS AT THE DEVELOPER'S EXPENSE.

HYDRO, TELEPHONE, CABLE, STREET LIGHTING AND GAS

- CONTACT 'T.B.C. ONE CALL' AT 1-800-474-6886 AND 'TIO SHAW' AT DISHWARCA A MINIMUM OF THREE WORKING DAYS PRIOR TO START OF CONSTRUCTION.
- LOT TO BE SERVICED OVERHEAD AND FORTISBC FACILITIES ARE SHOWN SCHEMATICALLY ON THIS DRAWING. REFER TO UTILITY COMPANY DRAWINGS FOR CONSTRUCTION DETAILS.
- CONSTRUCT UNDERGROUND HYDRO, TELEPHONE AND CABLEWAYS AS SPECIFIED AND IN ACCORDANCE WITH BC HYDRO, TELUS AND SHAW CABLE STANDARD SPECIFICATIONS AND DRAWINGS.
- IF GAS IS REQUIRED, THE DEVELOPER IS TO CONTACT FORTISBC AT 1-888-224-2710 A MINIMUM OF 90 DAYS PRIOR TO INSTALL. FORTISBC SHALL INSTALL GAS SERVICE TO THE PROPERTY LINE.

LEGEND

- PROPOSED ASPHALT
- PROPOSED CONCRETE
- PROPOSED FINISHED GROUND ELEVATION
- PROPOSED TOP OF WALL ELEVATION
- EXISTING GROUND ELEVATION

LOCATION PLAN
N.T.S.
PROPOSED DEVELOPMENT OF LOT 4, SECTION 10, PLAN 13586, ESQUIMALT DISTRICT.

SCALE
0 5 15m
1:250